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March 21, 1997

VIA OVERNIGHT COURIER

Ms. Rosalie K. Rozenko
Senior Attorney
New York State Department of
Environmental Conservation
Division of Environmental Enforcement
Eastern Field Unit
200 White Plains Road
5th Floor
Tarrytown, New York 10591-5805

Re: *Old Recharge Basin Consent Order*

Dear Rosalie:

As we discussed, enclosed are two original Demolition and Filling Work Plans and two maps of the Old Recharge Basin. As Sue McCormick requested, I am also sending, by mail, copies of the Demolition and Filling Work Plan to the DEC personnel indicated below.

Please call if you have any questions regarding the enclosed materials.

Very truly yours,

James P. Rigano

JPR/gb
Enclosures

Distribution of demolition and filling work plan:

Sue McCormick - DEC, Albany ✓
Deepak Ramnakhiani - DEC, Stony Brook
Rasheed Carter - DEC, Stony Brook
Michael Mason - DEC, Albany

Fairchild

OLD RECHARGE BASIN
SITE NO. 1-52-004
EAST FARMINGDALE, NY

DEMOLITION AND FILLING WORK PLAN

OCTOBER 1996

final approved plan
SDMcComick
3/28/97

Submitted by

Mairoll, Inc.
300 West Service Road
Chantilly, VA 22021
703-478-5800

MAC Consultants, Inc.
Environmental Consultants
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516-265-7700

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2110 Smithtown Avenue
Ronkonkoma, NY 11779
516-467-7775

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SHEET 3 PHASING PLAN

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1.0 INTRODUCTION

The Old Recharge Basin (the "ORB," also known as the Old Sump) is an inactive hazardous waste disposal site and has been listed in the Registry of Inactive Hazardous Waste Disposal Sites in New York State as Site No. 1-52-004. This Demolition and Filling Work Plan (the "Work Plan") is being submitted to the New York State Department of Environmental Conservation ("NYSDEC") pursuant to Section 1.C. of the Order on Consent between NYSDEC and Mairoll, Inc. (Index No. W1-0705-94-08) ("Consent Order") for implementing a final remedial program for the ORB.

Pursuant to the Consent Order, Mairoll, Inc., a subsidiary of Fairchild Holding Corp., may elect to exceed the requirements of the Consent Order by filling the ORB in accordance with this Work Plan as approved by NYSDEC. Accordingly, this Work Plan describes the procedures to fill the ORB and provides the information required by 6 NYCRR Part 360-8.6, regarding Mairoll's plan to use clean concrete and masonry building demolition debris and soil as fill material.

2.0 SITE DESCRIPTION

The ORB is an approximately 13.5 acre site on the west side of Route 110 in East Farmingdale, New York. The property is bound on the north by commercial property, on the south by industrial property, on the west by Carman's Road and commercial property and on the east by commercial property and Route 110. The ORB is inactive and is no longer used to collect stormwater runoff.

3.0 FILL REQUIREMENTS, SOURCE AND NATURE OF FILL MATERIAL

Sections I.C.(9) and (10) of the Consent Order require Mairoll to demonstrate (a) the availability of a sufficient quantity of material acceptable to NYSDEC to bring the ORB site to the final contours specified in this Work Plan and (b) the availability of a sufficient quantity of granular material and demolition debris from office buildings to fill to five feet above the groundwater table. Mairoll will comply with these provisions of the Consent Order.

Fill Requirements

Based on recent survey results, it is estimated that approximately 416,000 cubic yards of acceptable material will be needed to fill the ORB. Approximately 150,000 cubic yards of granular material will be required to fill the ORB to the water level in the basin. Approximately 266,000 cubic yards of granular material and demolition debris will be required to fill the ORB above the water level in the basin. Included in this latter amount are approximately 53,000 cubic yards of granular material and office building debris which will be required to fill a required buffer zone of 5 feet above the water table. The calculations for these amounts of required materials are set forth in Appendix 1.

Available Fill Materials

The fill material will consist of clean fill as defined in 6 NYCRR Part 360-8.6(b), including granular material and clean masonry and concrete demolition debris, which has been approved by NYSDEC. The largest dimension of the debris to be placed in the basin will be approximately 18 inches. This material will be obtained from the 72 acre Mairoll property on the east side of Route 110 known as the Main Plant property.

Granular materials will be excavated from beneath and around the buildings at the Main Plant property as shown on Sheet 1 – "Source Material" and Sheet 2 – "Grading Plan - Main Plant." The concrete and masonry material will be generated by the demolition of the buildings summarized in Table 1 and shown on Sheet 1. Table 1 also sets forth the historic use of these buildings and the amount of fill material expected to be generated by demolition of each of the buildings. Calculations demonstrating these estimated amounts are included in Appendix 1.

Following is a summary of available fill material from the Main Plant property:

Soil	310,000 yds^3
Building Demolition	64,700 yds^3
Miscellaneous Pavement	44,000 yds^3
TOTAL	418,700 yds^3

As noted above, approximately 150,000 yds^3 of granular material will be required to fill the ORB to the water table. Demolition of office buildings (19, 19A, 33 and 53) will generate approximately 8,000 yds^3 of fill material, which will be mixed with approximately 45,000 yds^3 of granular material to fill the five foot buffer zone immediately above the water table. The remaining 56,700 yds^3 of demolition debris from the remaining buildings along with approximately 44,000 yds^3 of miscellaneous asphalt and concrete paving and 115,000 yds^3 of additional granular material will fill the remaining 213,000 yds^3 in the ORB.

During the course of demolition and excavation activities at the Main Plant property, materials which are suspected of being contaminated either (1) will not be used to fill the ORB or (2) will be sampled prior to use and, if found to be contaminated pursuant to Section 1.C.(6) of the Consent Order, will not be used as fill. Hazardous materials which are identified will be properly manifested and disposed off-site at an

approved hazardous waste disposal facility. A portion of the Main Plant property is designated an Inactive Hazardous Waste Site and no materials from the designated site will be used as fill without prior testing and NYSDEC approval.

In the event that additional fill may be needed (if, for example, an excessive amount of available fill material is found to be unacceptably contaminated or a building currently expected to be demolished is not), Mairoll may propose that, with NYSDEC's prior approval, additional fill be obtained from an offsite source. Such fill will be of a nature similar to the fill taken from the Main Plant property. Mairoll will not accept any payment or other compensation for placing such additional fill in the ORB.

Sampling Plan

Core samples of concrete slabs and walls will be taken at the locations specified and marked by NYSDEC during a site inspection on June 7, 1996, as shown on Figures 1, 2 and 3. The protocols for concrete and residue sampling are set forth in Appendix 2. The samples will be analyzed by a New York State certified laboratory for TCLP volatile organic compounds (VOCs), RCRA metals and RCRA characteristics. Sampling results will be compiled and reported to the NYSDEC.

4.0 MATERIAL HANDLING AND CONTROLS

Granular fill and concrete and masonry material from the Main Plant property will be loaded into 30 cubic yard trucks at the source area and trucked to the ORB. The trucks will exit the source area at a designated location and enter Conklin Street, a Town-owned road. All properties along Conklin Street are industrial and commercial and many are vacant. The trucks will not pass any residences. Trucks will proceed west on Conklin Street across Route 110, a State-owned road. The traffic flow at the intersection of Conklin and Route 110 is controlled by a traffic light. Trucks will

continue west on Conklin one block to Carmans Road. At Carmans Road the trucks will head south to the northerly portion of the ORB. The trucks will enter and exit the ORB site at the same location. The total distance of the route from the source area to the ORB is approximately 2,500 feet. Approximately eight trucks per hour will be used between the hours of 7:30 AM and 3:30 PM intermittently about 2 to 4 days per week, as materials become available on the Main Plant property. The ORB fill project is expected to take approximately 10 to 12 months.

Regulatory oversight, site security, and dust controls will be implemented as follows:

- NYSDEC Environmental Monitor will oversee the work as set forth in section 1.D. of the Consent Order.

- A Part 360 Construction and Demolition Debris Tracking Document will be used for each load of fill material leaving the Main Plant property.

- Security – During working hours, the site will be manned by contractor and oversight personnel, including a NYSDEC Environmental Monitor. The ORB and the Main Plant property will be fenced and, during non-operating hours, access gates will be locked and a security guard service will monitor both the source area and the ORB at least hourly.

- Dust Control – During the demolition and excavation activities on the Main Plant site and the filling and grading of the ORB, every effort will be made to control dust, as follows:

  Main Plant Property – Generally, the granular material on the Main Plant property will be moist except for the top crust layer. This layer, if dry, will be

watered by means of a water truck. Chemicals normally used for this purpose will not be permitted. Dust from any crushing activities conducted at the site will be controlled with watering by means of hoses. The Main Plant property currently has a 12" water main in close proximity to the work areas.

Roadways – During hauling, trucks will not be overfilled and will use the proper protective covers. Miscellaneous material that does fall along the hauling route will be swept by means of a power sweeper.

Old Recharge Basin Site – Dust should not be a significant problem at the site of the fill operations. The hauling distance is short, so, if during the excavation process the material is moist naturally or by means of watering, it should remain moist until deposited in the ORB. During the grading process, the top crust of material will be watered by truck, if required to control dust.

5.0 FILL PLACEMENT AND GRADING

The fill will be placed in cells of the ORB as shown on Sheet 3 – "Phasing Plan." The material will be placed gradually to avoid, as much as possible, disturbing the sediments in the ORB. The fill and subsequent compaction will be accomplished in accordance with the requirements of Section 203 (Excavation and Embankment) of the NYSDOT Standard Specifications of January 2, 1990, as amended.

Trucks will enter and exit the ORB at one location only – at the north end of the ORB along East Carmans Road. The trucks will dump on the upland portion of the site. They will not dump directly into the lower level. Instead, a bulldozer will be used to gradually push the dumped material down the existing slope. The speed of the operation will be set based on safety factors and field conditions to avoid any sudden,

intense discharge into the groundwater. There is up to 25 feet of water in the ORB, which distance will be sufficient to slow the rate of discharge and maximize the spreading of the dumped material to ensure that the sediments will be disturbed as little as possible.

There is ample room to queue trucks on the site during this operation, which will not be continuous. During peak times, approximately eight trucks per hour will haul material between the hours of 7:30 a.m. and 3:30 p.m. It is anticipated that trucking operations will be conducted only 2-4 days per week, depending on the availability of suitable material at the Main Plant property.

The site will be monitored daily to ensure that the water elevation in the ORB does not change significantly. The present water level in the basin is significantly lower than the elevation of surrounding buildings. However, if the water level rises by more than one foot, then filling will be suspended until the water level stabilizes.

The areal extent of the fill and the finished grades of the filled area are shown on Sheet 4 – "Grading Plan." The concrete and masonry fill will not be visible at the finished grade elevation.

Subsequent to the completion of the fill (se schedule below), and depending on the real estate market at that time, the property may be further developed. The future use of the property will conform to local zoning for a G Industrial District.

6.0 PROJECT SCHEDULE

Sheet 1 shows the phases of the demolition and excavation on the Main Plant property, and also presents a project time line. Demolition of the remaining buildings

on the Main Plant property is expected to begin October 1996 and continue until around October 1997. Bove Industries, Inc. has been awarded the contract for the demolition, and has been authorized to proceed with Buildings 19, 19A, 32, 33 and 53. Filling of the ORB will not commence until this Work Plan has been approved, the Consent Order has been signed and the required notice periods pursuant to 6 NYCCR 360-8.6 have elapsed. The fill operation is presently expected to being in January or February 1997. Prior to the commencement of filling, the construction debris will be stockpiled. The schedule presented on Sheet 1 may be modified based on site conditions, progress of demolition, weather or other factors. Nevertheless, Mairoll anticipates that, even with minor delays, the ORB fill project can be completed by November or December 1997.

TABLE 1

SUMMARY OF BUILDINGS TO BE DEMOLISHED AND BUILDING USAGE

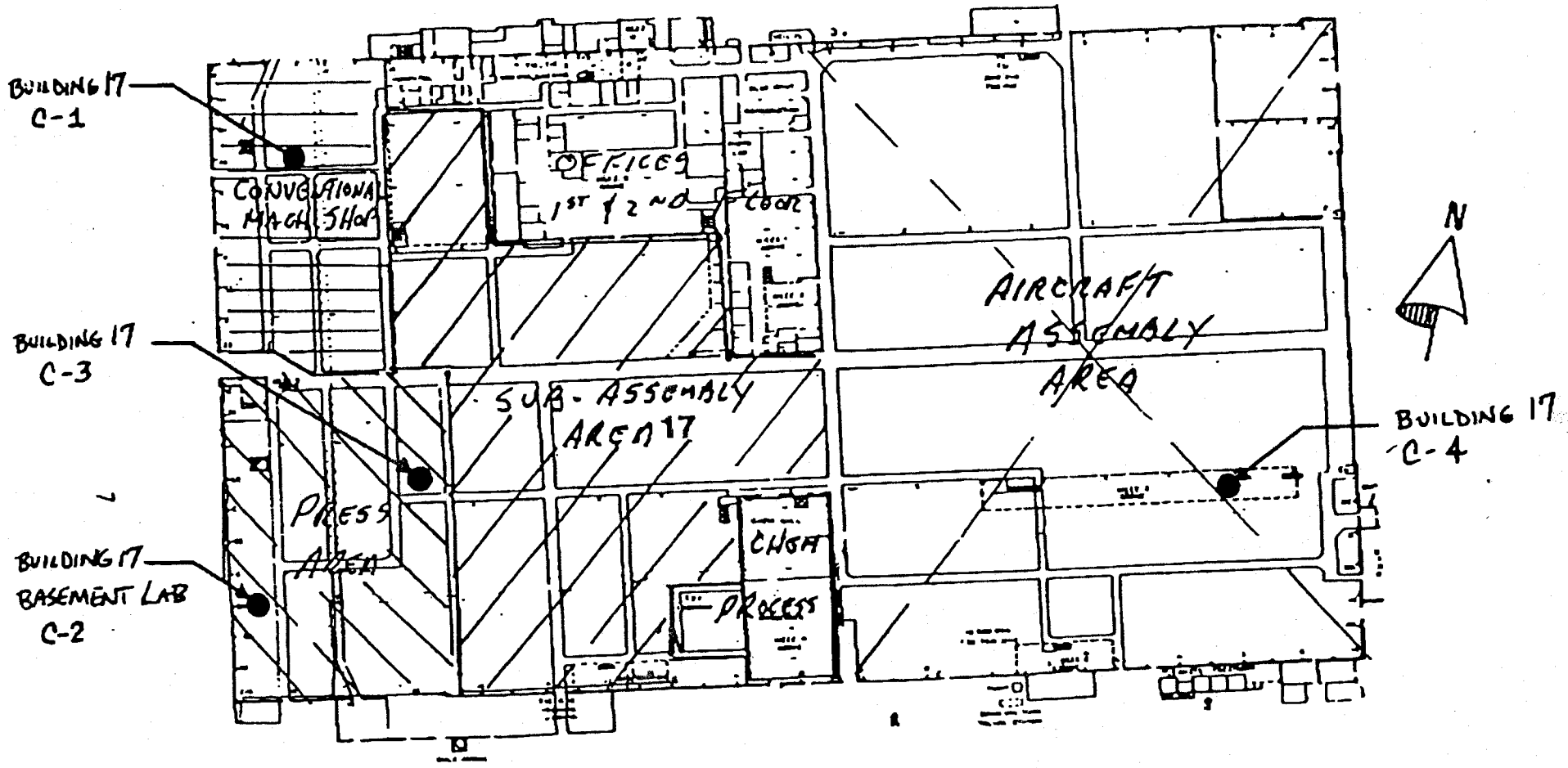
TABLE 1

SUMMARY OF BUILDINGS TO BE DEMOLISHED AND BUILDING USAGE

Building No.	Structure to be Demolished	Facility Operation/Use	Available Material (cubic yards)
17	Concrete floor slab and brick walls	Aircraft assembly and manufacturing	23,000
19 / 19A/33	Concrete floor slab and brick walls	Office	7,000
25	Concrete floor slab	Paint and chemical storage	100
27	Concrete floor slab	Paint Shop	1,200
32	Concrete floor slab and brick walls	Machine Shop	7,000
42 East Bay	Concrete floor slab	Aluminum anodizing	
42 Center Bay	Concrete floor slab	Jet fuel systems testing	700
42 West Bay	Concrete floor slab	Vehicle maintenance	
46	Concrete footings	Compressed gas storage	50
53	Concrete floor slab and brick walls	Office	500
54	Concrete floor slab and brick walls	Aircraft hangar, plastics recycling storage	1,000
55 East End	Concrete floor slab and walls	Piston engine test cells, quality assurance, manufacturing, skating rink, warehouse	22,000
55 West End	Concrete floor slab and brick walls	Office and boilers, manufacturing and storage	
63	Concrete floor slab	Paint shop	800
64	Concrete floor slab	Aircraft subassembly	700
65	Concrete floor slab	Aircraft subassembly	500
Well House	Concrete slab and walls	Water well location	50
Water Tower	Concrete slab	Water supply	100
TOTAL			64,700

FIGURE 1

BUILDING 17 SAMPLING LOCATIONS

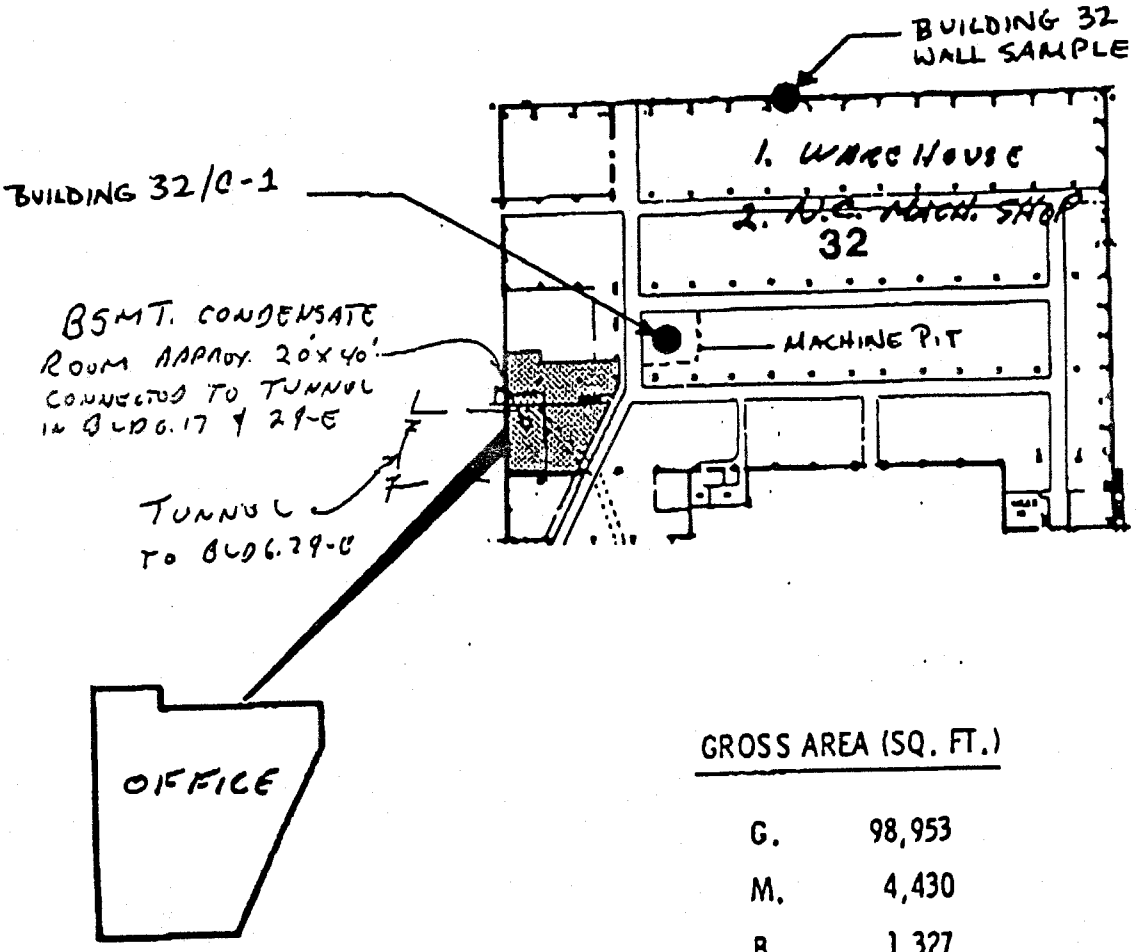


AREA DESCRIPTION		GROSS AREA (SQ. FT.)
BLDG. 17	– GROUND FLOOR	473,934
	– BASEMENT	57,858
	– MEZZANINE	75,825
	TOTAL	607,617

FIGURE 2

BUILDING 32 SAMPLING LOCATIONS

NOTE: BUILDING 32 RESIDUE COMPOSITES WERE TAKEN AT WALL SAMPLE AND C-1.

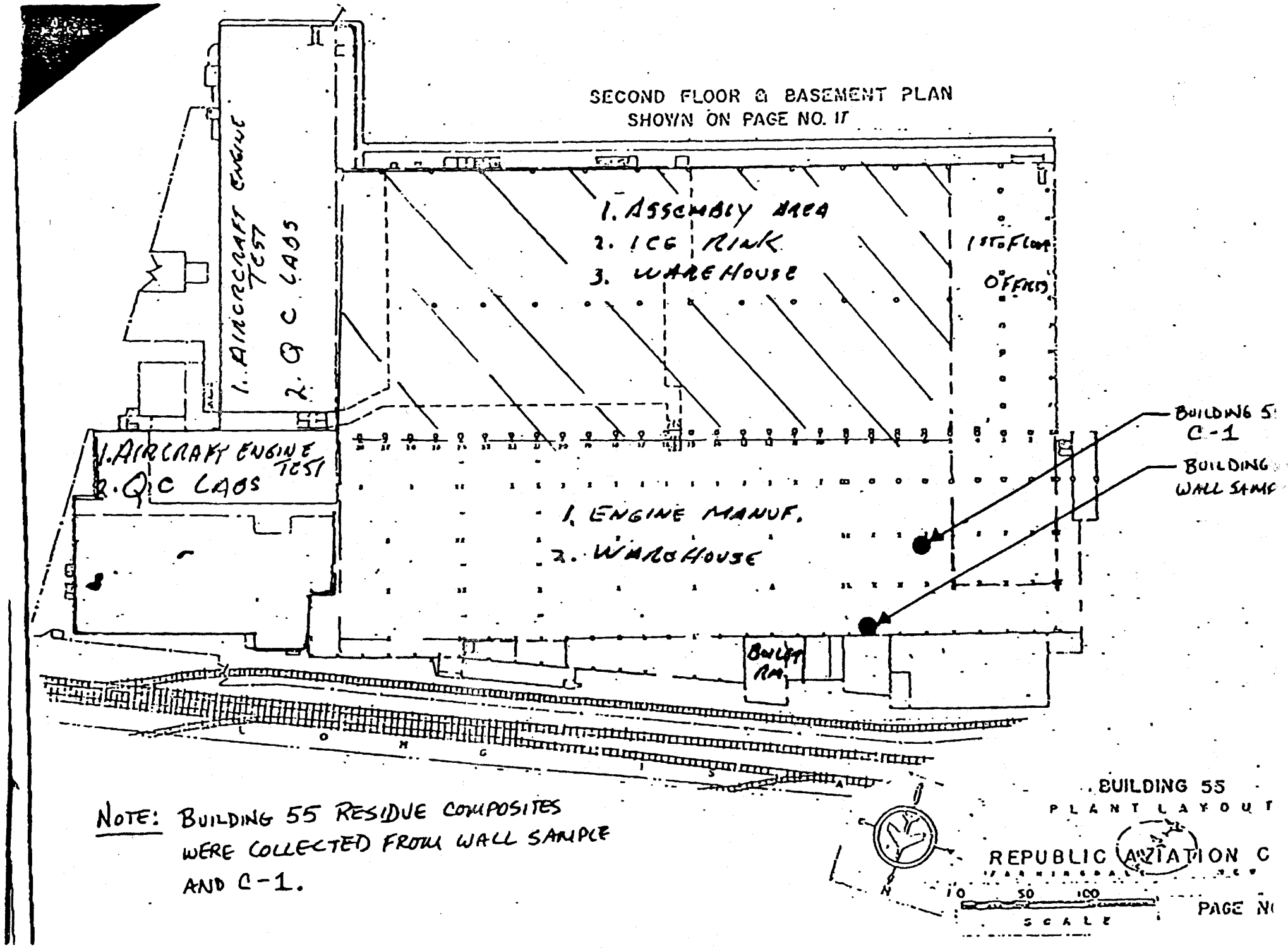


GROSS AREA (SQ. FT.)

G.	98,953
M.	4,430
B.	1,327
TOTAL	104,710

FIGURE 3

BUILDING 55 SAMPLING LOCATIONS

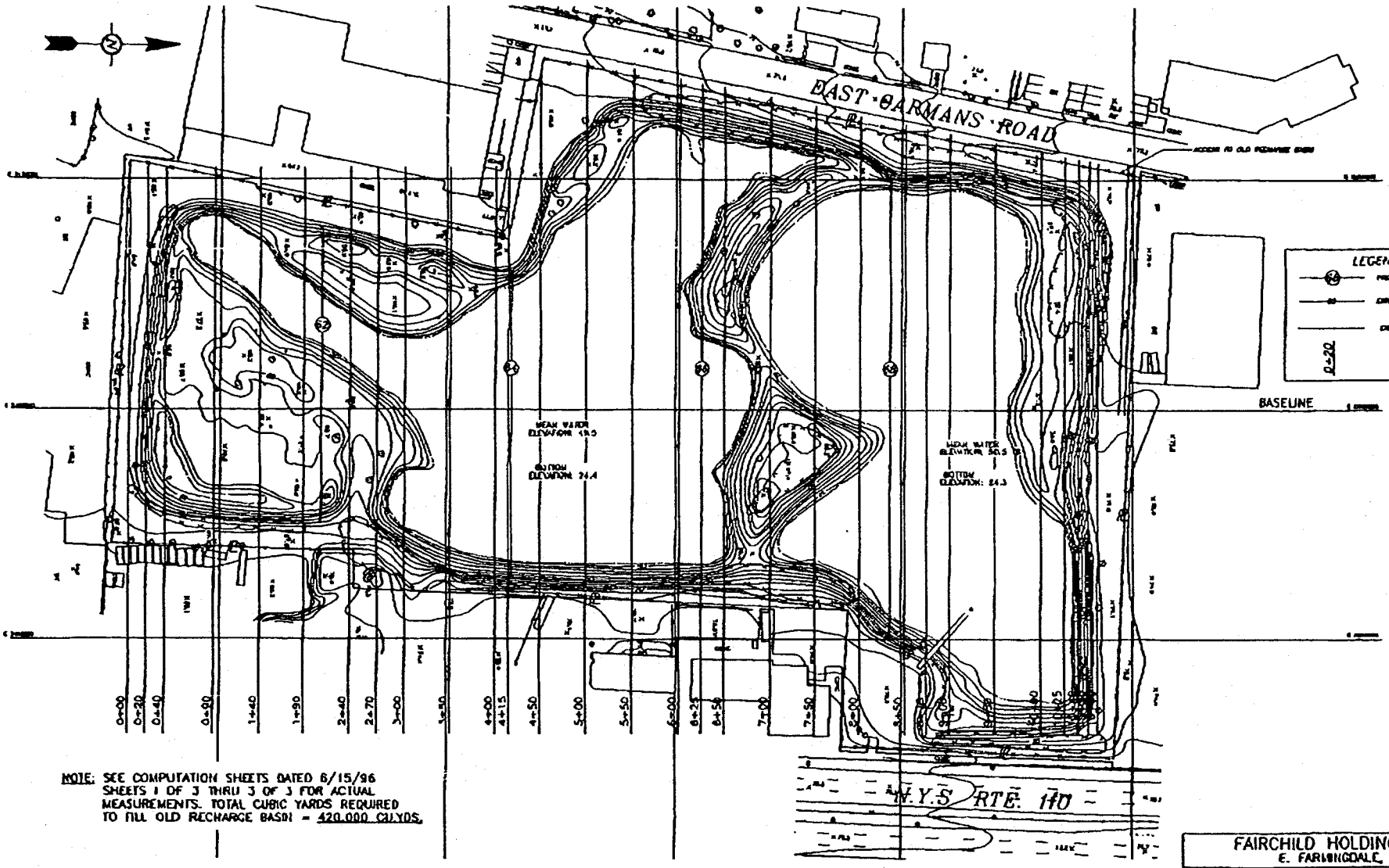


NOTE: BUILDING 55 RESIDUE COMPOSITES WERE COLLECTED FROM WALL SAMPLE AND C-1.

APPENDIX 1

FILL CALCULATIONS

OLD RECHARGE BASIN CALCULATIONS



NOTE: SEE COMPUTATION SHEETS DATED 6/15/96 SHEETS 1 OF 3 THRU 3 OF 3 FOR ACTUAL MEASUREMENTS. TOTAL CUBIC YARDS REQUIRED TO FILL OLD RECHARGE BASIN = 420,000 CU.YDS.

FAIRCHILD HOLDING CORP.
E. FARMINGDALE, N.Y.

OLD RECHARGE BASIN

GRADING PLAN
COMPUTATIONS

SAVIK & MURRAY
CONSULTING ENGINEERS

DATE: 8-13-96
SCALE: 1"=50'
PROJECT NO.: 96-36
CAD FILE: 96440GRP

THE PLANS AND SPECIFICATIONS SHALL NOT BE ALTERED IN ANY MANNER EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

SAVIK & MURRAY
Consulting Engineers

FILL REQUIRED FOR OLD RECHARGE BASIN

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By BS Checked By JP Date 6/5/96 Job No. 96-59 Sheet 1 Of 3

	STATION	LENGTH (FT)	BELOW WATER FILL (X-SECT)	BELOW WATER Cu. FT.	ABOVE WATER FILL (X-SECT)	ABOVE WATER Cu. FT.
1						
2						
3						
4	0+00		0		0	
5		20	0	0	200	4,000
6	0+20		0		400	
7		20	71	1,420	1180	23,600
8	0+40		142		1960	
9		50	198	9,900	2009.5	100,475
10	0+90		254		2059	
11		50	269.5	13,475	2175.5	108,775
12	1+40		285		2292	
13		50	290	14,500	2238	111,900
14	1+90		295		2184	
15		50	257	12,850	2050.5	105,525
16	2+40		219		1917	
17		30	192.5	5,775	2058	61,740
18	2+70		166		2199	
19		30	430	12,900	2730	81,900
20	3+00		694		3261	
21		50	1379.5	68,975	3791	189,550
22	3+50		2065		4321	
23		50	3207	106,350	4425	221,250
24	4+00		4349		4529	
25		15	4403.5	66,053	4583.5	68,753
26	4+15		4458		4638	
27		35	4580	160,300	5016	175,560
28	4+50		4702		5394	
29				526,498 CF		1,253,028 CF
30	SUBTOTAL			19,499 CY		46,408 CY

SAVIK & MURRAY
Consulting Engineers

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By BS. Checked By JP Date 6/15/96 Job No. 96-59 Sheet 2 Of 3

	STATION	LENGTH (FT)	BELOW WATER FILL (X-SECT)	BELOW WATER CU. FT	ABOVE WATER FILL (X-SECT)	ABOVE WATER CU. FT.
4	4+50		4702		5394	
5		50	5381	269,050	6210.5	310,525
6	5+00		6060		7027	
7		50	6384.5	319,225	7436.5	371,825
8	5+50		6709		7846	
9		50	5908	295,400	7979.5	398,975
10	6+00		5107		8113	
11		25	4226	105,650	7899	197,475
12	6+25		3345		7685	
13		25	2374.5	59,363	7157	178,925
14	6+50		1404		6629	
15		50	1060.5	53,025	5702.5	285,125
16	7+00		717		4776	
17		50	2235.5	111,775	5507	275,350
18	7+50		3754		6238	
19		50	5086	254,300	7015	350,750
20	8+00		6418		7792	
21		50	7320	366,000	8252.5	412,625
22	8+50		8222		8713	
23		25	8386	209,650	8933.5	223,338
24	8+75		8550		9154	
25		25	8595.5	214,888	9707	242,663
26	9+00		8641		10259	
27		50	6985	349,250	10544	527,200
28	9+50		5329		10829	
29				2,607,576 CF		3,774,776 CF
30	SUBTOTAL			96,576 CY		139,806 CY

SAVIK & MURRAY
Consulting Engineers

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By B.S. Checked By J.P. Date 6/15/96 Job No. 96-59 Sheet 3 Of 3

			BELOW WATER		ABOVE WATER	
STATION	LENGTH	FILL (X-SECT)	CU. FT.	FILL (X-SECT)	CU. FT.
9+50		5329		10829	
	50	3633	181,650	9,913.5	495,675
10+00		1937		8998	
	25	1464.5	36,613	9067.5	226,688
10+25		992		9137	
	15	497	7,455	8,551	128,265
10+40		2		7965	
	10	1	10	6149	61,490
10+50		0		4333	
	10	0	0	2471.5	24,715
10+60		0		610	
	10	0	0	305	3,050
10+70		0		0	
			225,728 CF		939,883 CF
SUBTOTAL			8,360 CY		34,810 CY
SUMMARY					
SHEET 1			19,499 CY		46,408 CY
SHEET 2			96,576 CY		139,806 CY
SHEET 3			8,360 CY		34,810 CY
+20% CONTINGENCY			24,887 CY		44,205 CY
TOTAL			149,322 CY		265,229 CY
SAY			150,000 CY		266,000 CY

TOTAL = 416,000 CY REQUIRED TO FILL RECHARGE BASIN

5 FT. BUFFER CALCULATION

SAVIK & MURRAY

CONSULTING ENGINEERS

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made by DF Checked by RS Date 10/15/96 Job No. 96-59 Sheet 1 of 1

5 ft BUFFER above WATER ELEVATION

AREA OF WATER From CADD = 258,519 sq ft

AREA OF LAND 5 ft ABOVE = 311,303 sq ft

USING AVERAGE END

$$\frac{258,519 + 311,303}{2} \times 5' = 1,424,555 \text{ CuFt}$$

$$1,424,555 \text{ CuFt} = 52,761 \text{ Cubic Yards}$$

$$27$$

BUILDING CALCULATIONS

BUILDING LOADS

SAVIK & MURRAY
Consulting Engineers

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By DF Checked By SG Date 6/15/96 Job No. 96-59 Sheet 1 Of 4

1					
2	BUILDING #17			CY	CY
3	SLABS 607,617 # x 10"/12" ÷ 27	=	21,098		
4	FOUNDATION 3,000' x .4 CY/FT	=	1,200		
5	WALLS 3000' x 8"/12" x 10' ÷ 27	=	740		
6			23,038		
7	* ASSUMPTION = AN EQUAL AMOUNT OF		say	23,000	
8	SOIL WILL BE GATHERED WITH SLABS.				
9					
10	BUILDING #32				
11	SLABS 104,710 # x 10"/12" ÷ 27	=	3877		
12	FOUNDATIONS 1320' x .4	=	528		
13	WALLS 1,320' x 12"/12" x 40'	=	1,955		
14	PITS / EQUIPMENT FOUNDATION	≈	800		
15			7,160		
16			say	7,000	
17					
18	BUILDING 19, 19A & 33				
19	SLABS 132,712 # x 12"/12" ÷ 27	=	5,325		
20	FOUNDATIONS 1280' x .4	=	512		
21	WALLS 1,280' x 12"/12" ÷ 27 x 32'	=	1517		
22			7,354		
23			say	7,000	
24					
25	BUILDING 53				
26	SLABS 5250 # x 12"/12" ÷ 27	≈	194		
27	FOUNDATION 294' x .4	=	118		
28	WALLS 294' x 12"/12" x 20 ÷ 27	=	218		
29			530		
30			say	500	

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By DF Checked By S.G. Date 6/15/96 Job No. 96-59 Sheet 2 Of 4

1							
2	BUILDING #54					C.Y	C.Y
3		SLAB 10265 # x 10/12" ÷27			=	317	
4		FOUNDATIONS 320' x .4			=	148	
5		WALLS 320 x 12/12" x 15' ÷27			=	206	
6		BASEMENT			=	200	
7						871	
8						say	1000
9							
10	BUILDING #55						
11		SLAB 390873 # x 12/12" ÷27			=	14,478	
12		FOUNDATIONS 2400' x .4			=	864	
13		WALLS 2400' x 12/12" x 40' ÷27			=	3,556	
14		EQUIPMENT PADS 50 @ 200 #/ea, 4' DEEP			=	1,481	
15		BASEMENT ~~48000~~ # 880' WALL x 12/12" x 12' ÷27			=	391	
16						20,770	
17						say	23,000
18							
19	BUILDING #65						
20		SLAB	10,010 #	x 10/12"	÷27 =	309	
21		FOUNDATION 420 x .4			=	168	
22						477	
23						say	500
24							
25	WELL HOUSE					say	50
26							
27	Water Tower					say	100
28							
29							
30							

SAVIK & MURRAY
Consulting Engineers

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By DF Checked By SG. Date 6/15/96 Job No. 96-59 Sheet 3 Of 4

1				
2	FOUNDATIONS			
3				
4	#25		C.Y.	C.Y.
5		SLAB 2248# x 10"/12" ÷ 27 =	70	
6		FOUNDATION 160 x .4 =	64	
7			134	
8			say	100
9				=
10	#27			
11		SLAB 25052# x 12"/12" ÷ 27	928	
12		FOUNDATION 620 x .4	248	
13			1176	
14			say	1200
15				=
16	#42	SLAB 12541# x 12"/12" ÷ 27 =	464	
17		FOUNDATION 540 x .4 =	216	
18			680	
19			say	700
20				=
21	#46	SLAB 400# x 10"/12" ÷ 27 =	12	
22		~~EA~~ FOUNDATION 80 x .4 =	32	
23			44	
24			say	50
25				=
26	#63	SLAB 20778# x 10"/12" ÷ 27 =	641	
27		FOUNDATION 500 x .4 =	200	
28			841	
29			say	800
30				=

SAVIK & MURRAY
Consulting Engineers

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made By DF Checked By S.G. Date 10/15/96 Job No. 96-59 Sheet 4 Of 4

FOUNDATION

#64

SLAB	25250 #	x 10" / 12" ÷ 27	=	779	
FOUNDATION	INC IN	63		DAY	700

TOTAL = 64,700

TOTAL P.05

SUMMARY OF FILL AVAILABLE

SAVIK & MURRAY
CONSULTING ENGINEERS

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made by DF Checked by JP Date 10/4/96 Job No. 96-59 Sheet 1 of 3

1							
2	GRANULAR		MATERIAL				
3							
4	SOURCE - SOUTH OF		CONKLIN				
5							
6	STATION	LENGTH	CUT	CU. FT.	SUMMARY	SOURCE	COMMENTS
7		(FT)	(X-SEC)		CU YDS		CU YDS
8							
9	0+00		0				
10		82	1719	140,958			
11	0+82		3438		60,665	PHASE 2	SAY 60,000
12		300	4990	1,497,000			
13	3+82		6542				
14		556	4916	2,733,296	101,233	PHASE 4	SAY 100,000
15	9+38		3290				
16		292	1860	543,120	20,115	PHASE 5	SAY 20,000
17	12+30		430				
18		379	330	125,070			
19	16+09		230		4,632	PHASE 1	SEE NORTH
20		41	115	4,715	12,037	RECHARGE BASIN*	OF CONKLIN
21	16+50		0		16,669		
22							
23							
24	* RECHARGE BASIN TO BE CONSTRUCTED W/ 12,037						
25	CUBIC YARD CAPACITY @ NEW HIGHWAY.						
26							
27							
28							
29							
30							

SAVIK & MURRAY

CONSULTING ENGINEERS

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made by DF Checked by JP Date 10/4/96 Job No. 96-59 Sheet 2 of 3

1							
2	GRANULAR MATERIAL						
3	SOURCE - NORTH OF CONKLIN						
4							
5	STATION	LENGTH	CUT	CU FT	SUMMARY	SOURCE	COMMENTS
6		(FT.)	(X-SEC)		CU YDS		CU YDS
7							
8	0+00		0				
9		40	1034	41,360			
10	0+40		2069				
11		150	2098	314,700			
12	1+90		2128				
13		90	2266	203,940	50,928	PHASE 3	SAY 50,000
14	2+80		2404				CU YDS
15		62	3651	226,362			STATION
16	3+42		4898				3+42-5+50
17		208	5146	1,070,368			USE 55%
18	5+50		5345				
19		200	5277	1,055,400			SAY 80,000
20	7+50		5160		64,295	THIS SHEET	CU YDS
21		38	3513	133,494	+16,669	SHEET 1	STATION
22	7+88		1867		80,960		3+42 - 5+50
23		70	933	65,310			USE 45%
24	8+58		0				
25							
26							
27							
28							
29							
30							

SAVIK & MURRAY

CONSULTING ENGINEERS

(DESIGN ASSUMPTIONS, IF ANY, LISTED BELOW)

Made by DF Checked by JP Date 10/4/96 Job No. 96-59 Sheet 3 of 3

1							
2	Summary						
3							
4	PHASE		AVAILABLE				
5	1		80,000				
6	2		60,000				
7	3		50,000				
8	4		100,000				
9	5		20,000				
10			310,000	CU YDS			
11							
12							
13							
14	CONCRETE / ASPHALT PAVEMENTS						
15						Cu yds Conc/Asph	Cu yds Soil *
16	AREA 1						
17		600 x 350 x 1/2		= 105,000	}	7,000	7,000
18		600 x 150		= 90,000	}		
19	AREA 2						
20		540 x 100		= 57,000		2,000	2,000
21	AREA 3						
22		160 x 330		= 52,800		2,000	2,000
23	AREA 4						
24		220 x 500	x 1/2	= 55,000		2,000	2,000
25	AREA 5						
26		750 x 650	x 1/2	= 243,750		9,000	9,000
27					TOTAL	=	44,000 Cu yds
28	* Soil & Asp/Conc To be mixed on site 1:1						
29							
30							

APPENDIX 2

CONCRETE AND RESIDUE SAMPLING PROTOCOLS

APPENDIX 2

CONCRETE AND RESIDUE SAMPLING PROTOCOLS

Concrete

A sample of concrete floor material will be collected at each location selected by NYSDEC by following the procedures given below:

- The surface will be swept clean of any debris, grime or loose concrete.
- A 2-inch diameter diamond coring device will bore through the floor and extract a concrete core. The length of the core may vary depending on the floor thickness.
- The concrete sample will be placed in a laboratory container, then in a cooler at 4°C and transported to the laboratory observing chain-of-custody documentation.
- The concrete core will be described in the field book noting any stains, odors or structural features.

Residue

Sampling locations that have a significant layer of dirt or oily residue will also have a surface sample collected before the concrete is cored. The residue samples will be analyzed for the same constituents as the concrete and will be transported to the laboratory observing the same chain-of-custody documentation as the concrete samples. The residue sampling procedure is described below:

- Loose debris will be removed from the floor surface.
- A clean spatula or spoon will be used to scrape residue from an approximate 2 foot square area.
- The residue will be placed in a laboratory container and labeled with a sample number.
- Filled sample containers will be placed in a laboratory cooler at 4°C and delivered to the laboratory under chain-of-custody procedures.
- The sample description will be logged in the field book.

Equipment Decontamination

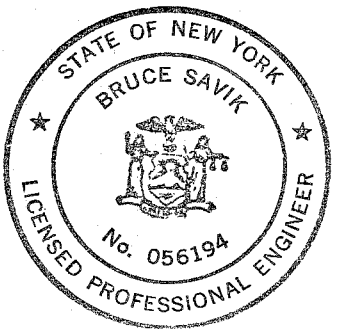
All concrete coring and other sampling equipment will be decontaminated before use at each sampling location or dedicated sampling devices will be used to avoid cross contamination. The equipment decontamination procedures are given below:

- The coring tube will be removed from the core drill and washed in an Alconox laboratory detergent solution.
- The cleaned coring tube will be rinsed twice with deionized water and air dried.
- Disposable stainless steel spatulas will be used to collect surface residue and then discarded.

CERTIFICATION

This report was prepared as a result of a contractual agreement between Mairoll, Inc. and SAVIK & MURRAY, Consulting Engineers, and is for the use of Mairoll, Inc., their attorneys and agents in support of the subject project. SAVIK & MURRAY, Consulting Engineers does not accept any responsibility for this report if used by any other person, or persons, for any use other than for which this report is intended.

This report was prepared under the supervision of Bruce Savik, P.E.



Bruce Savik, P.E.
New York State License No. 56194

3/19/97
Date

LETTER APPENDIX

MAC CONSULTANTS, INC.

515 ROUTE 111
HAUPPAUGE, NEW YORK 11788
516 265 7700
FAX: 516 265 9073

February 21, 1997

Susan D. McCormick, P.E.
Chief, Remedial Section B, Bureau of Eastern Remedial Action
New York State Department of Environmental Conservation
50 Wolf Road
Albany, New York 12233-7010

RE: Fairchild Main Plant Demolition

Dear Ms. McCormick:

I have enclosed an updated site plan and a revised page 9 from the Old Recharge Basin workplan prepared by Savik & Murray. Dan Falasco of Savik & Murray will provide additional updates if the schedule must be changed again to accommodate conditions that are likely to arise during the course of demolition and construction.

We have enclosed a copy of the "30 day" letter giving notice to the State and Babylon Town of Fairchild's intent to start filling operations at the Old Recharge Basin. Also, we have received preliminary laboratory results of the recent Main Plant Site soil and groundwater testing and we will be faxing the data to Steve Scharf as soon as we have all the results tabulated. The Main Plant Site monitoring wells will, in most cases, be in the way of upcoming demolition and excavation. As we discussed with Steve Scharf, we would like to review the data with the Department as soon as possible, and if it is agreed that resampling will not be required, Fairchild would have the wells sealed and abandoned by a licenced well driller.

I asked Savik & Murray to select a proposed Main Plant Site development plan that you may want to use in a public information release. They will send you a CAD file of the drawing, so that you may reproduce it at a scale best suited to your needs. Please call me if you have any questions.

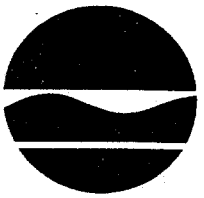
Sincerely,
MAC CONSULTANTS, INC.

Michael J. McEachern, C.P.G.
President

cc: B Michael Hodge, Esq. - Fairchild
James P. Rigano, Esq. - McMillan, Rather, Bennett & Rigano
Dan Falasco, P.E. - Savik & Murray

on the Main Plant property is expected to begin October 1996 and continue until around October 1997. Bove Indistries, Inc. has been awarded the contract for the demolition, and has been authorized to proceed with Buildings 19, 19A, 32, 33 and 53. Filling of the ORB will not commence until this Work Plan has been approved, the Consent Order has been signed and the required notice periods pursuant to 6 NYCCR 360-8.6 have elapsed. The fill operation is presently expected to begin in April 1997. Prior to the commencement of filling the construction debris will be stockpiled. The schedule presented on Sheet 1 may be modified based on site conditions, progress of demolition, weather or other factors. Nevertheless, Mairoll anticipates that, even with minor delays, the ORB fill project can be completed by Spring 1998.

New York State Department of Environmental Conservation
50 Wolf Road, Albany, New York 12233-7010



Michael D. Zagata
Commissioner

November 14, 1996

B. Michael Hodge, Esq.
Assistant General Counsel
Mairoll, Inc.
P.O. Box 10803
Chantilly, Virginia 22021

Dear Mike:

RE: Fairchild Old Recharge Basin Site No. 152004
Demolition and Filling Work Plan, October 1996

I am in receipt of the Demolition and Filling Work Plan dated October 1996 and your response letter dated October 24, 1996 regarding our second set of comments on the Work Plan for the above site. They have been reviewed by Tony Candela's staff of the Division of Solid and Hazardous Materials and myself. We have two final comments on behalf of the New York State Department of Environmental Conservation (Department) based on the above submittal and the October 22, 1996 meeting at the site.

1. All buildings targeted for demolition must have the floor slabs either mechanically cleaned or steam washed and the residue collected for proper disposal prior to demolition.

2. All wall board must be removed and disposed of at a NYSDEC permitted facility prior to demolition.

Please append this letter and your two letters addressed me dated August 22, 1996 and October 24, 1996 to the final work plan. With this action, your Demolition and Filling Work Plan dated October 1996 for the above site is found acceptable. Please submit two stamped and sealed (by a New York State Professional Engineer) copies of the complete Final Work Plan with the letter appendix to me at the above address and three copies to Tony Candela in the Region 1 Stonybrook office. The Final Work Plan will be officially approved upon the execution of the consent order by the Department.

If you have questions or concerns, do not hesitate to call me at (518) 457-3395. I have enjoyed working with you on this work plan and I look forward to bringing this project to realization. If there is anything I can do to assist in your decision to fill the basin, do not hesitate to call me.

Sincerely,

Susan D. McCormick

Susan D. McCormick, P.E.
Chief, Remedial Section B
Bureau of Eastern Remedial Action
Division of Environmental Remediation

c: A. Candela, P.E.
R. Rusinko, Esq.
M. McEachern, MAC Consultants
J. Rigano, Esq.
D. Falasco, Savik & Murray

Mairoll, Inc.
300 West Service Road
P.O. Box 10803
Chantilly, Virginia 22021
703/478-5800

Fairchild

October 24, 1996

By Overnight Mail

Susan D. McCormick
Bureau of Eastern Remedial Action
Division of Hazardous Waste Remediation
New York State Dept. of Environmental Conservation
50 Wolf Road
Albany, NY 12233-7010

Re: Old Recharge Basin Site
Site No. 1-52-004
East Farmingdale, NY

Dear Sue:

Please find enclosed for your review and approval the Demolition and Filling Work Plan for the Old Sump Site (Site No. 1-52-004, also known as the Old Recharge Basin), which has been revised in accordance with your comments, as explained below. Following are specific responses to each of the comments in your letter of September 12, 1996:

1. **Town of Babylon - Please provide copies of the Demolition Permits to Tony and me upon receipt. Also, please copy us on any correspondence with the Town in regard to this project and their responses.**

   Copies of permits and correspondence with the Town of Babylon will be provided.

2. **Material Calculations - The calculations for granular material (soil) and asphalt are not given in enough detail to support the quantities shown. Please provide more detail in Appendix 1 and on Sheet 2 (similar to those calculations for the amount of fill needed for the ORB).**

   Further detail has been provided in Appendix 1 and on Sheet 2.

3. **Table 1 - The quantities shown for Building 27, 53 and 65 do not agree with the calculations in Appendix 1, the chart on Sheet 1, or in the text of the Work Plan (page 4). Please correct.**

   The discrepancies noted in this comment resulted primarily from the process of rounding off the calculations used to derive the estimates of available fill material. Those calculations have been reviewed, and the estimates have been refined to eliminate the noted discrepancies. Appropriate corrections have been made in the text.

4. **Previous Comment #10, ORB Site Drainage - In your response you discussed the need for a leaching basin. Does the Town require that now, or only when the site is developed in the future? Your response is not clear. Additionally, 6NYCRR Part 360-8.6(b) requires that the intended future use of the property being restored to grade must be identified with a time schedule for implementing such use. Please provide that information in the Work Plan.**

   The future use of the property will conform to local zoning for a G Industrial District. The Town is not expected to require a recharge basin until the site is developed in the future.

5. **Page 4, second to the last line - hazardous is misspelled.**

   The spelling has been corrected.

6. **Page 5, first paragraph - Add a statement that any additional fill that may be obtained from an off-site source will be of similar nature to that which is being proposed here.**

   This statement has been added to the text.

7. **Page 5, Sampling Plan - Please reference that the locations of the samples collected are shown on Figures 1, 2 and 3.**

   This reference has been added to the text.

8. **Page 6, second bullet - What does "Other applicable manifesting requirements will be met" refer to? Please be more specific.**

   Fairchild is not aware of any other manifesting requirements which would apply to the fill material being transported to the Old Recharge Basin. This statement was added to the text to indicate that Fairchild would comply with any manifesting requirements of which it was not now aware. To avoid confusion, this sentence has been deleted from the text.

9. **Page 7, Roadways - How often will the hauling route be swept with a power sweeper? Please discuss.**

   The hauling route will be swept as necessary whenever dust becomes excessive. The timing of this sweeping will have to be determined based on field conditions.

10. **Sheet 3 - Who owns the property between Carconk Co., Inc. on Route 110 and the ORB property line? There is unidentified land there. Also, please add the name and address of the owner of the property at the corner of Conklin Street and East Carmens Road.**

    These property owners have been added to Sheet 3.

We hope the above adequately addresses NYSDEC's concerns. Please let us know if you need anything further.

Sincerely,

B. Michael Hodge
Assistant General Counsel

cc: Anthony Candela
Rosalie Rusinko, Esq.
James Rigano, Esq.
Michael McEachern, MAC Consultants
Bruce Savik, Savik & Murray

Dan Falasco, Savik & Murray
Donald Miller, Esq.

Washington Dulles International Airport
300 West Service Road
PO Box 10803
Chantilly, Virginia 22021
703/478-5800

Fairchild

August 22, 1996

By Overnight Mail

Susan D. McCormick
Bureau of Eastern Remedial Action
Division of Hazardous Waste Remediation
New York State Dept. of Environmental Conservation
50 Wolf Road
Albany, NY 12233-7010

Re: Old Recharge Basin Site
Site No. 1-52-004
East Farmingdale, NY

Dear Sue:

Please find enclosed for your review and approval the Demolition and Filling Work Plan for the Old Sump Site (Site No. 1-52-004, also known as the Old Recharge Basin), which has been revised in accordance with your comments, as explained below. Following are specific responses to each of the comments in your letter of July 22, 1996:

1. ***The Work Plan and all related drawings must be stamped and signed by a licensed New York State Professional Engineer.***

   Response: The Work Plan and drawings will be appropriately signed and sealed by Bruce Savik of Savik & Murray, consulting engineers for Mairoll, Inc. ("Mairoll"), when the final form of the Work Plan is approved.

2. ***Per 6 NYCRR Part 360-8.6(b) the Work Plan and an associated letter must be sent to the Town of Babylon for their information.***

   Response: The Work Plan and associated letter will be submitted to the Town of Babylon in accordance with 6 NYCRR Part 360-8.6(b) once the Work Plan has been approved by the New York State Department of Environmental Conservation ("NYSDEC"). The Town has been made aware of this proposed project.

3. ***Section I.C.(3) of the consent order being negotiated requires that all necessary approvals from the Town of Babylon to transport the fill material be obtained. Section 4 of the Work Plan does not state whether these are***

required and whether they have been obtained or not. Additionally, at our meeting on June 3 and 4, 1996 it was mentioned that New York State Department of Transportation approvals may be needed for part of the haul route. Is this necessary and have they been obtained? Please discuss and provide the Department copies of all necessary permits and approvals.

Response: The filling of the Old Recharge Basin as set forth in this Work Plan is part of a larger project which includes the demolition of the remaining buildings at the old Fairchild Republic Main Plant Site. It will be the responsibility of the demolition contractor to obtain the necessary approvals from the Town of Babylon in the form of a demolition permit. Mairoll just recently awarded the demolition contract. If there is a need to obtain the Town's approval prior to the issuance of the demolition permits, please inform us and we will make every effort to obtain that approval. Mairoll is not presently aware of any permits or other approvals needed from the New York State Department of Transportation ("NYSDOT").

4. ***Section I.C.(7) of the consent order being negotiated requires the method of fill placement and compaction be detailed. There is no discussion of the compaction methodology and specifications in the Work Plan. Please include in your resubmittal.***

Response: The specifications used for this project are the NYSDOT Standard Specifications of January 2, 1990, as amended. The requirements for fill and compaction are as outlined in Item 203 Unclassified Excavation and Embankment. This specification will be referenced in the Work Plan, and a copy is attached here for your review.

5. ***Sections I.C.(9) and (10) of the consent order being negotiated require demonstration of the necessary amount of fill material to bring the site to grade and to fill to five feet above the groundwater table with clean material. The Work Plan does not adequately demonstrate either of these. Please include the demolition quantity calculations for each building in the Work Plan. Also, a statement must be added to the Work Plan that these two Sections of the order will be explicitly complied with. All quantities identified in the Work Plan must be justified by proper calculations and these calculations must be included in your resubmittal.***

Response: A discussion of the estimated amount of available fill material will be included in the main text Work Plan, and the calculations for the amount of available fill material will be included as an appendix. It should be noted that the calculations are estimates based upon Mairoll's best available knowledge. Actual quantities of available fill material will be affected by such factors as the size of any

areas found to be unsuitably contaminated (and which will therefore have to be separately disposed). In addition, though Mairoll currently plans to demolish all remaining buildings on the Main Plant site, changes in final plans for development of the property may necessitate leaving some buildings (in particular, Building 17) standing. Thus, final quantities of fill material will not be known until the work is actually performed. It is Mairoll's understanding that, though the calculations it has performed demonstrate that enough fill material will be available from the Main Plant site, if it turns out in fact that enough fill material is not present from the Main Plant site, Mairoll will be able to propose that, with NYSDEC's prior approval, enough clean fill material from other sources be brought in to complete the filling of the ORB. A statement that Mairoll will comply with Sections I.C.(9) and (10) of the consent order being negotiated will be added to the Work Plan.

6. ***A more detailed sampling protocol must be identified in the Work Plan. It must include a test for sampling of floor scrapings. A drawing must also be developed that shows the locations of all sampling points identified in the site walk with Department staff. Samples must be a true representation of what will be placed in the Basin. Please discuss how the samples will be collected.***

   Response: A more detailed sampling protocol will be included as an appendix to the Work Plan.

7. ***The Work Plan must explicitly state that only approved materials from the Fairchild Main Plant Site that are free of contamination will be placed in the Basin. If quantities are insufficient to complete the fill operation (which they shouldn't be per number 5 above), Fairchild may propose another source of clean material for Department approval.***

   Response: The Work Plan already states that the fill material will consist of "clean fill" as defined in 6 NYCRR Part 360-8.6(b). A statement will be added to the Work Plan that the materials must be approved by NYSDEC.

8. ***Has the Town of Babylon approved your haul plan, route and hours? Please include the Town's approval with the Work Plan.***

   Response: The Town of Babylon has been made aware of this project. Formal approval will come with the granting of the demolition permits, as discussed above.

9. ***The Work Plan must indicate where all contaminated materials, if found, will be ultimately disposed of. Additionally, all materials leaving the Fairchild Main Plan site shall be accompanied by a Part 360 Construction and Demolition Debris Tracking Document. This includes materials going into the Basin as well as those going for off-site disposal.***

Response: All contaminated materials, if found, will be disposed in accordance with applicable State of New York and federal regulations, including manifesting requirements. Actual disposal facilities will be identified in the manifests as the need arises. The Work Plan will be modified to state that a Part 360 Construction and Demolition Debris Tracking Document will be used for each load of fill material leaving the Main Plant site.

10. ***A drawing indicating the final drainage plan for the Basin property must be included as part of the Work Plan.***

Response: A Grading Plan for the Old Recharge Basin is included as Sheet 4 of the Drawings. This plan reflects a final grade, north to south, to coincide with the natural grade of the surrounding land. There is no intent to place drainage facilities on the site at this time, because final use of the site has not yet been determined. If in the future the site is developed, drainage design will be in accordance with the requirements of the local jurisdiction. Based on current requirements, leaching basins are required to hold a 2-inch rainfall. The maximum depth of the leaching basin can be 12 feet. The Town of Babylon requires the location of the leaching basin to be 2 feet above ground water.

11. ***On Sheet 2 of 3 in the Work Plan, all adjoining property owners to the basin must be identified and indicated on the drawing. These owners must be notified of this work prior to beginning the fill operation. Please copy Tony Candela on these notification letters.***

Response: All adjoining property owners are now shown on Sheet 3, and will be notified prior to the beginning of the fill operation.

12. ***On Sheet 2 of 3 in the Work Plan, Note No. 4 should be combined with Note No. 3 to read correctly.***

Response: Notes No. 3 and 4 will be combined. Please note that the sheets have been renumbered.

We hope the above adequately addresses NYSDEC's concerns. Please let us know if you need anything further.

Sincerely,

B. Michael Hodge
Assistant General Counsel

cc: Anthony Candela
Rosalie Rusinko, Esq.
James Rigano, Esq.
Michael McEachern, MAC Consultants
Bruce Savik, Savik & Murray
Dan Falasco, Savik & Murray
Donald Miller, Esq.