



# Construction Completion Report

Taylor's Lane Drainage  
Improvements

709 Westchester Avenue, L2  
White Plains, NY 10604  
914-448-2266

**woodardcurran.com**  
COMMITMENT & INTEGRITY DRIVE RESULTS

Taylor's Lane Landfill  
**Village of Mamaroneck**  
October 2016

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## 1. INTRODUCTION

Woodard & Curran P.A.P.C. (Woodard & Curran), on behalf of the Village of Mamaroneck (the Village), has prepared the following Construction Completion Report (CCR) to document the installation of drainage improvements adjacent to the Taylors Land Composting Site (Landfill), located in Mamaroneck, Westchester County, NY. Drainage improvements were conducted adjacent to the Landfill, within a permanent maintenance easement and near two residential properties historically impacted with high ground water and poor surface drainage conditions. The following CCR presents a brief discussion of previous Landfill closure and offsite drainage activities and documents recent drainage improvements conducted between 2013 and 2014. Drainage improvements were conducted in accordance with the Taylors Lane Drainage Improvement Plans, dated October 31, 2013 and approved by the New York State Department of Environmental Conservation (NYSDEC) on November 20, 2013.

## **2. BACKGROUND INFORMATION**

### **2.1 SITE DESCRIPTION**

The project area includes the Landfill and the offsite areas immediately to the east of the landfill located on Greenhaven Road, Shadow Lane, and at the intersection of Taylors Lane and Shadow Lane (herein referred to as the "Site") in the Village of Mamaroneck, Westchester County, New York (Figure 1). The Landfill is currently vacant and was previously used as a landfill between the 1950s and 1970s. Prior to use as a landfill, it was mined for gravel, and the open pits were reportedly filled with industrial wastes. The Landfill is currently listed as a Class 2 Site on NYSDEC's Registry of Inactive Hazardous Waste Disposal Sites (Site No. 360021).

### **2.2 LANDFILL GEOLOGY & HYDROGEOLOGY**

The topography generally drains surface water towards the Landfill center and ground water flow is generally from north-northwest to south-southeast. The fill layer extends an average of 15 feet below grade. A sand layer extends on average from below the fill to 40-feet below grade. Bedrock is found on average from eight feet to 80-feet below grade.

### **2.3 1997 LANDFILL CLOSURE**

The Record of Decision (ROD) for the Site was developed following the completion of a Remedial Investigation/Feasibility Study prepared by Malcom Pirnie in April 1993. A copy of the Feasibility Study is provided in Appendix A. The ROD for the Site included a primary remedy of a cover system. Remedial design and implementation was conducted by EMCON/Wehran-New York, Inc. (EMCON) between 1995 and 1997. Final certification of the final cover construction was filed with the NYSDEC in September 1997.

According to the Construction Plans for the Closure of the Taylor's Lane Compost Site (Construction Plans), prepared by EMCON, general landfill closure designs included the following components:

- A gas venting system to intercept, collect, and passively vent landfill gas to the atmosphere, final cover system, and stormwater controls;
- A final cover system and stormwater management system to minimize infiltration of stormwater through the waste to limit the release of contaminants into ground water.

A copy of the Construction Plans is provided in Appendix A and additional details on the landfill closure components are provided below:

#### **2.3.1 Final Cover Design**

According to the Construction Plans, the final cover system for the landfill included a prepared subgrade layer, a gas venting layer consisting of 12-inches of recycled glass, a 40 mil flexible membrane liner, a 24-inch barrier layer, and a 6-inch layer of topsoil. A review of an unsigned copy of the Taylor's Lane Compost Site Certification Report cover letter (Certification Report) dated October 9, 1997 prepared by EMCON and provided to Woodard & Curran indicates that due to insufficient quantities of recycled glass available at the time of construction, geotextile overlain by geonet, was installed as gas venting layer on the west side of the site. The 12-inch layer of recycled glass overlain by geotextile was installed as a gas venting layer on the east side of the site, as designed in the Construction Plans.

#### **2.3.2 Onsite Stormwater Management**

Landfill closure included the installation of an onsite stormwater management system that consists of a system of diversion swales and culverts. According to the Construction Plans, the final Landfill grades were designed to provide



diversion of stormwater runoff through swales/channels towards the culverts. The channels were formed by contouring the final cover to collect runoff and facilitate diversion of stormwater into the culverts.

### 2.3.3 Offsite Stormwater Management

Offsite closure activities included the installation of a french drain outside the Landfill along north-western property boundary to improve drainage in the vicinity of two residential properties. The drain consisted of 3-foot wide geocomposite drain material covered by 1-foot of topsoil. According to EMCON, this initial french drain system installed along the north-western property in the vicinity of the private residences was inadequate at reducing wet conditions and required additional improvements. Subsequent drainage improvement work was completed in March of 1997 and included the installation of a trench drain below the french drain. This trench drain was constructed with perforated pipe surrounded by crushed stone and filter fabric.

### 2.3.4 Storm Drain Improvement Work

In addition to final cover installation and offsite drainage improvements, rehabilitation of public stormwater systems adjacent to the Landfill was included as part of closure activities documented in the Certification Report. The storm drain improvement work consisted of replacing two catch basins along Taylor's Lane, replacing culvert pipe between and beyond these catch basins, and installing an outlet protection structure.

## 2.4 POST-CLOSURE ACTIVITIES

Following Landfill closure and offsite drainage improvements, several investigations related to ground water and offsite drainage have been conducted at the Site and surrounding areas. A brief summary of the relevant post-closure investigations is provided below:

- **December 2004 – NYSDEC Leachate Investigation:** NYSDEC conducted a leachate investigation and collected samples of water, sediments, and soil to assess the potential impact of uncontrolled discharges of leachate from the Landfill onto adjacent properties. Results indicated that concentrations of arsenic exceeded background levels in the soils and exceeded the aquatic life "severe effects level" for sediments. Water samples did not indicate the presence of high strength or concentrated leachate. The conclusion of this report determined that the cap has not been effective in containing on site contaminants and a hydrologic evaluation of the Landfill was recommended to evaluate leachate abatement solutions. A copy of the December 2004 Leachate Investigation was included in the 2013 Corrective Measures Report, which is included in Appendix A.
- **January 2005 - Shaw Environmental and Infrastructure, Inc. (Shaw) Hydrogeologic Evaluation:** In 2005, Shaw conducted a hydrogeologic evaluation to further assess ground water conditions in the vicinity of the landfill and offsite residential properties. The evaluation included an assessment of ground water flow direction and onsite and offsite ground water quality. Results indicated that the Landfill could be contributing to ground water impacts down gradient from the Site. However, up gradient ground water samples exceeded most of the same NYSDEC standards for parameters than were exceeded in both Landfill and offsite downgradient ground water samples. The Shaw report concluded that based on available data, it could not be determined conclusively whether the Landfill was the source of ground water/standing water issues at the offsite residential properties. A copy of the Shaw 2005 Hydrogeologic Evaluation was included in the 2013 Corrective Measures Report which is included in Appendix A.
- **May 2009 – Shaw Phase I Pump Test Results:** In 2009, Shaw conducted a pump test at the Landfill to gather hydrogeologic data in support of leachate mitigation efforts. The findings of the report indicated that the aquifer is very permeable and capable of yielding large quantities of water. Since the aquifer is permeable, there was a minimal response in the three monitoring wells located near the Markowitz residence. Shaw

recommended additional testing in this area to determine an effective leachate mitigation strategy. A copy of the Shaw 2009 Phase I Pump Test Result was included in the 2013 Corrective Measures Report, provided in Appendix A. **Semi-Annual Groundwater Monitoring:** Since 1997, Post-Closure ground water monitoring has been conducted downgradient of the Landfill along Taylors Lane. A review of recent ground water data indicates that there have been no exceedences of NYSDEC ground water standards in the wells closest to the offsite drainage improvements (MW-3S/MW-3D) in the last five years. A copy of the August 2016 Zion Environmental report is provided in Appendix A.

## **2.5 2009-2013 INTERIM REMEDIAL MEASURE/CORRECTIVE MEASURE**

Following the May 2009 pump test and subsequent correspondence between Shaw, the Village, and the NYSDEC on potential remedies to mitigate ground water and surface drainage conditions adjacent to the Landfill, the NYSDEC requested the installation of a leachate recovery well and associated piping within the landfill in a letter dated August 24, 2009. An Interim Remedial Measure Work Plan (IRMWP) prepared by Woodard & Curran on behalf of the Village and submitted to NYSDEC on September 30, 2009. A revised IRMWP was issued based on a subsequent meetings and NYSDEC comments.

The objectives of the IRM was to lower the level of the leachate by gravity drainage through the use of a leachate recovery well. The recovered leachate was discharged into the Westchester County Department of Environmental Facilities (WCDEF) sewer line, subject to the agreement between the Village of Mamaroneck and the WCDEF dated August 1, 2011. The objective was to maintain the leachate elevation at approximately 9.2-feet above mean sea level at a leachate recovery well designed for optimum collection of leachate as recommended by the NYSDEC in their letter dated August 24, 2009.

The IRM was conducted between July 2010 and January 2012 and included the following notable activities:

- November 6, 2009 - Submitted final IRM Work Plan;
- November 10, 2009 - NYSDEC approved Final IRM Work Plan;
- August 16-23, 2010 - Monitoring well installation and development and leachate well pilot boring installed;
- October 17, 2010 - Geotechnical lab analysis, leachate well design, design submittal to NYSDEC, and NYSDEC approval;
- December 2-17, 2010 - Baseline ground water monitoring period, installation of leachate recovery well, installation of discharge pipe, manhole and appurtenances, and construction dewatering monitoring period;
- December 2010-April 2012 - Demobilization pending authorization of WCDEF permit;
- April 12--18, 2011 - Site restoration, installation of flow meter data logger, flexible membrane liner weld/repair, and cover material backfilling, grading and seeding;
- May 16, 2011 - Installed leachate flow meter;
- August 1, 2011 - WCDEF sanitary sewer permit approval;
- August 8--10, 2011 - Baseline monitoring period (restarted after delay in receiving WCDEF permit);
- August 11, 2011 - Initiated leachate recovery period and monitoring program; and
- January 3, 2012 - Completed leachate recovery well operation period monitoring program.

The execution and results of the IRM were documented in the April 2013 Corrective Measures Report (CMR). Based on the results of the leachate recovery operation, Woodard & Curran concluded that the operation of the onsite leachate recovery system has had no discernible effect on the overall ground water/leachate level at the Landfill or at the adjacent residential properties. This conclusion was based on a review of water level data from the monitoring well network during baseline and leachate recovery monitoring periods, tidal data, precipitation data, and leachate recovery flow data.. The April 2013 CMR recommended several follow-up actions, including evaluating and optimizing the existing offsite drainage systems installed in 1997 during Landfill closure. The NYSDEC issued a comment letter on April 24, 2013 in response to the April 2013 CMR. The NYSDEC generally agreed with the recommendations and requested that the Village proceed immediately with the improvements to the offsite drainage system located adjacent to the Landfill and residential properties. The April 2013 CMR was revised to address the NYSDEC comments, and a final CMR dated May 2013 was submitted to the NYSDEC on May 2, 2013. A copy of the May 2013 CMR is provided in Appendix A and a copy of the NYSDEC's April 24, 2013 letter approving the recommendation to improve offsite drainage is provided in Appendix B.

### **3. TAYLORS LANE DRAINAGE IMPROVEMENT DESIGN**

Following the submission of the May 2013 CMR, Woodard & Curran, on behalf of the Village, conducted offsite drainage improvements activities adjacent to the Landfill between 2013 and 2014. Drainage improvements were conducted along the northwestern border of the Landfill, adjacent to private residences located at 515 Greenhaven Road (Former Weinstein Property) and 1406 Shadow Lane (Markowitz Property). The following Section documents the design, approval, and construction of the offsite drainage improvements. Note that although the drainage improvements were conducted outside and adjacent to the Landfill along Greenhaven Road and Shadow Lane, subsequent design documents refer to the offsite drainage improvements as “Taylors Lane Drainage Improvements”.

#### **3.1 TAYLORS LANE DRAINAGE IMPROVEMENT DESIGNS**

##### **3.1.1 Conceptual Design**

Initial designs for the Taylors Lane Drainage Improvements were prepared by Woodard & Curran and submitted to the NYSDEC on September 12, 2013. The NYSEC approved the conceptual design in an email dated September 19, 2013. An email documenting the NYSDEC approval of the conceptual design is provided in Appendix B. The Draft Taylors Lane Drainage Improvements Plans dated July 2, 2013 are provided in Appendix C.

##### **3.1.2 Final Design**

Following approval of the conceptual design, Taylors Lane Drainage Improvements Plans were finalized and approved by the NYSDEC on November 20, 2013. An email documenting the NYSDEC approval is provided in Appendix B. The final Taylors Lane Drainage Improvements Plans dated October 31, 2013 are provided in Appendix C. Note that following NYSDEC approval, minor changes to Sheet C-200 were incorporated into the final design.

As shown on the October 31, 2013 Taylors Lane Drainage Improvement Plans, upgrades to the existing offsite drainage system included the installation of approximately 365 linear feet of ten-inch solid high-density polyethylene piping starting at the Weinstein Property and tying into an existing drain inlet located at the intersection of Taylors Lane and Shadow Lane. In addition, the plans call for a second 6-inch perforated HDPE piping to be installed parallel to and 15 feet north of the primary section of piping. The secondary drainage pipe was installed in two sections, due to the presence of an existing structure on the Markowitz Property. This secondary drainage pipe ties into the primary drainage pipe and two manholes. A third manhole is located on the primary drainage line before tying into the existing drain inlet located at the intersection of Taylors Lane and Shadow Lane.

The plans also includes installing a total of three surficial area drains (AD) at select locations along the primary and secondary drainage pipes, three manholes along the primary section pipe, and four cleanouts along the two sections of secondary drainage piping. All planned improvements were located within a permanent maintenance easement (approximately 30 feet wide by 400 feet long) located directly adjacent to the landfill and extending from the Weinstein Property to the intersection of Taylors Lane and Shadow Lane. Documentation of the permanent maintenance easement is provided in Appendix B.

## **4. TAYLORS LANE DRAINAGE IMPROVEMENT CONSTRUCTION**

Following NYSDEC approval of the final Taylors Lane Drainage Improvements plans, bids were solicited from several qualified contractors and were awarded to WJL Equities Corporation (WJL), of Eastchester, NY. Drainage improvement activities were initiated on March 28, 2014 and were completed on April 24, 2014. A representative from Woodard & Curran was onsite during all major construction milestones to observe and document the drainage improvements. A summary of key construction activities is provided below:

- March 28, 2014 – Evergreen Arborists onsite to remove trees within the work area and marked trees to be kept in vicinity of Markowitz Property;
- April 2, 2014 – WJL onsite; began mobilizing equipment and marking out pipe runs/connections.
- April 3, 2014 – WJL cleared work area in preparation for excavation and pipe installation;
- April 7, 2014 – WJL excavated around existing drain inlet (DI) located at the intersection of Taylors Lane and Shadow Lane. WJL installed two 24-inch manholes (designated as MH-1 & MH-2) and trenched/installed primary 10-inch pipe from existing DI to manholes. WJL placed 6-inches of  $\frac{3}{4}$ -inch stone at base on trench beneath 10-inch piping.
- April 9, 2014 – WJL continued to trench/install primary 10-inch pipe from MH-2 to a third manhole, MH-3. MH-3 was installed three feet south of the planned location due to an obstruction. Following installation of MH-3, 10-inch solid HDPE pipe was installed in the trench.
- April 10, 2014 - WJL continued to trench/install primary 10-inch pipe from MH-3 to area drain AD-4. WJL placed 6-inches of  $\frac{3}{4}$ -inch stone at base of trench beneath 10-inch piping and 6-inches of  $\frac{3}{4}$ -inch stone above piping. WJL uncovered sump cleanout adjacent to Weinstein Property and connected via 8-inch HDPE pipe from sump to primary 10-inch pipe.
- April 11, 2014 – WJL began to excavate trench to install first section of secondary drainage pipe that connects from MH-3 to AD-3-1. Piping from MH-3 to AD-3 changed from solid to perforated based on a field decision by H. Greechan (Woodard & Curran). WJL installed additional ADs on Weinstein Property. 6-inch perforated piping installed to connect AD to main 10-inch drainage line.
- April 14, 2014 - WJL installed cleanouts and 6-inch perforated piping on Markowitz Property.
- April 16, 2014 - WJL made field adjustments to pipe invert at MH-3 and began installing new 30-inch by 30-inch manhole adjacent to Shadow Lane.
- April 17, 2014 - WJL connected existing and newly installed piping into 30-inch by 30-inch manhole; WJL continued to excavate trench and install 6-inch perforated pipe between MH-3, AD-3-1, and AD-3-2 on Weinstein Property. AD-3-1 installed following removal of between three and five feet of rock.
- April 18, 2014 - WJL conducted restoration activities (backfilling, debris removal, etc.) and made field adjustments to various drainage improvement components.
- April 21, 2014 – WJL re-excavated 6-inch perforated piping at Weinstein property. Due to depth, pipe was not capturing water. Piping re-installed at deeper depth. WJL installed cleanouts on Weinstein Property and backfilled excavations.

- April 22, 2014 - WJL cleaned work area of debris and extra materials. Extra stone and backfill material removed from site; fence contractor onsite.
- April 24, 2014 – Empire completed survey of site for easement.

An As-Built survey performed by Ward-Carpenter Engineers Inc. documenting drainage improvements following construction is provided in Appendix C. A photographic log documenting drainage improvement construction is provided in Appendix D. In addition, a copy of the Deed Restriction for the Landfill is provided in Appendix B. Following completion of drainage improvements, high ground water conditions and poor surface drainage conditions have been mitigated adjacent to the Landfill and offsite residential properties.

## 5. REFERENCES

Malcolm-Pirnie, 1992. Mamaroneck Feasibility Study.

EMCON/Wehran – New York, Inc. 1997. Taylors Lane Compost Site Certification Report. October 9, 1997.

EMCON/Wehran –New York, Inc. 1998. Post-Closure Operations and Maintenance Plan. Taylors Lane Compost Site. dated February 1998.

New York State Department of Environmental Conservation, 2004. Leachate Investigation at Mamaroneck Taylor Lane Leaf Compost Site: Site No. 360021, dated December 2004.

Shaw Environmental and Infrastructure, Inc. 2005. Hydrogeological Evaluation: Taylors Lane Compost Site, Village of Mamaroneck, NY. Report dated January 2005.

Shaw Environmental and Infrastructure, Inc, 2009. Phase I Pump Test Results. Letter to the Village of Mamaroneck dated May 12, 2009.

Woodard & Curran, 2013. Corrective Measures Report. Taylors Lane Landfill, Village of Mamaroneck, Report dated May 2013.

Zion Environmental, LLC, 2016. 2016 Semi-Annual Monitoring Results, Taylor's Lane Composting Site, Mamaroneck, NY, Report dated August 22, 2016

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## FIGURES



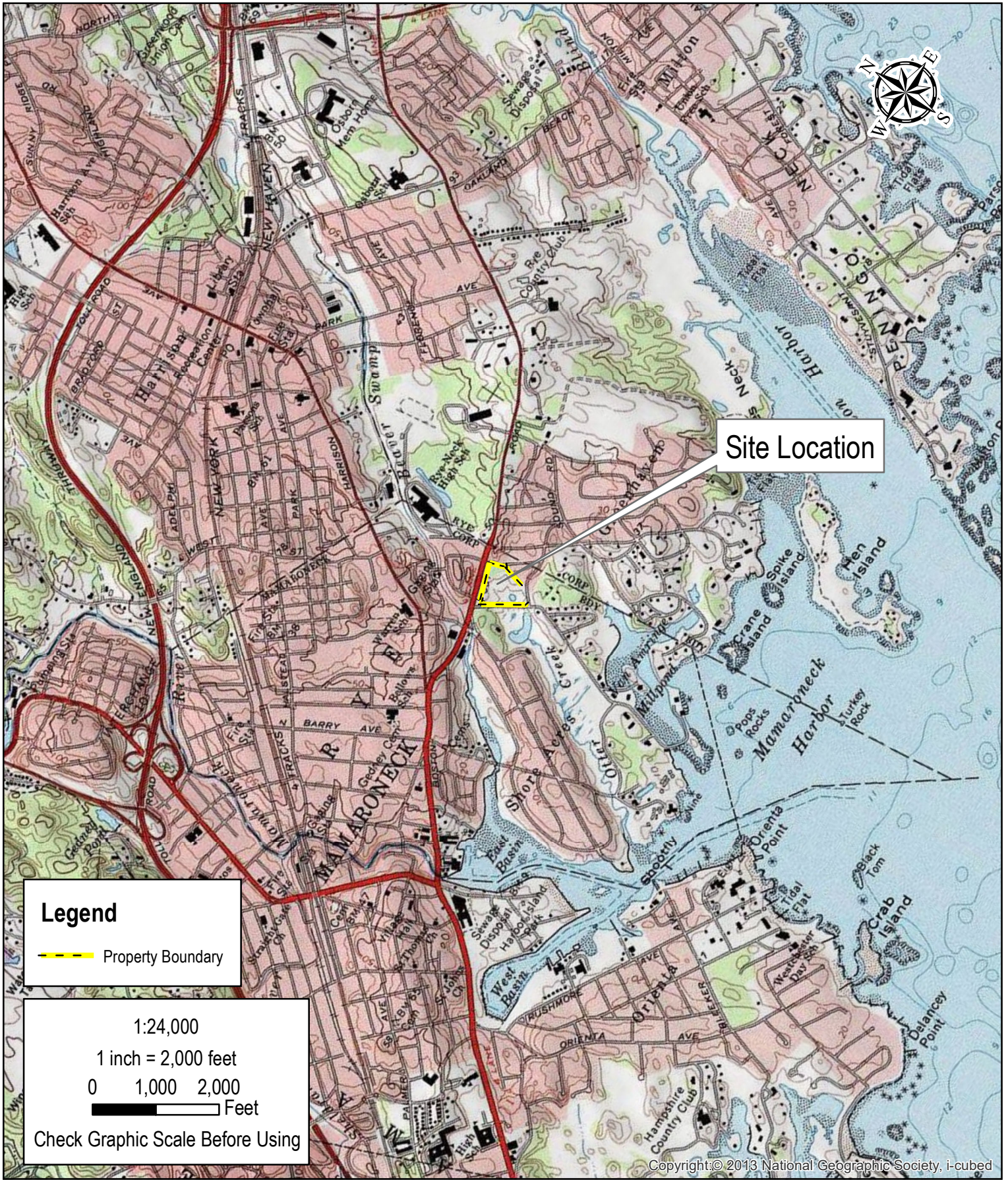



FIGURE 1	DATE: September 2016	DRAWN BY: KCS	JOB NO: 217337	Village of Mamaroneck Mamaroneck, NY	<h2>Site Location</h2> <p>woodardcurran.com/Projects/213733 Village of Mamaroneck - Taylors Lane - Leachate/wip/GIS/ArDocs/2016.09.22 Figure 1 Site Location.mxd</p> <p>Coordinate System: NAD 1983 StatePlane New York East FIPS 3101 Feet</p>	 <p>709 Westchester Ave, Suite L2 White Plains, New York 10604 800.807.4080   <a href="http://www.woodardcurran.com">www.woodardcurran.com</a></p> <p>COMMITMENT &amp; INTEGRITY DRIVE RESULTS</p>
				Taylors Lane Landfill Mamaroneck, NY		





## **APPENDIX A: HISTORICAL DOCUMENTS (DISC)**

## **APPENDIX B: APPROVALS AND SUPPORTING DOCUMENTS**

# New York State Department of Environmental Conservation

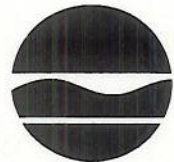
## Division of Environmental Remediation

Remedial Bureau C, 11th Floor

625 Broadway, Albany, New York 12233-7014

Phone: (518) 402-9662 • Fax: (518) 402-9679

Website: [www.dec.ny.gov](http://www.dec.ny.gov)



Joe Martens  
Commissioner

April 24, 2013

Richard Slingerland, Village Manager  
Village of Mamaroneck  
PO Box 369  
123 Mamaroneck Ave.  
Mamaroneck, NY 10543

Dear Mr. Slingerland:

Re: Taylors Lane Landfill (DEC Site #360021)  
Corrective Measures Report

The New York State Department of Environmental Conservation (Department) has reviewed the April 2013 "Corrective Measures Report" submitted by Woodward and Curran on behalf of the Village of Mamaroneck. Although the Department has several comments relating to the interpretation and presentation of information in the report, we generally concur with the recommendations made by Woodward and Curran. In particular the Village should proceed immediately with the second recommendation, to evaluate and improve the drainage structure between the site and affected properties on Shadow Lane and Greenhaven Road.

The Department has the following comments on the report:

### Conclusions

Page 7-1, third bullet – The Department suggests re-writing the first paragraph to clarify that the detections of contaminants were very low. The statement that "there were surficial and shallow impacts of limited constituents (pesticides, PCB, metals and SVOCs) that is indicative of anthropogenic effects" could be interpreted as meaning that significant levels of a few contaminants are present, and could be attributed to the landfill. Neither is the case. The report should clearly state that all detections of PCBs and SVOCs complied with the soil cleanup objectives for residential use. It would be reasonable to conclude that the detections of DDT, DDD, lead, and mercury only slightly exceeded their respective residential SCOs. Rather than saying that the "vast majority" of samples complied with the residential SCO, it would be preferable to say that 3 samples exceeded the SCO for mercury, 1 sample for lead, etc. out of the 42 samples taken.

In the last sentence of this bullet, the suggestion that elevated iron may be a background condition should be documented in the current report or omitted. This should include a comparison of groundwater data from wells located upgradient, in the waste area and downgradient to evaluate whether the waste is contributing iron to the groundwater.



### Section 7.3

Page 7-3, second full bullet – Revise to state that lead was detected in one sample that slightly exceeded the residential SCO (440 ppm vs. 400 ppm) and mercury was detected in three samples that exceeded the SCO (1.2, 1.2 and 0.84 vs. 0.81), all from boring SB-1. If the second sentence is retained, the detection of metals in "numerous" soil samples below the residential was not limited to lead and mercury.

Page 7-3, third bullet – Please add that there are no cleanup objectives for iron in soil.

Page 7-3, sixth bullet – The geologic cross section is shown in Figure 15, not 14. Also change this at the top of page 7-4.

Page 7-3, last bullet – The presence of a clay layer would not create an upward gradient. It could create a perched water condition, or in conjunction with the cap membrane could create a conduit for preferential flow. This is repeated in the fourth bullet on page 8-1.

### Section 7.6

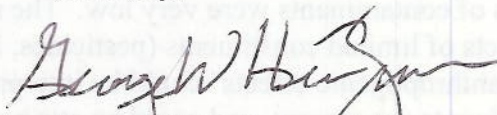
New bullet – Please discuss whether groundwater levels in any strata were correlated to the tide cycle.

### Recommendations

Page 8-1, third bullet – In addition to determining whether the landfill mass is saturated to the cap membrane, the survey should determine if leakage is occurring beneath the membrane anchor trench.

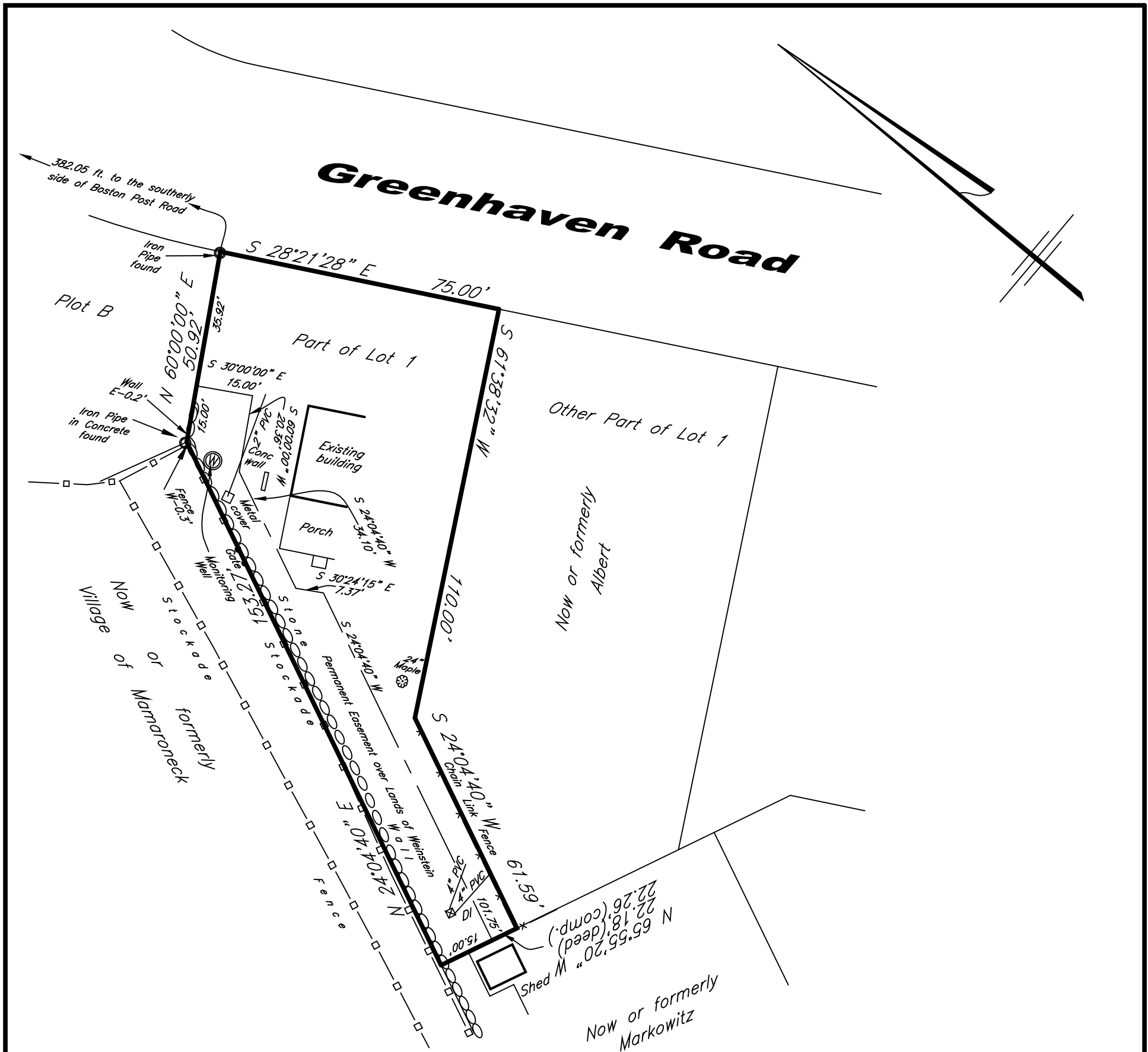
If you have any questions, please contact me at (518) 402-9662.

Sincerely,



George W. Heitzman, P.E.  
Acting Director, Remedial Bureau C  
Division of Environmental Remediation

cc: H. Greechan, Woodward & Curran

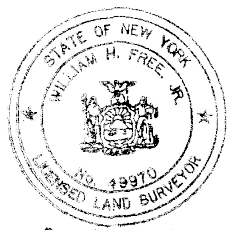


Easement Map  
prepared for  
**William & Betty Cynthia Weinstein**  
in the Village of  
**Mamaroneck**  
Town of Rye  
Westchester County, N.Y.  
Scale 1"=30' July 5, 2013

The premises being part of Lot 1 as shown on a map entitled "Revised Map of First Addition to Greenhaven" dated Feb. 2, 1927 and filed Feb. 5, 1927 as County Clerk Map No. 3107.

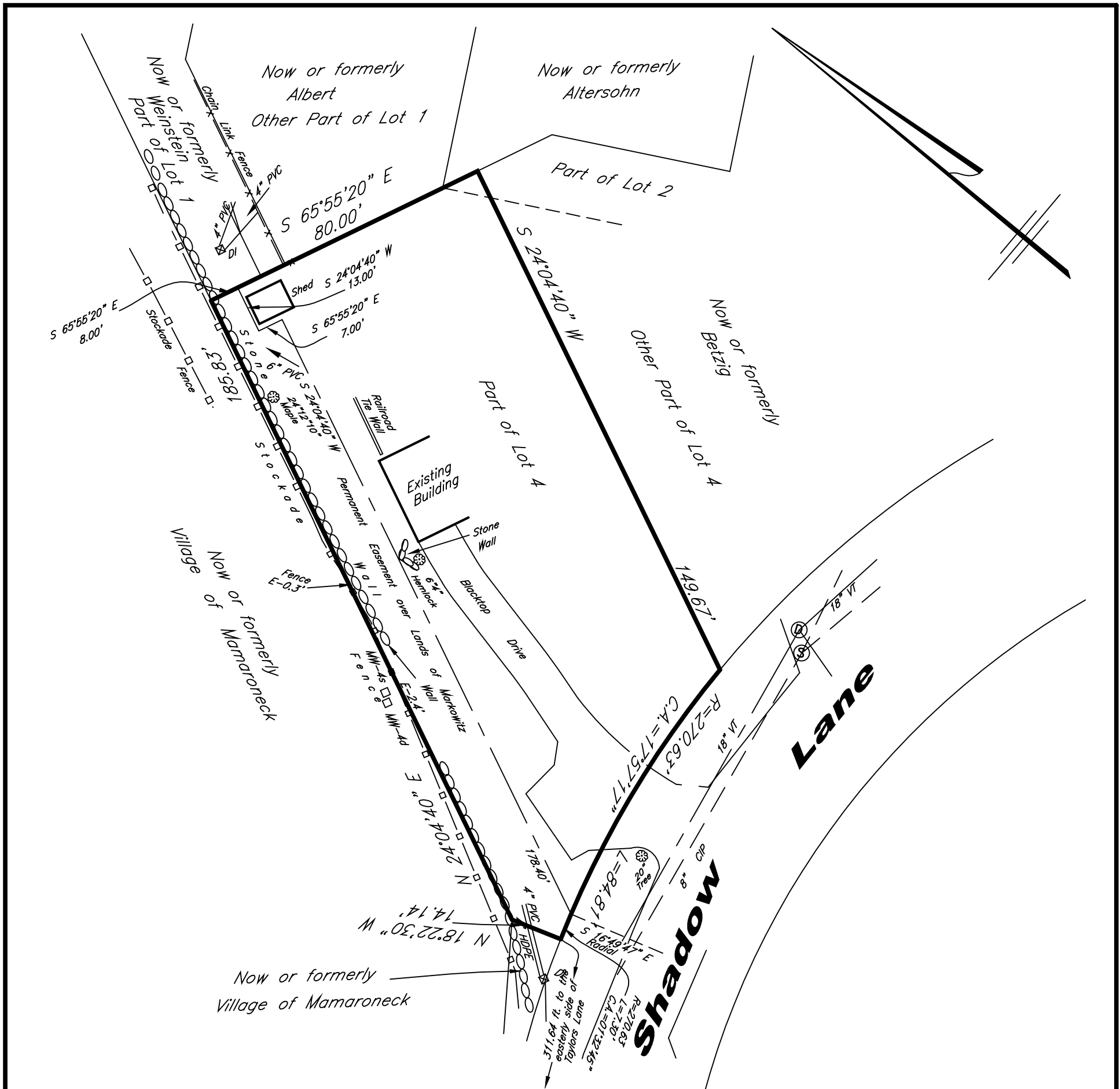
Subsurface structures and their encroachments, if any exist, are not shown hereon.  
"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."  
"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."  
Copyright (c) 2013 Ward Carpenter Engineers, Inc. All Rights Reserved.



William H. Free Jr. Senior V.P.

**Ward Carpenter Engineers Inc.**  
76 Mamaroneck Avenue  
White Plains, N.Y. 10601



Easement Map  
prepared for  
**Joseph & Selma Markowitz**  
in the Village of  
**Mamaroneck**  
Town of Rye  
Westchester County, N.Y.  
Scale 1"=30' July 5, 2013

The premises being part of Lots 2 & 4 as shown on a map entitled "Revised Map of First Addition to Greenhaven" dated Feb. 2, 1927 and filed Feb. 5, 1927 as County Clerk Map No. 3107.

Subsurface structures and their encroachments, if any exist, are not shown hereon.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."

"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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William H. Free, Jr., Senior V.P.

**Ward Carpenter Engineers, Inc.**

76 Mamaroneck Avenue  
White Plains, N.Y. 10601



The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*543243384DLR0020\*

## Westchester County Recording & Endorsement Page

### Submitter Information

Name: Chicago Title Insurance Company Phone: 585-546-6350  
Address 1: 19 West Main Street Fax: 585-546-5465  
Address 2: Suite 100 Email: rochesterorders@cti.com  
City/State/Zip: Rochester NY 14614 Reference for Submitter: Taylor's Lane

### Document Details

Control Number: **543243384** Document Type: **Declaration (DLR)**  
Package ID: 2014112000195001001 Document Page Count: **13** Total Page Count: **14**

### Parties

☐ Additional Parties on Continuation page

#### 1st PARTY

1: MAMARONECK VILLAGE OF - Other  
2:

#### 2nd PARTY

1: MAMARONECK VILLAGE OF - Other  
2:

### Property

☐ Additional Properties on Continuation page

Street Address: 0 TAYLOR'S LANE Tax Designation: 4-79-2-B  
City/Town: RYE TOWN Village: MAMARONECK

### Cross- References

☐ Additional Cross-Refs on Continuation page

1: 08692/00233 2: 3: 4:

### Supporting Documents

#### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$70.00  
Cross-Reference Fee: \$0.50  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$0.00  
TP-584 Filing Fee: \$0.00  
Total Recording Fees Paid: **\$110.50**

#### Transfer Taxes

Consideration: \$0.00  
Transfer Tax: \$0.00  
Mansion Tax: \$0.00  
Transfer Tax Number:

#### Mortgage Taxes

Document Date:  
Mortgage Amount:  
  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/11/2014 at 10:31 AM  
Control Number: **543243384**  
Witness my hand and official seal

*Timothy C. Idoni*

Timothy C. Idoni  
Westchester County Clerk

### Record and Return To

☐ Pick-up at County Clerk's office

AECOM  
100 Corporate Pkwy  
  
Amherst, NY 14226  
Attn: Tamara Raby



ORIGINAL

**DECLARATION of COVENANTS and RESTRICTIONS**

**THIS COVENANT** is made the 21<sup>st</sup> day of October 2014, by the Village of Mamaroneck, a New York Municipal Corporation, and having an office for the transaction of business at 123 Mamaroneck Avenue, Mamaroneck, NY 10543.

**WHEREAS**, the Mamaroneck Taylor's Lane Composting Facility is the subject of a State Assistance Contract executed by the Village of Mamaroneck as part of the New York State Department of Environmental Conservation's (the "Department's") Environmental Restoration Program, namely that parcel of real property located on Taylor's Lane in the Village of Mamaroneck, County of Westchester, State of New York, County of Westchester, State of New York, being the same as (or part of) that property conveyed to the Village of Mamaroneck by the following deeds: from Frederick H. Bull, Jr. as Treasurer-Clerk of the Village of Mamaroneck by deed(s) dated May 22, 1946 and recorded on May 22, 1946 in the Westchester County Clerk's Office in Liber 4386 Page 134; and from the Town of Rye by deed(s) dated December 18, 1986 and recorded on January 7, 1987 in the Westchester County Clerk's Office in Liber 8692 Page 233, and being more particularly described in Appendix "A," attached to this declaration and made a part hereof, and hereinafter referred to as "the Property"; and

**WHEREAS**, the Department approved a remedy to eliminate or mitigate all significant threats to the environment presented by the contamination disposed at the Property and such remedy requires that a portion of the Property be subject to restrictive covenants.

**NOW, THEREFORE**, the Village of Mamaroneck, for itself and its successors and/or assigns, covenants that:

First, the portion of the Property subject to this Declaration of Covenants and Restrictions is as shown on a map attached to this declaration as Appendix "B" and made a part hereof, and as more particularly described in Appendix "C" and made a part hereof, and shall be hereinafter referred to as the "Restricted Property".

Second, unless prior written approval by the Department or, if the Department shall no longer exist, any New York State agency or agencies subsequently created to protect the environment of the State and the health of the State's citizens, hereinafter referred to as "the Relevant Agency," is first obtained, where contamination remains at the Property subject to the provisions of the Site Management Plan ("SMP"), there shall be no construction, use or occupancy of the Restricted Property that results in the disturbance or excavation of the Restricted Property which threatens the integrity of the engineering controls or which results in unacceptable human exposure to contaminated soils. The SMP may be obtained from the New

R+R:

Page 1 of 9 [10/12]

AECOM  
100 Corporate Pkwy  
Armonk NY 14226  
Attn: Tamara Raby

1216-98280

York State Department of Environmental Conservation, Division of Environmental Remediation, Site Control Section, 625 Broadway, Albany, NY 12233.

Third, the owner of the Restricted Property shall not disturb, remove, or otherwise interfere with the installation, use, operation, and maintenance of engineering controls required for the Remedy, which are described in the SMP, unless in each instance the owner first obtains a written waiver of such prohibition from the Department or Relevant Agency.

Fourth, the owner of the Restricted Property shall prohibit the Restricted Property from ever being used for purposes other than for active and passive recreational use and associated ancillary uses including bathrooms, storage and parking, without the express written waiver of such prohibition by the Department or Relevant Agency.

Fifth, the owner of the Restricted Property shall prohibit the use of groundwater underlying the property without treatment rendering it safe for use as drinking water or industrial purposes, as appropriate, unless the user first obtains permission to do so from the Department or the Relevant Agency.

Sixth, the owner of the Restricted Property shall provide a periodic certification, prepared and submitted by a professional engineer or environmental professional acceptable to the Department or Relevant Agency, which will certify that the institutional and engineering controls put in place are unchanged from the previous certification, comply with the SMP, and have not been impaired.

Seventh, the owner of the Restricted Property shall continue in full force and effect any institutional and engineering controls required for the Remedy and maintain such controls, unless the owner first obtains permission to discontinue such controls from the Department or Relevant Agency, in compliance with the approved SMP, which is incorporated and made enforceable hereto, subject to modifications as approved by the Department or Relevant Agency.

Eighth, this Declaration is and shall be deemed a covenant that shall run with the land and shall be binding upon all future owners of the Restricted Property, and shall provide that the owner and its successors and assigns consent to enforcement by the Department or Relevant Agency of the prohibitions and restrictions that the State Assistance Contract requires to be recorded, and hereby covenant not to contest the authority of the Department or Relevant Agency to seek enforcement.

Ninth, any deed of conveyance of the Restricted Property, or any portion thereof, shall recite, unless the Department or Relevant Agency has consented to the termination of such covenants and restrictions, that said conveyance is subject to this Declaration of Covenants and Restrictions.

IN WITNESS WHEREOF, the undersigned has executed this instrument the day written below.

VILLAGE OF MAMARONECK

By: Richard Slingerland

Print Name: Richard Slingerland

Title: Village Manager Date: 10-21-2014

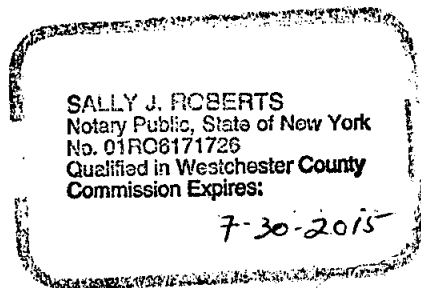
**Grantor's Acknowledgment**

STATE OF NEW YORK )

) s.s.:

COUNTY OF WESTCHESTER )

On the 21<sup>st</sup> day of October, in the year 2014, before me, the undersigned, personally appeared Richard Slingerland, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



Sally J. Roberts  
Notary Public State of New York

*[Handwritten mark]*

On motion of Trustee Hofstetter, seconded by Trustee Ryan:

RESOLVED, that the Village Board herein amends Chapter A347 – “Fees” of the Village Code as follows:

Article II. Building Permit Fees

§347-2. Fee and estimated cost schedule

G. Certificate of Completeness

(1) Per residential unit, addition or structure	\$53
(2) Per retail, commercial or multi-family-unit (includes co-ops)	\$132

Ayes: Albert, Hofstetter, Ryan, Santoro, Rosenblum

Nays: None

H. Resolution to Reschedule May 21, 2012 Work Session to May 23, 2012

RESOLUTION RE:  
RESCHEDULING OF MAY 21, 2012 WORK SESSION MEETING TO WEDNESDAY, MAY 23,  
2012

WHEREAS, the Village Manager and Assistant Village Manager will be attending the New York State City County Management Association's 54<sup>th</sup> Annual conference, scheduled this year to be held from Sunday, May 20<sup>th</sup> to Wednesday, May 23<sup>rd</sup> in Syracuse, New York; and

WHEREAS, the Village Manager has requested that the Board of Trustees Work Session Meeting of Monday, May 21, 2012, be rescheduled to Wednesday, May 23, 2012 at 5:30 p.m., so that he may be in attendance.

On motion of Trustee Albert, seconded by Trustee Ryan:

RESOLVED, that the Board of Trustees Work Session Meeting of Monday, May 21, 2012 be and is hereby rescheduled to Wednesday, May 23, 2012 at 5:30 p.m.

Ayes: Albert, Hofstetter, Ryan, Santoro, Rosenblum

Nays: None

I. Resolution Establishing Deed Restriction on Mamaroneck Taylors Lane

Mr. Slingerland recommended that there be outdoor uses such as walking paths, playing fields, and other appropriate uses. He will work with the State on all remedial measures.

RESOLUTION PURSUANT TO THE REQUIREMENTS OF THE NYS DEC  
AND THE REQUIREMENTS PROVIDED IN THE NYCRR AND ECL  
TO PROVIDE FOR A DEED RESTRICTION AND COVENANT  
ON THE FUTURE USE/REUSE OF THE MAMARONECK TAYLORS LANE (#360021)  
PROPERTY FORMERLY USED AS A LEAF COMPOSTING SITE

WHEREAS, the Village of Mamaroneck formerly operated the Mamaroneck Taylor's Lane (#360021) leaf composting site, at the property located at the following Section/Block and Lot locations:

Tax Map Page	Section	Block	Lot #
96	4	79	1-B, and 1-C
97	4	79	B

AND WHEREAS, the Village closed the site and discontinued the use of the leaf composting function in December, 1988, at which time the site was listed as a "Class 2" site on the NYS DEC registry of inactive Hazardous Waste Disposal Sites; and

WHEREAS, as part of the long-term closure and re-use plan for the site, the Village worked on a plan, entered into a Consent Order, entered into Record of Decision issued in December, 1993, and completed construction of the cap in spring of 1997; and

WHEREAS, the Village is continuing to work with the NYS DEC on a remedial measure work plan to address the migration of leachate onto neighboring properties, with the goal of achieving a closure of the site, so that a use/reuse of the property can be established, and

WHEREAS, the Village submitted an Interim Remedial Measure Work Plan in November, 2009, submitted an Interim Remedial Measure Report in March, 2012, and at this stage the DEC has noted the requirement to the Village that it adopt a Deed Restriction, to be attached to the deed that will go with the land to restrict future use/reuse of this property.

On motion of Trustee Ryan, seconded by Trustee Santoro:

NOW, THEREFORE, BE IT RESOLVED, that the Village of Mamaroneck hereby authorizes the Village Manager and Village Attorney to enter into a Deed Restriction agreement, and complete and file all necessary and appropriate paperwork that may be required by the NYS DEC in relation to the Mamaroneck Taylor's Lane (#360021) leaf composting site, in such a manner and fashion that it limits the use of the property for appropriate uses, which the Village generally determines at this time to be outdoor uses, including passive or active recreation (e.g. walking paths or playing fields), and any necessary and appropriate ancillary public uses, such as buildings for bathrooms, storage, equipment operation, parking, and other similar uses, and shall record such deed in the office of the Assessor, and the Westchester County Clerk's Office, Land Records Division.

Ayes: Albert, Hofstetter, Ryan, Santoro, Rosenblum

Nays: None

J. Appointments to Mayor's Ad Hoc Committee on Parking Facilities and Programs

**APPOINTMENTS TO MAYOR'S AD HOC COMMITTEE  
ON PARKING FACILITIES AND PROGRAM**

Mayor Rosenblum stated that he asked the budget committee members to review all parking meters, parking structures, etc., for the purpose of increasing revenue for the Village. This is a continuation of discussions from one-year ago.

Mayor Rosenblum announced the following appointments to the Ad Hoc Committee:

Steven Josephson, Bill Fonte, Lou Mendes, Myron Tannenbaum, Harry Hazelwood, Cary Sleeper, Janet Demasi, John Manouselis, Brad Goldberg, Manny Enes.

Mayor Rosenblum stated that all of the above named have accepted. He said that the Committee members will look into areas such as the Boston Post Road, industrial areas, parking meters, etc.

## APPENDIX "A"

ALL that certain piece or parcel of property situate, lying and being located in the Village of Mamaroneck, Town of Rye, County of Westchester, State of New York and being more particularly bounded and described as follows:

Beginning at a point formed by the division line between property now or formerly Village of Mamaroneck, property now or formerly Richard Mangone and the westerly side of Greenhaven Road at a rebar, also being a portion of Plot B as shown on a map entitled "Revised Map of First Addition to Greenhaven" dated Feb. 2, 1927 and filed in the Westchester County Clerk's Office (Division of Land Records) on Feb. 5, 1927 as Map No. 3104, said point being distant 100.00 feet as measured on a course of S. 18°38'27" E. from the southerly side of Boston Post Road as widened to the POINT OF BEGINNING;

thence from said point of beginning along the southerly side of Greenhaven Road, S.18°38'27"E., a distance of 178.17 feet;

thence southeasterly, a distance of 98.16 feet along a curve to the left having a radius of 272.30 feet and a central angle of 20°39'18" to a point on the division line between property now or formerly Village of Mamaroneck and Lot 1 as shown on the aforesaid file Map No. 3107;

thence along said division line, S. 49°03'43" W., a distance of 50.92 feet;

thence along the division line between property now or formerly Village of Mamaroneck being a portion of property formerly of William H. Miles, now Charles C. Planz as shown on the aforesaid file Map No. 3107, Lot 1 and Lot 4, S. 13°08'23" W., a distance of 339.09 feet;

thence along the division line between property now or formerly Village of Mamaroneck and a Reserved Strip as shown on the aforesaid filed Map No. 3107, S. 43°12'53" W., a distance of 240.48 feet;

thence S. 44°49'03" W., a distance of 70.08 feet;

thence westerly, a distance of 21.18 feet along a non tangent curve to the right of which the radius point lies N. 24°00'18" W. a radius of 15.00 feet, and having a central angle of 80°54'23" to a point on the northerly side of Taylors Lane as widened;

thence along said northerly side of Taylors Lane as widened, N. 33°05'55" W., a distance of 696.05 feet to a point on the division line between property now or formerly Village of Mamaroneck and property now or formerly AI's Rye Neck Service LLC;

thence along said division line, N. 71°41'10" E., a distance of 57.39 feet;

thence N. 18°18'50" W., a distance of 36.60 feet to property now or formerly AI's Rye Neck Service LLC and property now or formerly John Decrescenzo;

thence along the division line between property now or formerly John Decrescenzo, property now or formerly Mary Ferraro and property now or formerly Village of Mamaroneck, N.  $71^{\circ}04'40''$  E., a distance of 345.46 feet;

thence N.  $31^{\circ}37'57''$  W., a distance of 0.36 feet to a point on the division line property now or formerly Mary Ferraro, property now or formerly Richard Mangone and property now or formerly Village of Mamaroneck;

thence along the division line between property now or formerly Richard Mangone and property now or formerly Village of Mamaroneck, N.  $70^{\circ}43'03''$  E., a distance of 269.69 feet to the westerly side of Greenhaven Road, the point and place of BEGINNING.

Containing 340,277 square feet or 7.8117 acres, more or less.



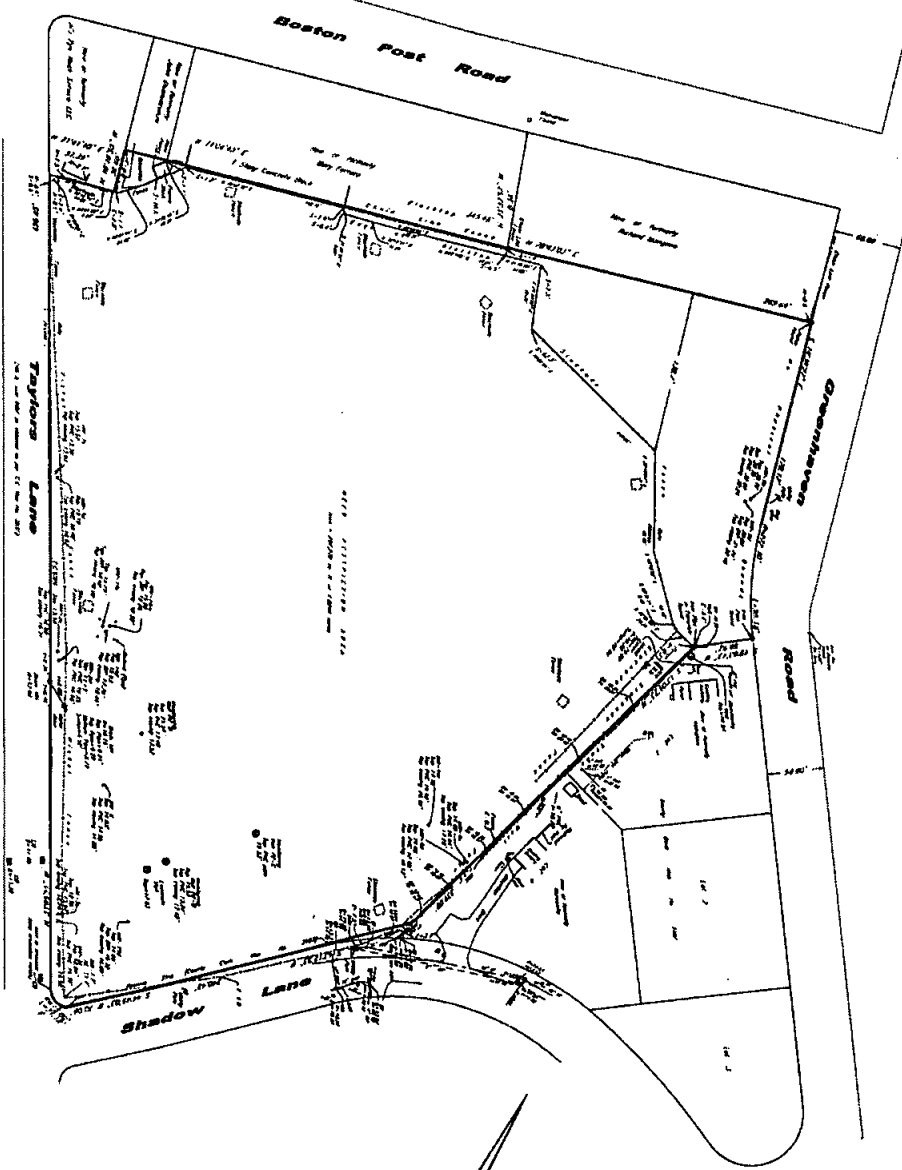
**APPENDIX "B"**

**MAP FOLLOWS**

Steering Avenue

Boston Post Road

Stonyfield Avenue



GRAPHIC SCALE  
1 inch = 100 feet

Survey of Property  
of  
Taylor's Long Land Site-DEC Site No. 360021  
Village of Manassas  
in the Village of  
Manassas  
Town of Rye  
Westchester County, N.Y.  
Scale 1 inch = 100 feet  
Dec. 6, 2010

THIS SURVEY WAS MADE BY THE TOWN OF RYE, NEW YORK, IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT OF 1908, AS AMENDED, AND THE TOWN OF RYE, NEW YORK, IS HEREBY CERTIFIED THAT THE SAME IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY MADE BY THE TOWN OF RYE, NEW YORK, IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT OF 1908, AS AMENDED, AND THE TOWN OF RYE, NEW YORK, IS HEREBY CERTIFIED THAT THE SAME IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY MADE BY THE TOWN OF RYE, NEW YORK, IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT OF 1908, AS AMENDED.

Survey of Property  
of  
Taylor's Long Land Site-DEC Site No. 360021  
Village of Manassas  
in the Village of  
Manassas  
Town of Rye  
Westchester County, N.Y.  
Scale 1 inch = 100 feet  
Dec. 6, 2010

Survey of Property  
of  
Taylor's Long Land Site-DEC Site No. 360021  
Village of Manassas  
in the Village of  
Manassas  
Town of Rye  
Westchester County, N.Y.  
Scale 1 inch = 100 feet  
Dec. 6, 2010

**APPENDIX "C"**  
**DESCRIPTION FOLLOW**

DESCRIPTION OF A PARCEL OF PROPERTY LOCATED IN THE VILLAGE OF  
MAMARONECK, TOWN OF RYE, COUNTY OF WESTCHESTER, STATE OF NEW YORK.

ALL that certain piece or parcel of property situate, lying and being located in the Village of Mamaroneck, Town of Rye, County of Westchester, State of New York and being more particularly bounded and described as follows:

Beginning at a point on the division line between property now or formerly the Village of Mamaroneck and the easterly side of Taylors Lane at the northerly end of curve having a radius of 15.00 feet connecting the easterly side of Taylors Lane with the northerly side of Shadow Lane said point being the POINT OF BEGINNING;

thence from said point of beginning along said easterly side of Taylors Lane, N. 33°05'55" W., a distance of 689.53 feet to a point on the southerly side of License Area No. 1A;

thence along said southerly side of License Area No. 1A, N. 24°50'29" E., a distance of 8.64 feet along a stockade fence to a point on the division line between property now or formerly Village of Mamaroneck and property now or formerly Al's Rye Neck Service LLC;

thence along said division line, N. 71°41'10" E., a distance of 37.92 feet to the easterly side of License Area No. 1B;

thence along said southerly and easterly side of License Area No. 1B along a stockade fence, N. 79°15'14" E., a distance of 14.88 feet,

thence N. 64°11'29" E., a distance of 6.97 feet to the intersection of License Area No. 1B and License Area No. 2;

thence along the southerly side of License Area No. 2 and along a stockade fence, N. 40°27'54" E., a distance of 23.42 feet;

thence N. 34°33'38" E., a distance of 26.14 feet to the intersection of License Area No. 2 and License Area No. 3;

thence along the southerly side of License Area No. 3 along a stockade fence, N. 34°24'54" E., a distance of 14.25 feet to the southwest corner of a one story concrete block building;

thence continuing along the southerly side of License Area No. 3 along a one story concrete block building, N. 70°57'38" E., a distance of 142.75 feet to the southeast corner of one story concrete block building;

thence S. 21°37'33" E., a distance of 4.98 feet along the edge of blacktop parking area;

thence continuing along the southerly side of blacktop parking area, N. 72°11'46" E., a distance of 47.20 feet;

thence N. 70°58'20" E., a distance of 32.36 feet;

thence N. 70°27'10" E., a distance of 67.84 feet to the intersection of License Area No. 3 and License Area No. 4;

thence along the southwesterly side of License Area No. 4 along a stockade fence, N. 71°34'46" E., a distance of 31.85 feet;

thence S. 24°28'22" E., a distance of 55.22 feet;

thence S. 78°25'19" E., a distance of 148.86 feet;

thence S. 37°17'01" E., a distance of 85.68 feet;

thence S. 48°15'09" E., a distance of 62.48 feet;

thence S. 78°59'54" E., a distance of 20.36 feet to the south corner of License Area No. 4 and the division line between property now or formerly Village of Mamaroneck and property now or formerly Weinstein;

thence along said division line, S. 13°08'23" W., a distance of 338.34 feet;

thence along the northwesterly side of Shadow Lane, S. 43°12'53" W., a distance of 240.48 feet;

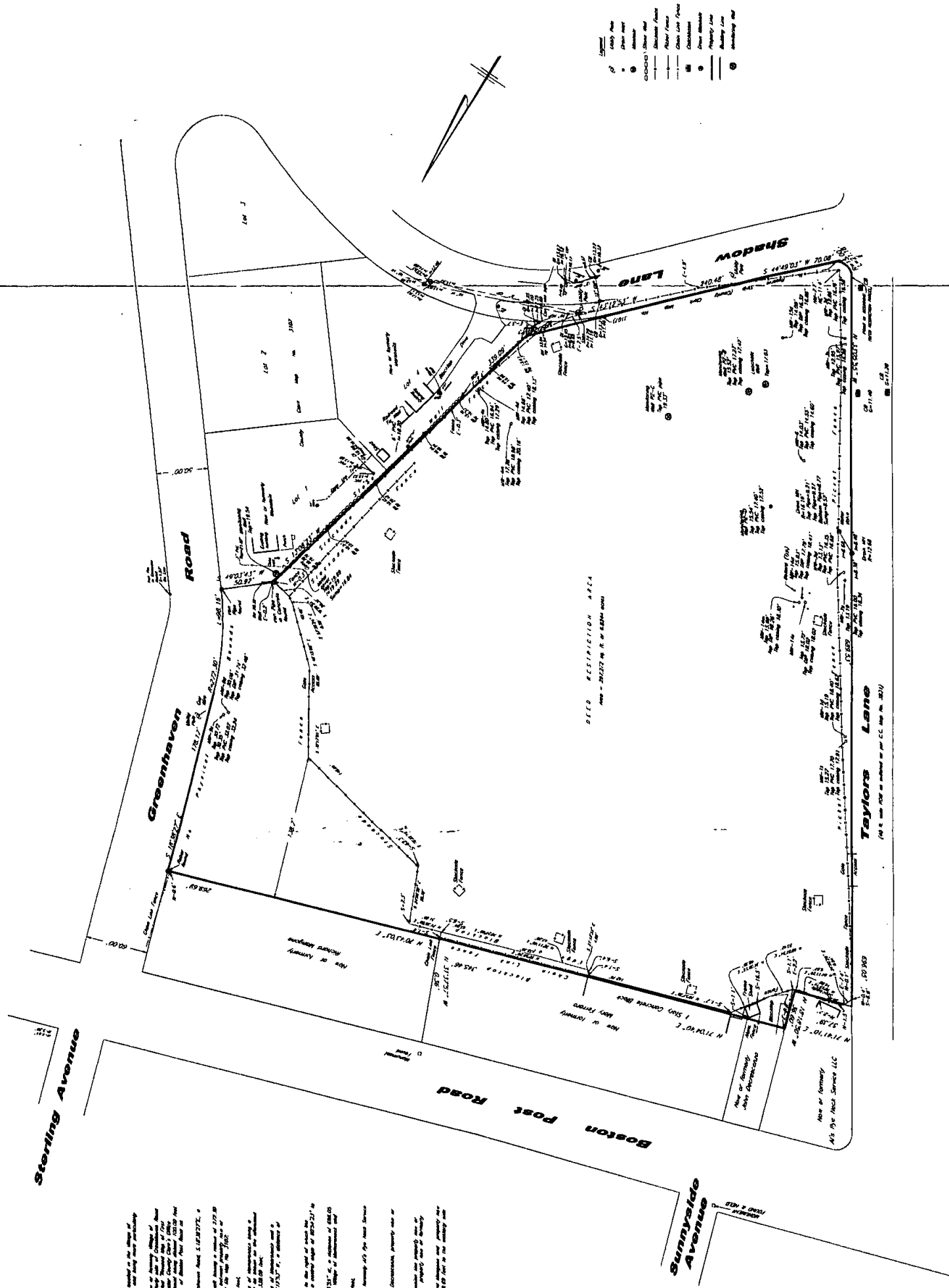
thence S. 44°49'03" W., a distance of 70.08 feet;

thence westerly, a distance of 21.18 feet along a non tangent curve to the right of which the radius point lies N. 24°00'18" W. a radius of 15.00 feet, and having a central angle of 80°54'23";

Containing 297,272 square feet or 6.8244 acres, more or less.

March 16, 2013

49921-Mamaroneck-Restriction.rtf



Taylor's Lane Landfill Site - DEC Site No. 360021  
Survey of Property  
prepared for  
**Village of Mamaroneck**  
in the Village of  
**Mamaroneck**

Town of Rye  
Westchester County, N.Y.  
Scale 1"=40' Dec. 5, 2010  
Survey brought to close May 14, 2012  
Survey brought to close June 27, 2012

*Survey brought to close May 18, 2012*  
*Appropriate information and survey brought to study Sept. 26, 2012*  
*Appropriate information added Oct. 30, 2012 and Nov. 15, 2012*  
*Adjusted information added August 29, 12, 2013*  
*Change information and comments on strategies and standards added*  
*Class Application Project added and finalized added June 18, 2014*

The preliminary hearing (Part B) and property inventory (Part H) files, New Orleans 6, filed as instant on a recap submitted March 2, 2, 1972, and Part 3, Property map of New Orleans in Greentown, dated July 1, 1972 and filed Feb. 5, 1972 on Cherry Circle map No. 3123. Also known as Little 43 and 46, Block 1, Sublot 153.37 on instant on the official fee appointment sheet for the Month of November.

Certified to the New York State Department of Environmental Conservation.

File  E:\48732TowersLane-Revised\dwg\48732rev.sed.dwg

William H. Fraw Jr., U.S. Senior Vice President  
Newport State License No. 019970

*Wardley & Sons, Inc.*  
28 Monmouth Avenue  
White Plains, N.Y. 10601  
Phone: 914-949-6000

[illegible][illegible]

Low Area - 340,378 sq. ft.  
or 2,8117 acres

[illegible]

Ind # 48732-48946-49426-49738

**GRAPHIC SCALE**



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## Jess Tedesco

---

**From:** George Heitzman <gwheitzm@gw.dec.state.ny.us>  
**Sent:** Wednesday, November 20, 2013 4:21 PM  
**To:** Hugh Greechan  
**Subject:** Re: Taylors lane Landfill - Draft Subdrain Plan

The plan is approved.

>>> Hugh Greechan <hgreechan@woodardcurran.com> 9/12/2013 5:59 PM >>>

George,

Hope all is well.

The Village of Mamaroneck is in the process finalizing the maintenance easements for the existing subdrains and the proposed subdrain improvements on the Weinstein and Markowitz's properties along the southerly boundary of the Taylors lane Landfill.

As you know, the existing subdrainage systems are presently not functioning to adequately lower the ground water in this area resulting in surface pounding on the Markowitz property and a high ground water elevation on the Weinstein property that exacerbates a wet basement condition.

I have attached the Draft Design for your review. Some final field adjustments still need to be made.

The Village is looking to install this system this fall to help the adjoining neighbors with this long standing condition.

I am available to talk with you at your earliest convenience about next steps to move this forward.

Best

Cell 914 815 7934

Hugh J. Greechan, PE  
Associate \ Senior Project Manager  
Woodard & Curran Engineering PA PC  
709 Westchester Ave. Suite L2  
White Plains, NY 10604  
Phone: 914-448-2266  
Fax: 914-448-0147  
hgreechan@woodardcurran.com  
www.woodardcurran.com

### COMMITMENT & INTEGRITY DRIVE RESULTS

\*\*\*\*\*

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\*\*\*\*\*

## Jess Tedesco

---

**From:** George Heitzman <gwheitzm@gw.dec.state.ny.us>  
**Sent:** Thursday, September 19, 2013 1:13 PM  
**To:** Hugh Greechan  
**Subject:** Re: Taylors lane Landfill - Draft Subdrain Plan

Hugh, the conceptual design is acceptable to the Department. Where does the existing drain inlet at Station 0+09, INV 10.8 drain to?

>>> Hugh Greechan <hgreechan@woodardcurran.com> 9/12/2013 5:59 PM >>>

George,

Hope all is well.

The Village of Mamaroneck is in the process finalizing the maintenance easements for the existing subdrains and the proposed subdrain improvements on the Weinstein and Markowitz's properties along the southerly boundary of the Taylors lane Landfill.

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Best

Cell 914 815 7934

Hugh J. Greechan, PE  
Associate \ Senior Project Manager  
Woodard & Curran Engineering PA PC  
709 Westchester Ave. Suite L2  
White Plains, NY 10604  
Phone: 914-448-2266  
Fax: 914-448-0147  
hgreechan@woodardcurran.com  
www.woodardcurran.com

### COMMITMENT & INTEGRITY DRIVE RESULTS

\*\*\*\*\*

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\*\*\*\*\*



## APPENDIX C: PLANS

Woodard & Curran Engineering PA PC  
709 Westchester Avenue, Suite L2  
White Plains, New York 10604  
800.807.4080 | www.woodardcurran.com



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REV	DESCRIPTION	CHECKED BY: HG	DATE
1	DESIGNED BY: DCC	DCC	2013.01.01
2	DRAWN BY: DCC	DCC	2013.01.01

## CURTAIN DRAIN PLAN

VILLAGE OF MAMARONECK  
123 MAMARONECK AVENUE  
MAMARONECK, NEW YORK 10543

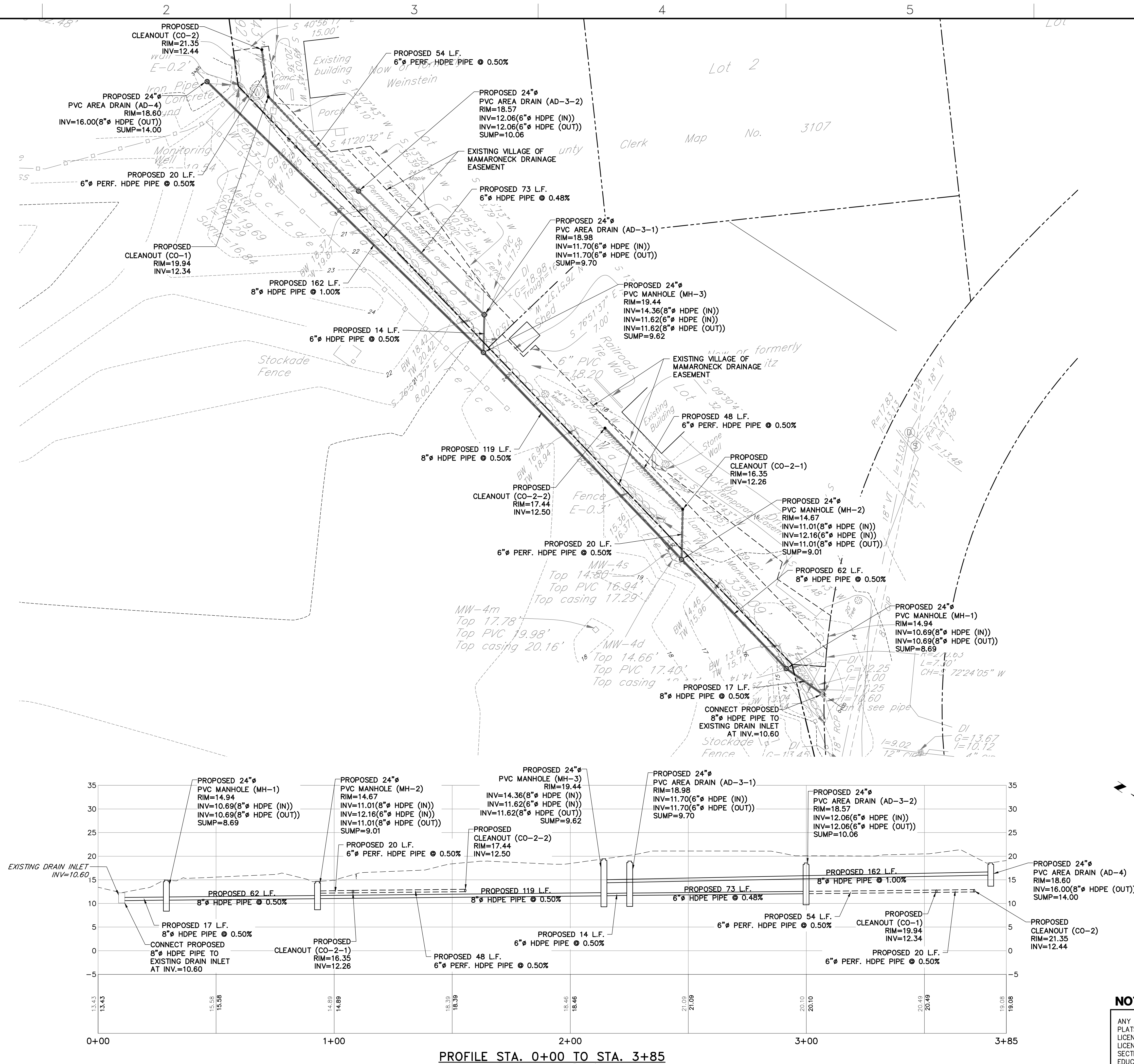
TAYLORS LANE LANDFILL  
LEACHATE MITIGATION  
VILLAGE OF MAMARONECK, NEW YORK

JOB NO.: 213733.01  
DATE: July 3, 2013  
SCALE: 1"=20'  
SHEET: 1 OF 1

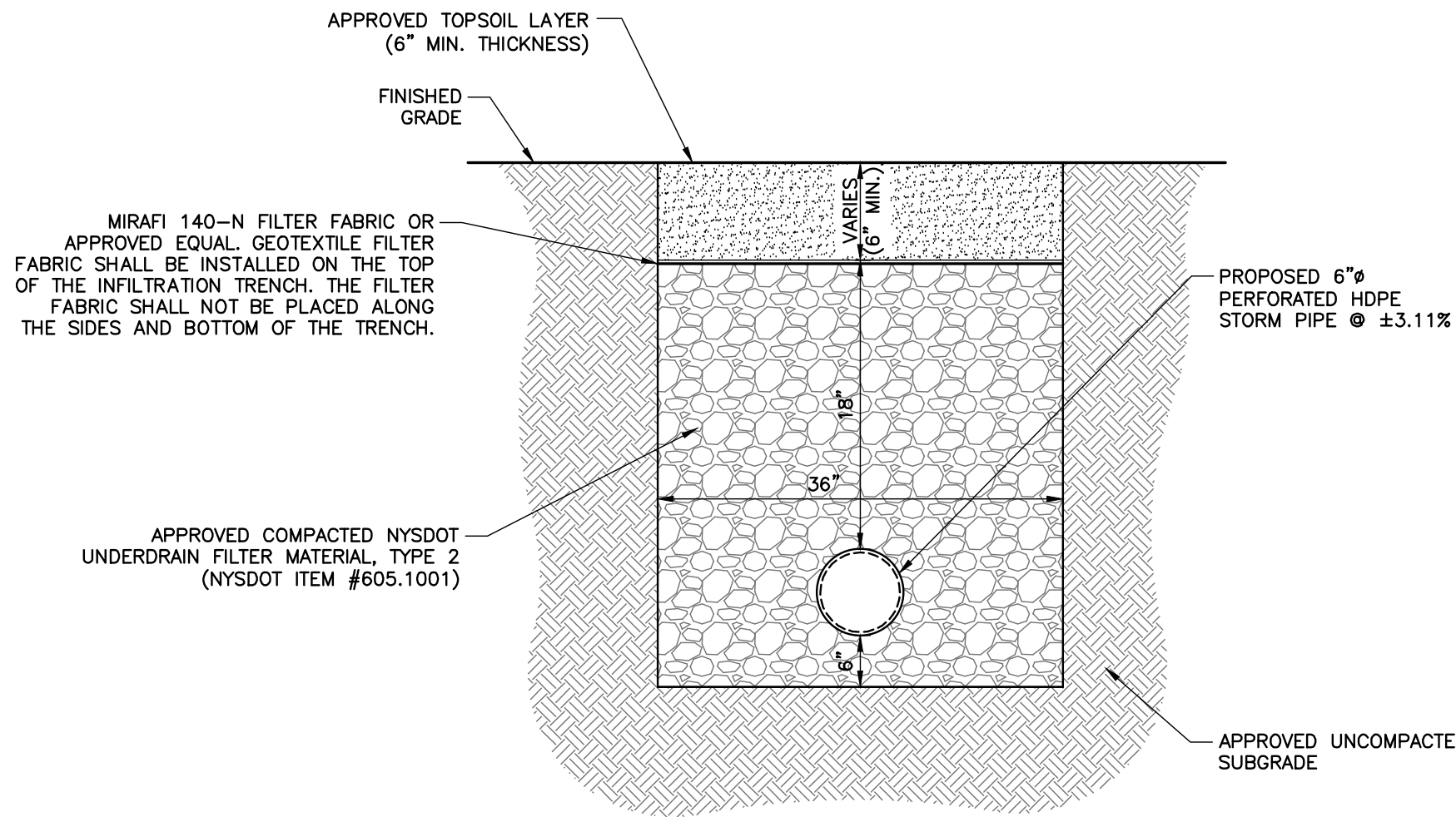
C-100

**DRAFT  
PRELIMINARY  
NOT FOR CONSTRUCTION**

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



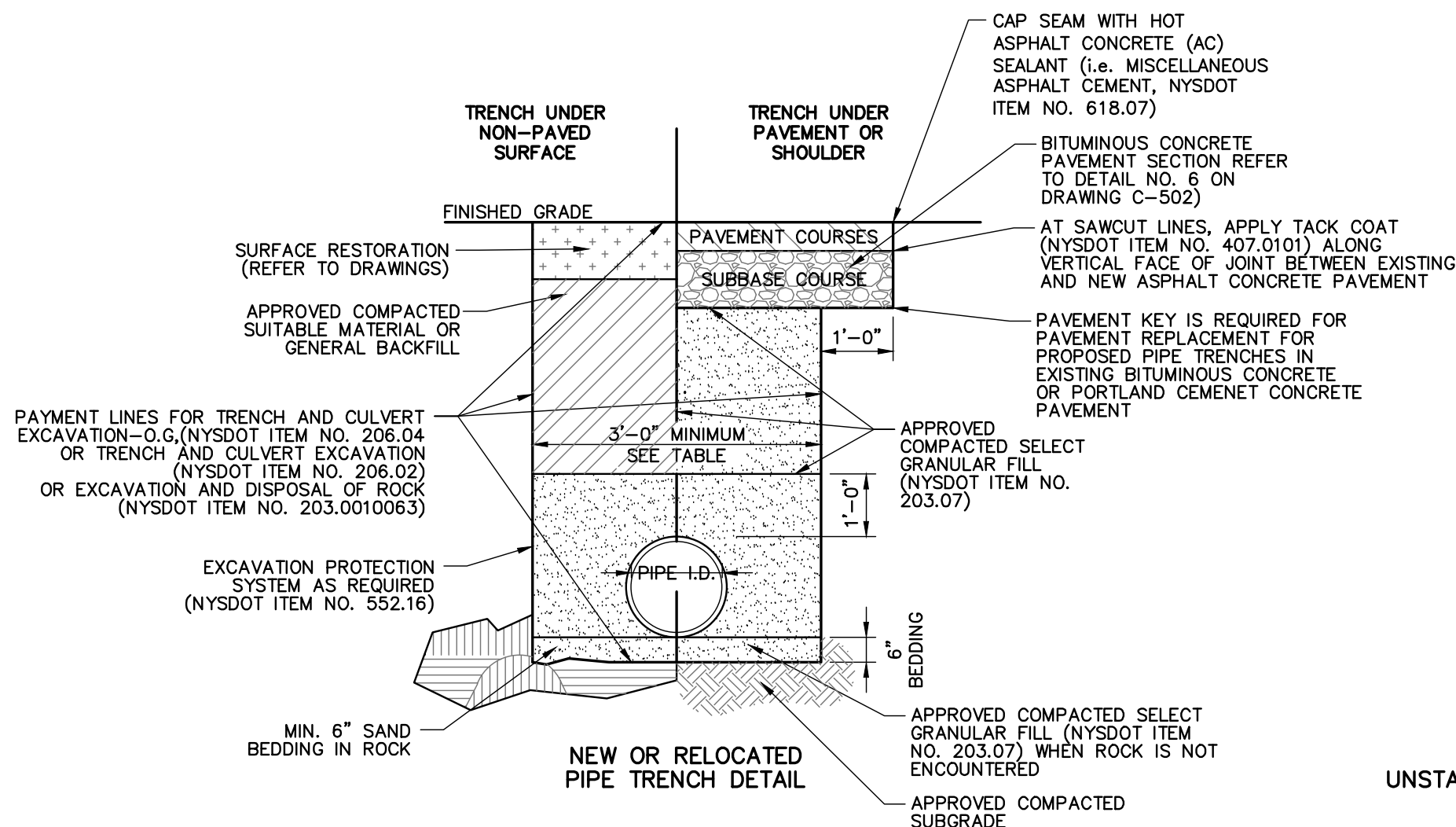




NOTES:

- ALL FILTER MATERIAL SHALL BE NYSDOT UNDERDRAIN FILTER, TYPE 2 (NYSDOT ITEM #605.1001). ALL MATERIAL SHALL MEET THE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS SECTION 733-20 'UNDERDRAIN FILTER MATERIAL', LAST REVISED JANUARY 10, 2013.
- INFILTRATION TRENCH FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED THE INFILTRATION TRENCH, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHALL BE ADDRESSED.
- THE BOTTOM OF THE INFILTRATION TRENCH SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
- THE WIDTH OF THE GEOTEXTILE MUST INCLUDE SUFFICIENT MATERIAL TO CONFORM TO TRENCH PERIMETER IRREGULARITIES.
- UNDERDRAIN FILTER MATERIAL SHALL BE PLACED IN TRENCH IN A MAXIMUM COMPACTED LIFT THICKNESS OF 6 INCHES. EACH LAYER SHOULD BE COMPACTED BY TWO (2) PASSES OF A VIBRATING PAD OR DRUM TYPE COMPACTOR, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE TRENCH BOTTOM DURING CONSTRUCTION.
- UNDERDRAIN AND UNDERDRAIN FILTER MATERIAL SHALL BE INSTALLED PER NYSDOT STANDARD SPECIFICATION SECTION 605 'UNDERDRAINS', LAST REVISED JANUARY 10, 2013.

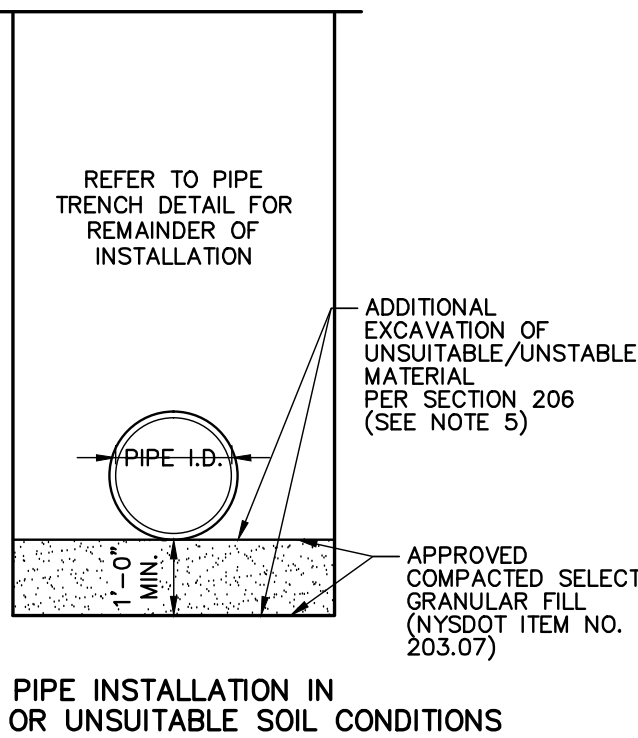
1 CURTAIN DRAIN  
C-200 NOT TO SCALE



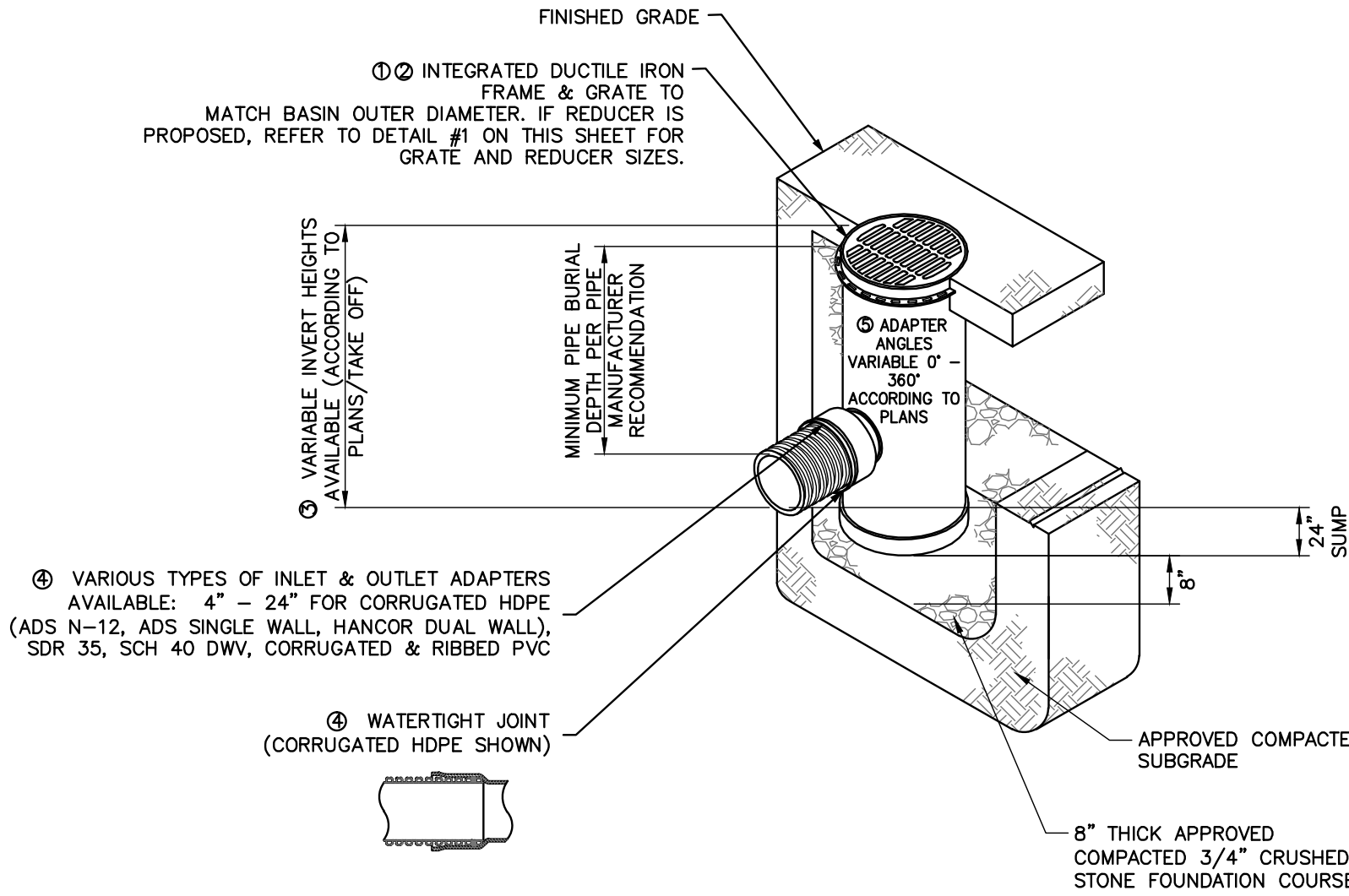
NOTES:

- UNLESS OTHERWISE NOTED, THE EXCAVATION AND EMBANKMENT AND TRENCH AND CULVERT EXCAVATION SHALL MEET THE SPECIFICATIONS OUTLINED IN SECTIONS 203 AND 206 AND OTHER APPLICABLE SECTIONS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, DATED JANUARY 10, 2013 WITH LATEST REVISIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING UTILITIES TO ENSURE ADEQUATE CLEARANCE FOR THE SEWER LINE EXISTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER (IN WRITING) OF CONFLICTING ELEVATIONS, ALLOWING THE ENGINEER ADEQUATE TIME TO REVISE GRADES WITHOUT NECESSITATING REMOVAL AND RECONSTRUCTION OF WORK ALREADY COMPLETED BY THE CONTRACTOR.
- THE TOP PAYMENT LINE FOR TRENCH EXCAVATION SHALL BE PER NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 206 LAST REVISED JANUARY 10, 2013 WITH LATEST REVISIONS.
- THE MINIMUM TRENCH WIDTH MAY BE ADJUSTED TO (O.D.+12\"/>
- BEDDING BELOW THE PIPE INVERT SHALL BE REQUIRED FOR ALL SOIL CONDITIONS (I.E. STABLE, UNSUITABLE, AND ROCK). PLEASE REFER TO THIS DETAIL FOR THE REQUIRED BEDDING MATERIAL FOR EACH SOIL CONDITION.
- IF UNSUITABLE OR UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED NEAR THE INVERT ELEVATION, A MINIMUM OF 1 FOOT AND A MAXIMUM OF 2 FEET OF MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SELECT GRANULAR FILL. ADDITIONAL PAYMENT WILL BE MADE FOR MATERIAL PLACED TO TREAT UNSUITABLE OR UNSUITABLE CONDITIONS.
- BACKFILL SHALL BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 203 LAST REVISED JANUARY 10, 2013 WITH LATEST REVISIONS.
- REFER TO PROOF ROLLING RESTRICTIONS IN §203-3.13E OF NYSDOT STANDARD SPECIFICATIONS.
- AT THE CONTRACTOR'S RISK, CONSTRUCTION EQUIPMENT MAY BE ALLOWED TO CROSS OVER A PIPE INSTALLATION USING RAMPS CONSTRUCTED AS SHOWN IN NYSDOT PIPE TRENCH METHOD B-1 OR B-2 COMPACTED IN CONFORMANCE WITH THE REQUIREMENTS OF §203-3.12 OF NYSDOT STANDARD SPECIFICATIONS. ALL RAMPS WHICH CANNOT BE USED AS PART OF THE COMPLETED EMBANKMENT ARE INSTALLED AND REMOVED AT THE CONTRACTOR'S EXPENSE. ANY PIPE OR STRUCTURE DAMAGED OR DISTURBED BY THESE ACTIVITIES MUST BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

3 PIPE TRENCH  
C-200 NOT TO SCALE



EXCAVATION PAYMENT WIDTHS	
PIPE INSIDE DIAMETER (I.D.)	TRENCH WIDTH
3	3'-0"
4	3'-0"
6	3'-0"
8	3'-0"
10	3'-0"
12	3'-0"
14	3'-6"
16	3'-6"
18	3'-6"
20	4'-0"
24	4'-0"
30	4'-6"
36	5'-0"
42	5'-6"
48	6'-0"
54	6'-6"
60	7'-0"
64	7'-6"



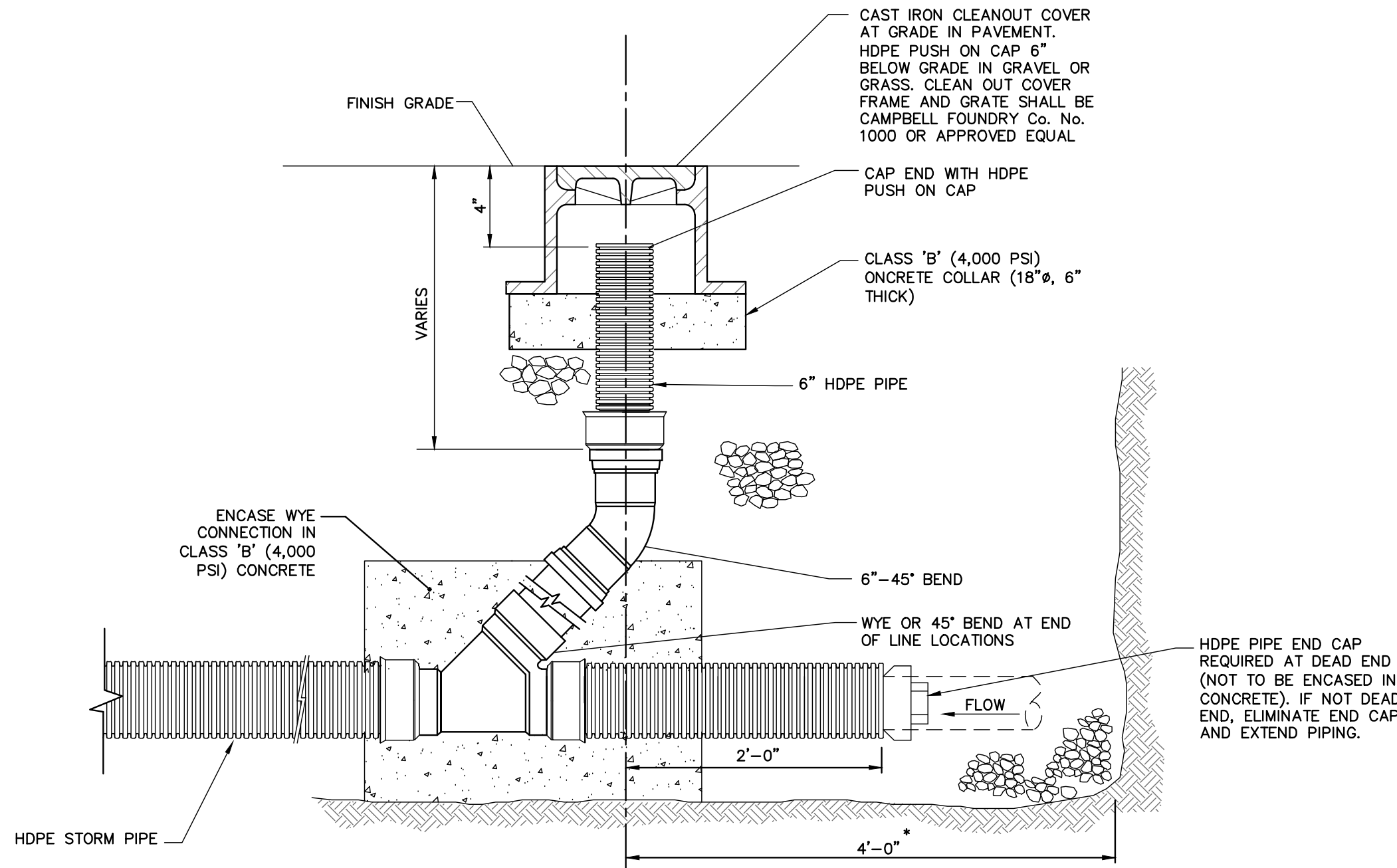
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	2499COP	7001-110-216
STANDARD	MEETS H-20	2499COS	7001-110-217
SOLID COVER	MEETS H-20	2499CSC	7001-110-218
DOMES	NA	2499CDD	7001-110-219
DROP IN GRATE	LIGHT DUTY	2491DR	7001-110-075

NOTES:

- INSTALL BASIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- PRODUCT SHALL BE NYLOPLAST DRAIN BASIN MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS (ADS) OR APPROVED EQUAL.

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-013.

2 24"Ø PVC AREA DRAIN (AD)  
C-200 NOT TO SCALE



4 STORM DRAIN CLEANOUT (CO)  
C-200 NOT TO SCALE

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CONSTRUCTION DETAILS

VILLAGE OF MAMARONECK  
123 MAMARONECK AVENUE  
MAMARONECK, NEW YORK 10543

TAYLORS LANE LANDFILL  
LEACHATE MITIGATION  
VILLAGE OF MAMARONECK, NEW YORK

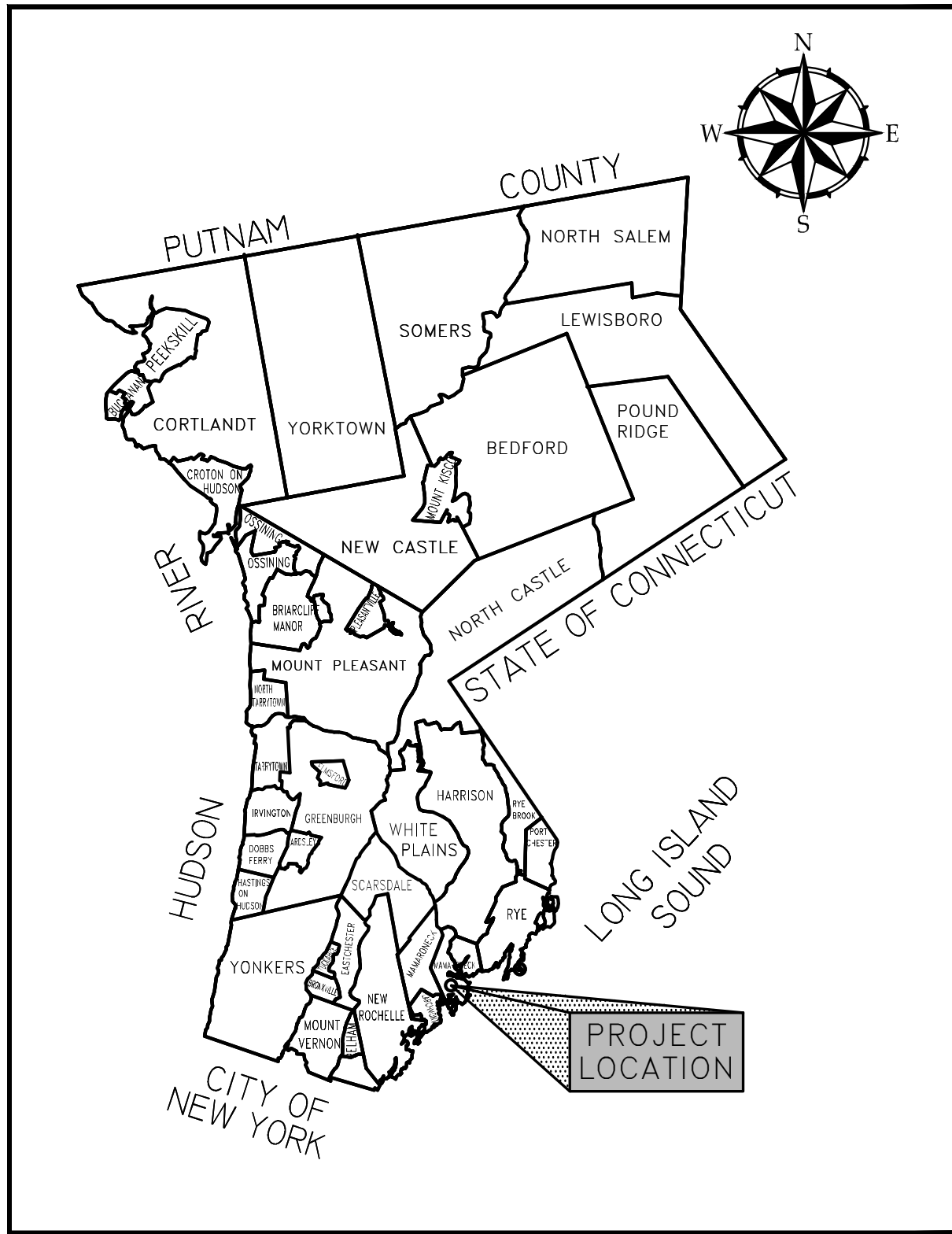
JOB NO.: 213733.01  
DATE: June 13, 2013  
SCALE: 1"=20'  
SHEET: 2 OF 2

C-200



TAYLORS LANE DRAINAGE  
IMPROVEMENTS  
VILLAGE OF MAMARONECK  
WESTCHESTER COUNTY, NEW YORK

OCTOBER 31, 2013



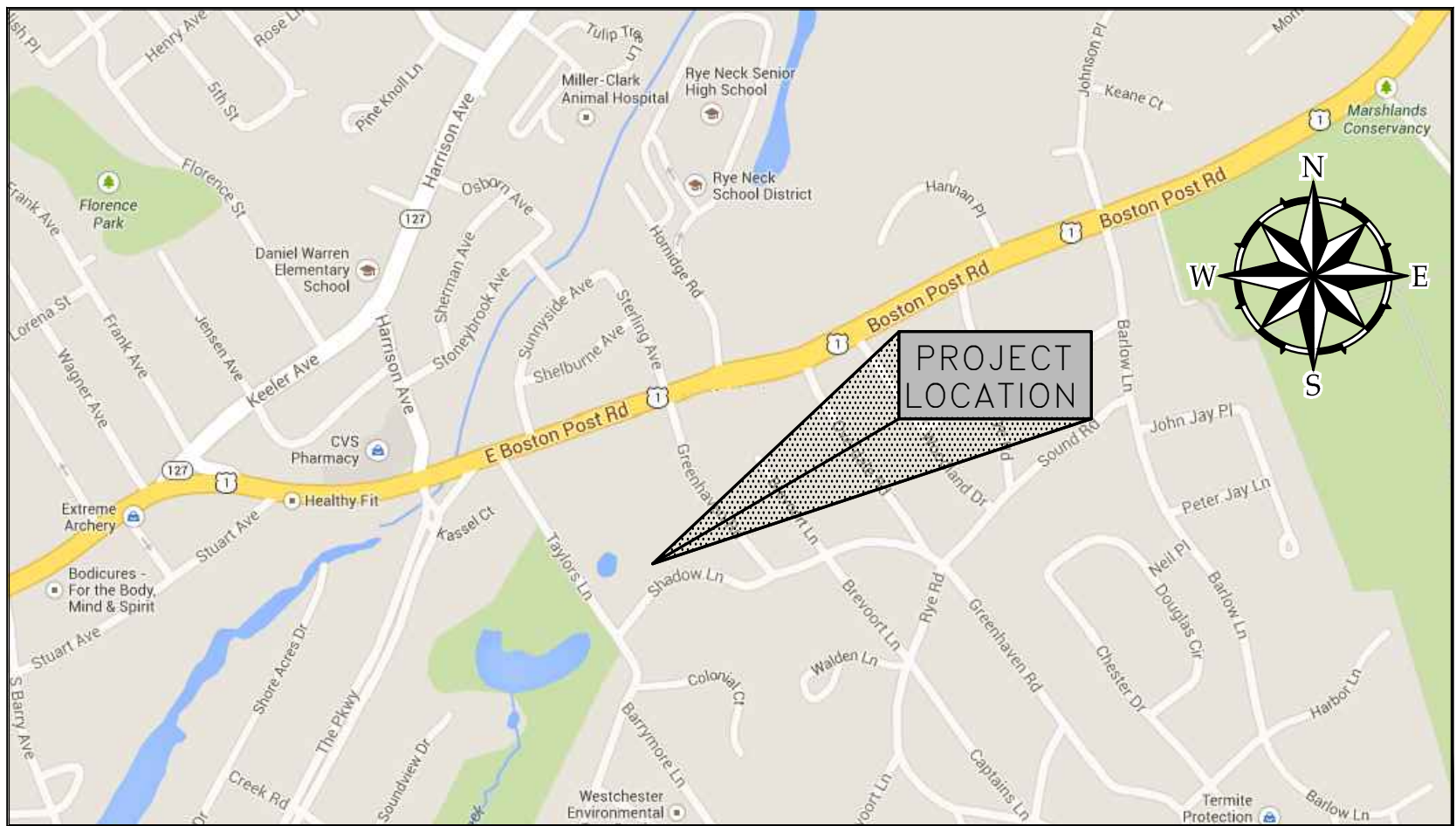
PROJECT LOCATION MAP  
SCALE: NOT TO SCALE

WOODARD & CURRAN DRAWING LIST

- C-001 TITLE SHEET
- C-002 CONSTRUCTION NOTES AND LEGEND
- C-100 EXISTING CONDITIONS MAP
- C-200 GRADING & DRAINAGE PLAN
- C-300 EROSION & SEDIMENT CONTROL PLAN
- C-400 CONSTRUCTION DETAILS
- C-500 CONSTRUCTION DETAILS



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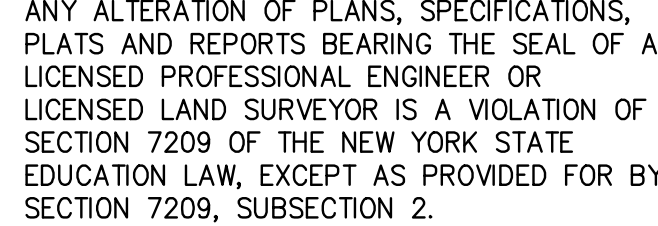
SOURCE: GOOGLE MAPS  
SITE AERIAL MAP  
SCALE: NOT TO SCALE

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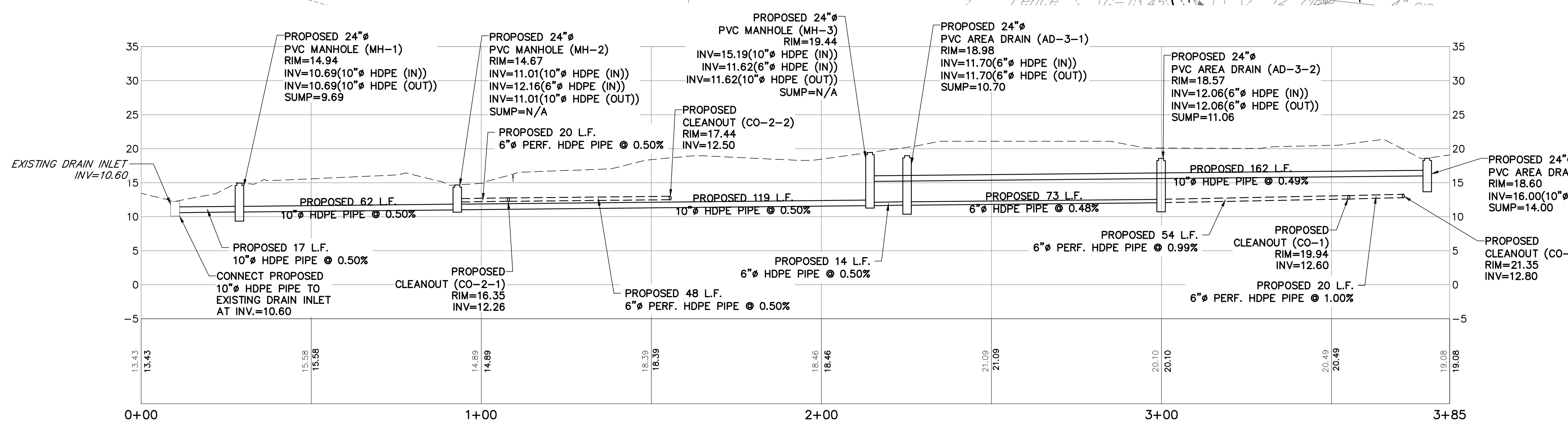
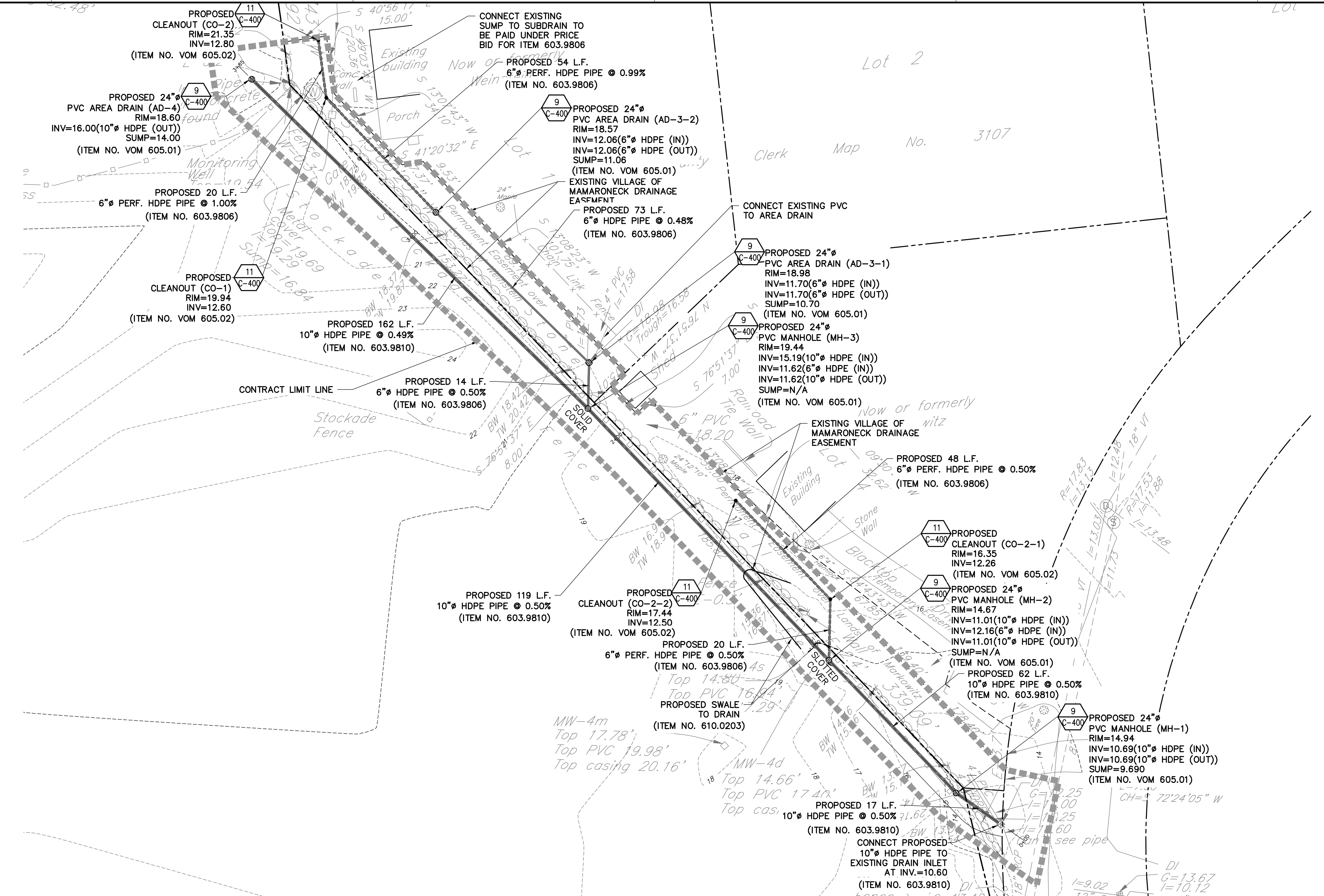


ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.









PROFILE STA. 0+00 TO STA. 3+85  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 10'

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COMMITMENT & INTEGRITY DRIVE RESULTS

WOODARD & CURRAN

STATE OF NEW YORK  
JULY 10 2013  
PROFESSIONAL ENGINEER  
008260

REV	DESCRIPTION	DATE
1	20130101000 L&S SEEING	

DESIGNED BY: DCC/TFS  
CHECKED BY: HG  
DRAWN BY: DCC/BD

GRADING & DRAINAGE PLAN

VILLAGE OF MAMARONECK  
123 MAMARONECK AVENUE  
MAMARONECK, NEW YORK 10543

TAYLORS LANE DRAINAGE  
IMPROVEMENTS  
VILLAGE OF MAMARONECK, NEW YORK

JOB NO.: 213733.01  
DATE: October 31, 2013  
SCALE: 1"=20'  
SHEET: 4 OF 7

C-200

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



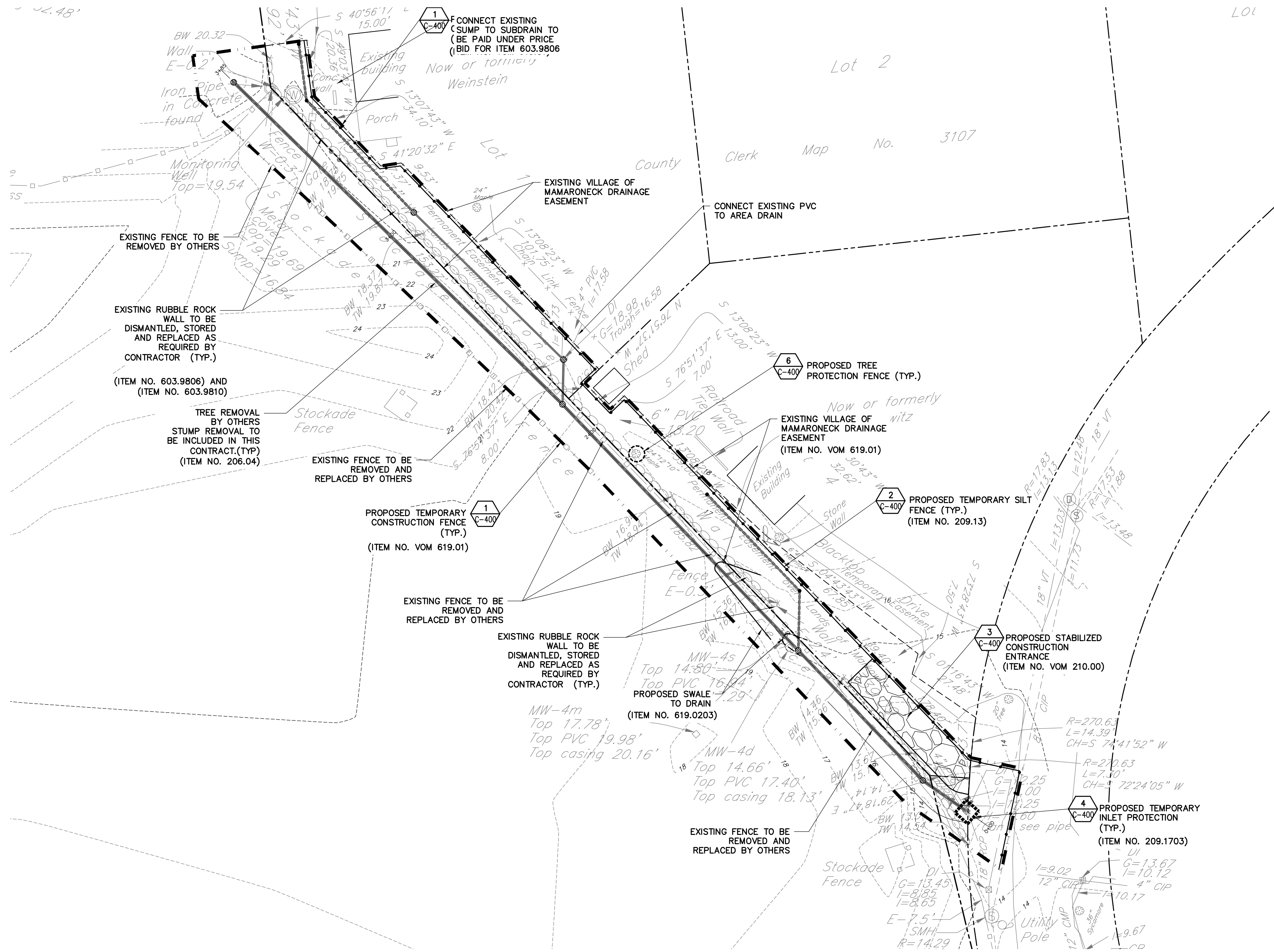
A

B

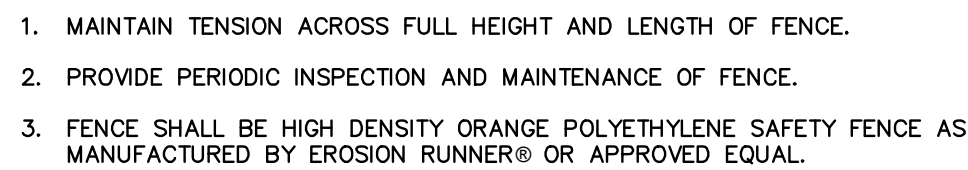
C

D

W:\21373301 VOM-Taylor Lane -Leachate Mitigation\w\Drawings\Curtain Drain\213733.01\_Taylor Lane Site.dwg, Nov 21, 2013 - 3:25pm

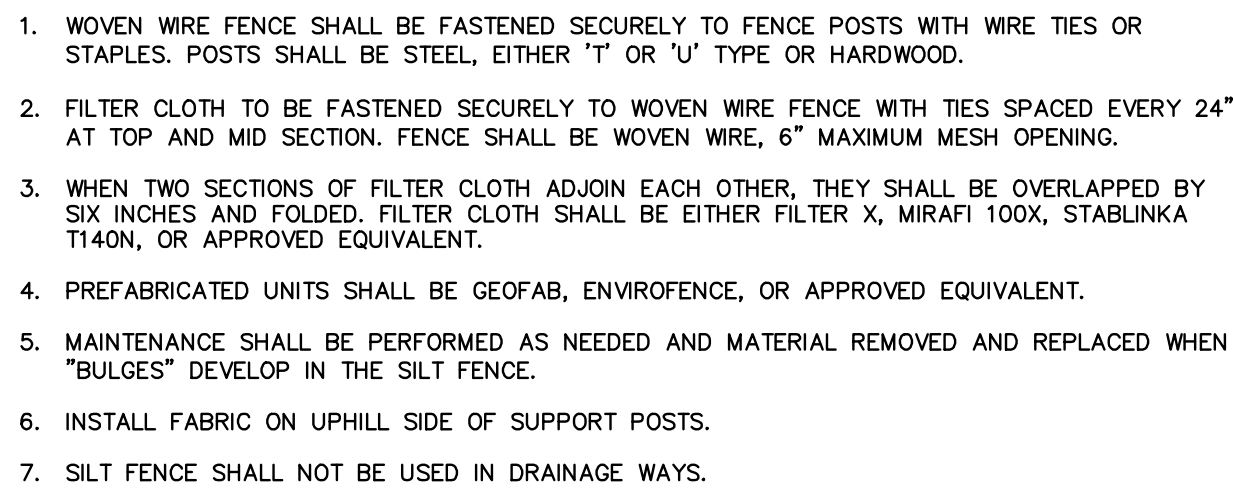






## A hexagonal logo divided horizontally. The top half contains the number '1' and the bottom half contains the text 'C-400'.

NOT TO SCALE



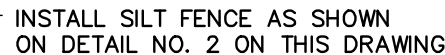
## A hexagonal logo with a horizontal line. The number '2' is in the upper triangle and 'C-400' is in the lower triangle.

NOT TO SCALE



4  
C-400/

NOT TO SCALE



5  
C-40

N.T.S

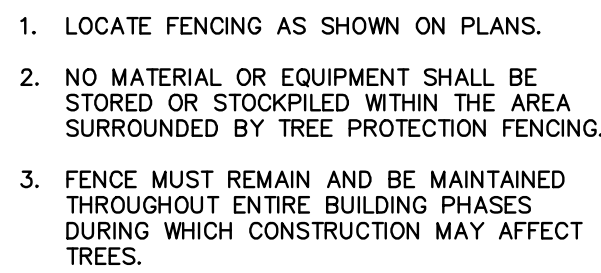


3  
C-400

NOT TO SCALE

1. USE 2" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
2. RECOMMENDED LENGTH GREATER THAN 50 FEET WHERE PRACTICAL.
3. THICKNESS NOT LESS THAN 6 INCHES.
4. 10 FOOT MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
5. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
7. ENTRANCE SHALL BE MAINTAINED IN A CONDITION PREVENTING TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ENTRANCE USED TO REMOVE TRACKING OF SEDIMENT. SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR.
9. REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS CONCRETE PAVEMENT.



## A hexagonal logo with a horizontal line. The top half contains the number '6' and the bottom half contains the text 'C-400'.

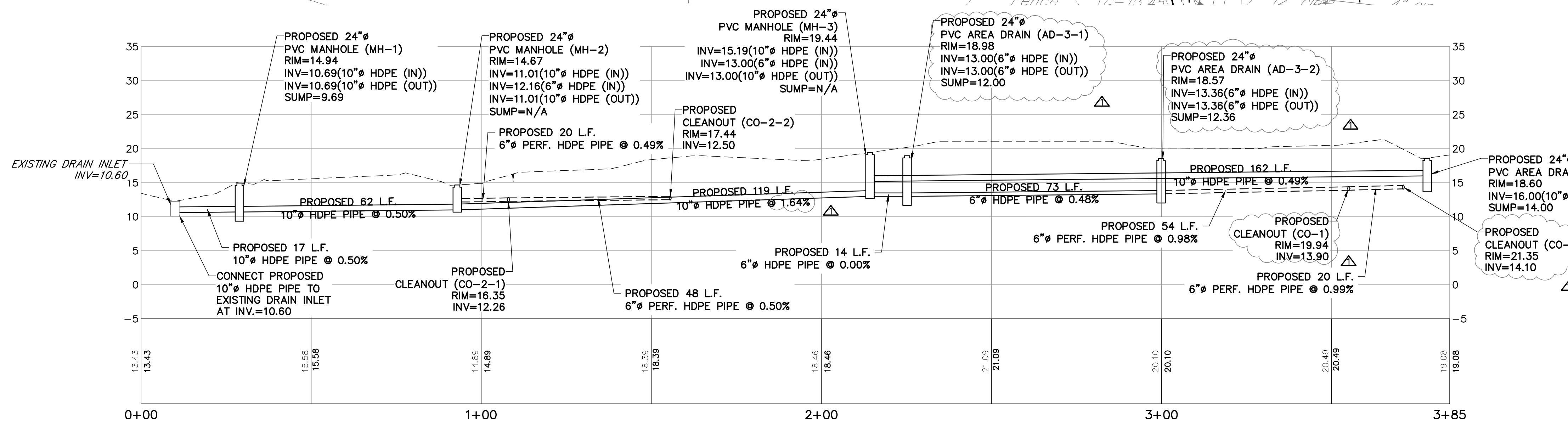
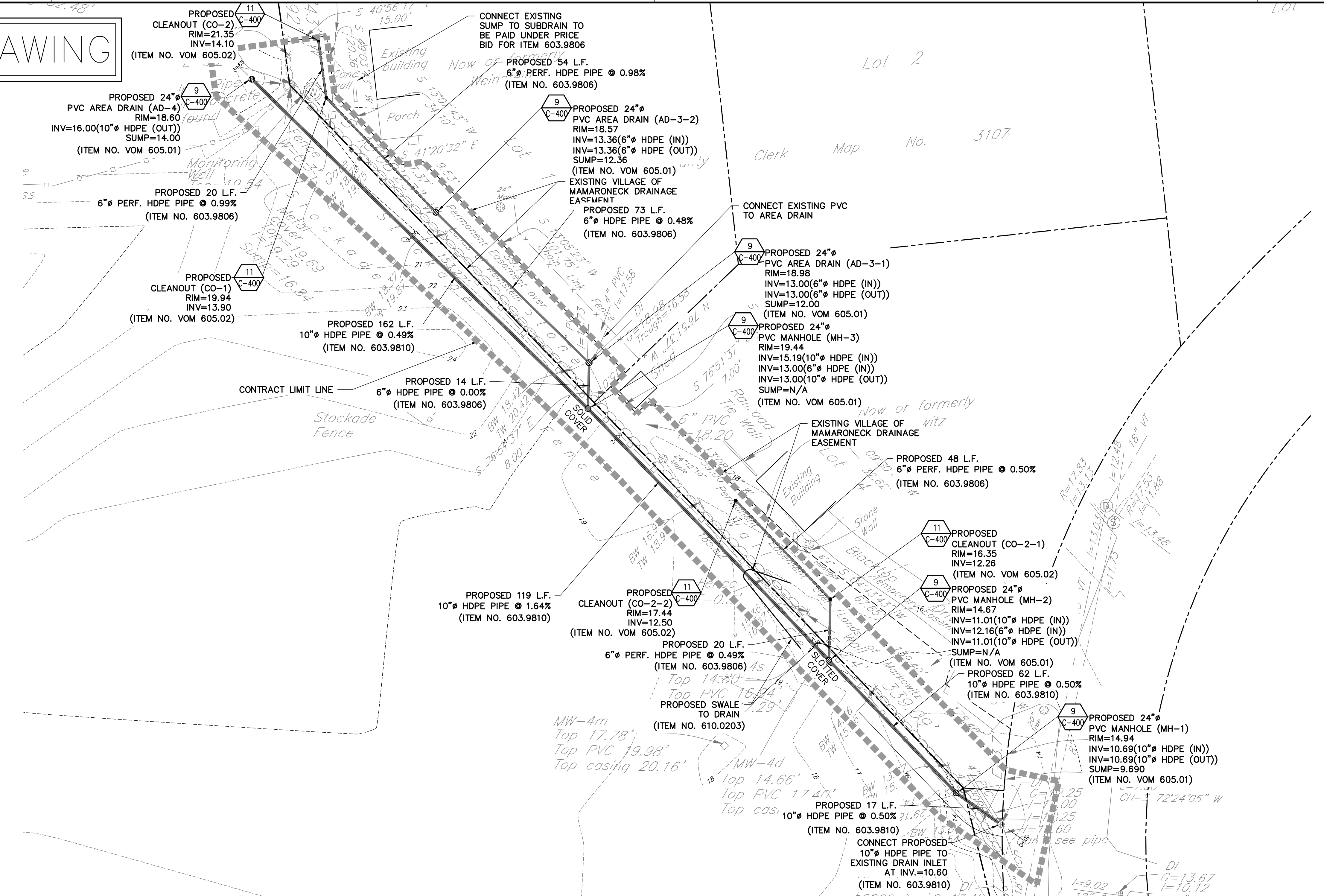
NOT TO SCALE







REVISED DRAWING



PROFILE STA. 0+00 TO STA. 3+85  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 10'

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COMMITMENT & INTEGRITY DRIVE RESULTS

STATE OF NEW YORK  
JULY 2013  
PROFESSIONAL ENGINEER  
00869

REV	DESCRIPTION	DATE
1	DESIGNED BY: JG	12/24/13
2	CHECKED BY: JG	
3	DESIGNED BY: JG	
4	CHECKED BY: JG	
5	DESIGNED BY: JG	
6	CHECKED BY: JG	
7	DESIGNED BY: JG	
8	CHECKED BY: JG	
9	DESIGNED BY: JG	
10	CHECKED BY: JG	
11	DESIGNED BY: JG	
12	CHECKED BY: JG	
13	DESIGNED BY: JG	
14	CHECKED BY: JG	
15	DESIGNED BY: JG	
16	CHECKED BY: JG	
17	DESIGNED BY: JG	
18	CHECKED BY: JG	
19	DESIGNED BY: JG	
20	CHECKED BY: JG	

VILLAGE OF MAMARONECK  
123 MAMARONECK AVENUE  
MAMARONECK, NEW YORK 10543

TAYLORS LANE DRAINAGE  
IMPROVEMENTS  
VILLAGE OF MAMARONECK, NEW YORK

JOB NO.: 213733.01  
DATE: October 31, 2013  
SCALE: 1"=20'  
SHEET: 4 OF 7

C-200

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PERIMETER DESCRIPTION

ALL that certain piece or parcel of property situate, lying and being located in the Village of Mamaroneck, Town of Rye, County of Westchester, State of New York and being more particularly bounded and described as follows:

Beginning at a point formed by the division line between property now or formerly Village of Mamaroneck, property now or formerly Richard Mangone and the westerly side of Greenhaven Road at a radius, also being a portion of Plot B as shown on a map entitled "Revised Map of First Addition to Greenhaven" dated Feb. 2, 1927 and filed in the Westchester County Clerk's Office (Division of Land Records) on Feb. 3, 1927 as Map No. 3104, said point being distant 100.00 feet as measured on a course of S. 18°38'27"E, from the southerly side of Boston Post Road as widened to the POINT OF BEGINNING;

thence from said point of beginning along the southerly side of Greenhaven Road, S. 18°38'27"E, a distance of 178.17 feet;

thence southeasterly, a distance of 88.16 feet along a curve to the left having a radius of 272.30 feet and a central angle of 20°39'18" to a point on the division line between property now or formerly Village of Mamaroneck and Lot 1 as shown on the aforesaid file Map No. 3107;

thence along said division line, S. 48°14'43" W., a distance of 50.92 feet;

thence along the division line between property now or formerly Village of Mamaroneck being a portion of property formerly of William H. Miles, now Charles C. Plonk as shown on the aforesaid file Map No. 3107, Lot 1 and Lot 4, S. 1°08'23" W., a distance of 339.09 feet;

thence along the division line between property now or formerly Village of Mamaroneck and a "Reserved" Strip as shown on the aforesaid filed Map No. 3107, S. 43°12'53" W., a distance of 740.48 feet;

thence S. 44°49'03" W., a distance of 70.08 feet;

thence westerly, a distance of 21.18 feet along a non tangent curve to the right of which the radius point lies N. 24°00'18" W, a radius of 15.00 feet, and having a central angle of 80°54'23" to a point on the northerly side of Taylors Lane as widened;

thence along said northerly side of Taylors Lane as widened, N. 33°05'55" W., a distance of 696.05 feet to a point on the division line between property now or formerly Village of Mamaroneck and property now or formerly A/I's Rye Neck Service LLC;

thence along said division line, N. 71°41'10" E., a distance of 57.39 feet;

thence N. 18°18'50" W., a distance of 36.60 feet to property now or formerly A/I's Rye Neck Service LLC and property now or formerly John Decrescenzo;

Page 2 of 2

thence along the division line between property now or formerly John Decrescenzo, property now or formerly Mary Ferrara and property now or formerly Village of Mamaroneck, N. 71°04'40" E., a distance of 345.46 feet;

thence N. 31°37'57" W., a distance of 0.36 feet to a point on the division line property now or formerly Mary Ferrara, property now or formerly Richard Mangone and property now or formerly Village of Mamaroneck;

thence along the division line between property now or formerly Richard Mangone and property now or formerly Village of Mamaroneck, N. 70°43'03" E., a distance of 269.69 feet to the westerly side of Greenhaven Road, the point and place of BEGINNING.

Containing 340,277 square feet or 7.8117 acres, more or less.

June 4, 2012

Zoning District — R-20 (One-Family Residential) \*

Minimum Lot Area	20,000 sq. ft.
Frontage/Lot Width	100 ft.
Minimum Lot Depth	100 ft.
Building Coverage	35%
Floor Area Ratio (FAR)	0.35
Stories Height	2 1/2
Minimum Yards	
Front	25
Side	20
Rear	30

(Information listed above taken from Zoning — Chapter 242, Village of Mamaroneck, dated Sept. 2003)

Lot Area = 340,278 sq. ft.  
or 7.8117 acres

Subsurface structures and their encroachments, if any exist, are not shown hereon.

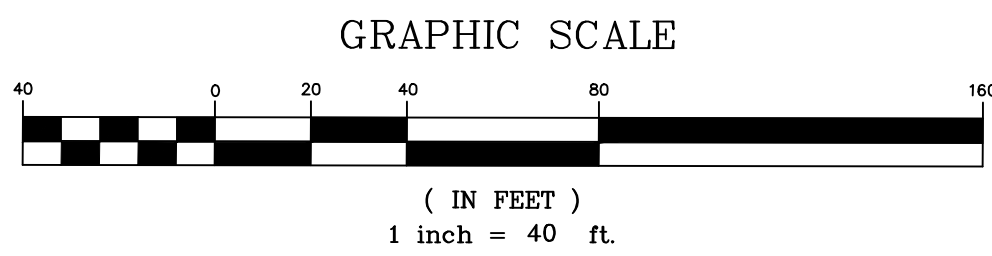
\*Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law.

\*Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy.

\*Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

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Job # 48732–48946–49426–49738–52265



Survey of Property  
of  
Taylors Lane Landfill Site—DEC Site No. 360021  
prepared for  
**Village of Mamaroneck**  
in the Village of  
**Mamaroneck**  
Town of Rye  
Westchester County, N.Y.  
Scale 1"=40' Dec. 6, 2010

Survey brought to date May 16, 2012.  
Topographic information and survey brought to date Sept. 27, 2012.  
Topographic information added Oct. 20, 2012 and Nov. 15, 2012.  
Adjusted elevations shown hereon Jan. 12, 2013.  
Drainage information and Easements on Weinstein and Markowitz added June 5, 2013.  
New drainage structures and lines added July 7, 2016.

The premises being Plot B and property formerly William H. Miles, Now Charles C. Plonk as shown on a map entitled "Sheet 2 of 2, Revised Map of First Addition to Greenhaven" dated Feb. 2, 1927 and filed Feb. 3, 1927 as County Clerk Map No. 3107. Also known as Lots 42 & 48, Block 1, Sheet 155.37 as shown on the official Tax Assessment Map for the Village of Mamaroneck.

Created by the New York State Department of Environmental Conservation.

File # E:\48732TaylorsLane-Revised\dwg\48732revised.dwg

- Legend
- Utility Pole
  - Drain Inlet
  - Manhole
  - Stone Wall
  - Stockade Fence
  - Picket Fence
  - Chain Link Fence
  - Catchbasin
  - Drain Manhole
  - Property Line
  - Building Line
  - Monitoring Well

△ Stake find  
E=8.60'

---

## APPENDIX D: PHOTOGRAPHIC LOG



Photo Number: 1

View Direction: Exterior

Date: March 31, 2014

Description: Exterior flooding prior to drainage improvements



Photo Number: 2

View Direction: Excavation

Date: April 7, 2014

Description: Drainage improvements construction





**Photo Number: 3**

**View Direction: Exterior**  
**Description: Piping Installation**

**Date: April 7, 2014**



**Photo Number: 4**

**View Direction: Looking northeast**  
**Description: Piping Installation**

**Date: April 7, 2014**



Photo Number: 5

View Direction: Exterior

Date: April 7, 2014

Description: Drainage improvements construction



Photo Number: 6

View Direction: Exterior

Date: April 7, 2014

Description: Piping and area drain installation





Photo Number: 7

View Direction: French drain construction

Date: April 7, 2014

Description: Backfill piping with  $\frac{3}{4}$ " stone



Photo Number: 8

View Direction: French drain construction

Date: April 7, 2014

Description: Catch basin installation



Photo Number: 9

View Direction: Exterior  
Drainage improvements construction

Date: April 8, 2014



Photo Number: 10

View Direction: Exterior  
Description: Drainage improvements construction

Date: April 8, 2014





**Photo Number: 11**

**View Direction: Exterior**

**Date: September 15, 2016**

**Description: Current Conditions at Weinstein property**



**Photo Number: 12**

**View Direction: Exterior**

**Date: September 15, 2016**

**Description: Current conditions at Weinstein property**



Photo Number: 13

View Direction: Exterior

Date: September 15, 2016

Description: Current conditions at Weinstein property



Photo Number: 14

View Direction: Exterior

Date: September 15, 2016

Description: Current conditions at Markowitz property



**Photo Number: 15**

**View Direction: Exterior**

**Date: September 15, 2016**

**Description: Current conditions at Markowitz property**



**Photo Number: 16**

**View Direction: Exterior**

**Date: September 15, 2016**

**Description: Current conditions at Markowitz property**



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