

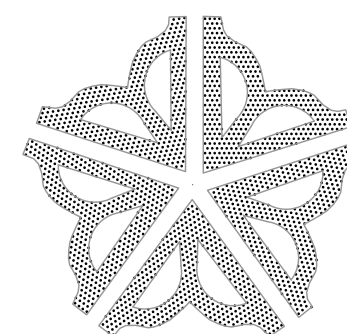
LaBELLA
LaBella Associates, P.C.
300 State Street
Rochester, New York 14614

Bid Package 3

Demolition Drawings

BUILDING DEMOLITION FOR FORMER PHOTECH IMAGING SYSTEMS FACILITY

1000 DRIVING PARK AVENUE
ROCHESTER, NEW YORK



PREPARED FOR:
CITY OF ROCHESTER
DEPARTMENT OF
ENVIRONMENTAL SERVICES
DIVISION OF ENVIRONMENTAL QUALITY

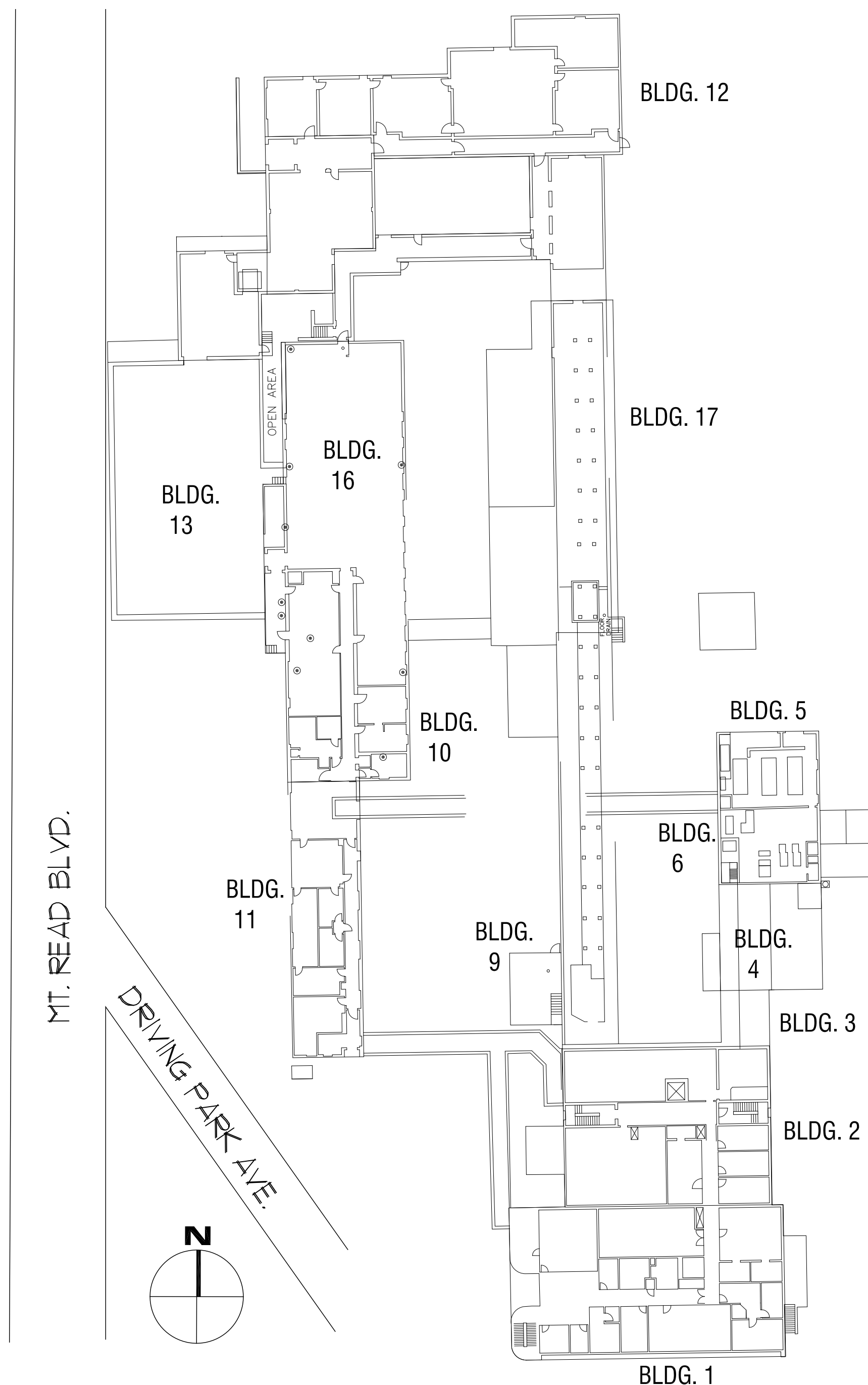
30 CHURCH STREET, ROOM 300B
ROCHESTER, NY 14614

PREPARED BY:

ABELLA
Associates, P.C.

DRAWING INDEX:

	COVER SHEET/INDEX/PROJECT LOCATION
D-1	GENERAL NOTES
D-2	SITE PLAN
D-3	BUILDING DEMOLITION
D-4	DETAILS



PROJECT LOCATION

DATE: 11/09
BID SET

GENERAL NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE A SAFE WORK SITE AND TO PROTECT THE PUBLIC, VISITORS AND EMPLOYEES, FROM HARM AS A RESULT OF HIS CONSTRUCTION ACTIVITIES.
- CONTRACT LIMIT LINES (C.L.L.) ARE CONSIDERED THE PROPERTY LINES UNLESS OTHERWISE SHOWN ON THE PLANS OR DIRECTED BY THE CONSTRUCTION MANAGER.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
- PRIOR TO THE START OF MEANINGFUL CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST PITS TO DETERMINE PRECISE LOCATIONS AND DEPTH OF ANY UNDERGROUND UTILITY AND SUBSURFACE WALLS IN QUESTION AND IMPACTED BY THE WORK. THE CONTRACTOR SHALL IMMEDIATELY REPORT RESULTS TO THE CONSTRUCTION MANAGER OF ANY SIGNIFICANT DISCREPANCIES BETWEEN THE PLANS AND ACTUAL LOCATIONS OF SAID STRUCTURES. TEST PITS AND ASSOCIATED REPORTING SHALL BE INCLUDED IN THE PRICE BID.
- PROPERTY LINES, AND RIGHT-OF-WAY LINES, AS SHOWN, ARE APPROXIMATE AND ARE INTENDED FOR GENERAL INFORMATION. NO WARRANTY IS EXPRESSED OR IMPLIED TO THEIR ACCURACY.
- THE OWNERS OF THE VARIOUS UTILITIES WITHIN THE RIGHT-OF-WAY OR ADJACENT EASEMENTS, IF ANY, WILL FIELD LOCATE AND MARK THE LOCATION OF THEIR FACILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE THEIR FACILITIES.
- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE TO LOCATE UTILITIES OUTSIDE THE RIGHT-OF-WAY INCLUDING PRIVATE ROADS.
- SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE SIZES AND MATERIAL OF CONSTRUCTION OF WATER MAINS, SANITARY SEWERS AND STORM SEWERS TO REMAIN ARE REPUTED. THE CONTRACTOR SHALL VERIFY SIZES OF ALL UTILITIES WHERE CONNECTIONS TO SAID EXISTING UTILITIES ARE REQUIRED. EXCAVATION TO VERIFY THESE UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR STAGING AREAS AND CONSTRUCTION ENTRANCE LOCATIONS SHALL BE COORDINATED WITH CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. REFER TO DRAWINGS D-2 AND D-3 FOR ADDITIONAL INFORMATION AND DETAILS. ALL DISTURBED AREAS SHALL BE RESTORED.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING FROM DAMAGE ALL SIGNS, SURVEY MONUMENTS, LIGHT POLES, UTILITY POLES AND OTHER STREET APPURTENANCES WITHIN THE RIGHT-OF-WAY AND WITHIN EASEMENTS EXISTING OR OBTAINED FOR THE PROJECT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL.
- UNLESS OTHERWISE INDICATED ON THE PLANS OR DIRECTED BY THE CONSTRUCTION MANAGER, THE CONTRACTOR IS RESPONSIBLE FOR CLEARING AND GRUBBING ALL TREES, SHRUBS AND PLANTS IN THE VICINITY OF THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- ALL EXISTING PIPELINES, CONDUITS, AND CULVERTS ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED AND SUPPORTED AS REQUIRED. THE ENVIRONMENTAL CONSULTANT MUST BE NOTIFIED IMMEDIATELY WHEN THESE SITE FEATURES ARE ENCOUNTERED.
- ANY SITE AMENITY, UTILITY, STREET APPURTENANCE, OR OTHER ITEM WHICH BECOMES DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS SHALL BE REPAIRED OR REPLACED IN-KIND BY THE CONTRACTOR AS DETERMINED BY THE CONSTRUCTION MANAGER AND AT NO ADDITIONAL COST TO THE OWNER.
- SAFE AND CONTINUOUS THROUGH TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT PRIVATE DRIVEWAYS, SERVICE ROADS, AND PUBLIC STREETS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION. ALL PRIVATELY OWNED SIGNS EXCEPT THOSE DESIGNATED BY THE CONSTRUCTION MANAGER, WITHIN THE CONTRACT LIMITS SHALL BE REMOVED AND DISPOSED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROVED CONSTRUCTION WASTE MANAGEMENT PLAN.
- THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL RIGHT-OF-WAY MONUMENTS AND PROPERTY CORNER MARKERS TO REMAIN. ALL RIGHT-OF-WAY MONUMENTS AND PROPERTY CORNER MARKERS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A NYS LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- ELEVATIONS, WHERE SHOWN, ARE BASED ON CITY OF ROCHESTER DATUM UNLESS OTHERWISE NOTED.
- CONDITIONS OF CONSTRUCTION ALONG CITY RIGHT-OF-WAY SHALL CONFORM TO SPECIFICATIONS LISTED ON PERMITS.
- THE CONTRACTOR SHALL RESEARCH, SECURE AND PAY FOR ALL PERMITS, FEES AND SIMILAR ITEMS AS NEEDED TO COMPLETE THE WORK.
- CONCRETE CRUSHING OPERATIONS WILL NOT BE ALLOWED ANYWHERE ON THE EASTERN PORTION OF THE SITE. THE LOCATION OF ALL PROPOSED CRUSHING OPERATIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER PRIOR TO INITIATING THE WORK.
- ACTIVITIES DESCRIBED UNDER THE CONTRACT MAY NOT BE THE ONLY ACTIVITIES OCCURRING AT THE SITE. THE CONTRACTOR MUST PROVIDE THE CONSTRUCTION MANAGER WITH A PROPOSED STAGING PLAN THAT OUTLINES THE LOCATIONS OF PROPOSED LAYDOWN AREAS, STOCKPILES, CRUSHING OPERATIONS, STORAGE TRAILERS, DUMPSTERS, ETC. THE CONSTRUCTION MANAGER MUST APPROVE THE PLAN PRIOR TO THE CONTRACTOR PERFORMING THE WORK.
- ALL FLOOR SLABS AND BUILDING FOUNDATIONS MUST BE REMOVED IN THEIR ENTIRETY.

EXCAVATION/GRADING NOTES

- THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. THE REQUIREMENTS SET FORTH HEREIN ARE INTENDED TO SUPPLEMENT REQUIREMENTS ESTABLISHED BY THESE AGENCIES. IN THE CASE OF A CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON CONTRACTOR SHALL APPLY.
- EXCAVATED OR OTHER MATERIALS SHALL BE STORED A MINIMUM OF 2 FEET FROM THE EDGE OF TRENCH.
- WALLS OR FACES OF TRENCHES 5 FEET DEEP OR GREATER SHALL BE GUARDED BY A SHORING SYSTEM. SLOPING OF GROUND OR OTHER MEANS TO PREVENT CAVE-IN.
- TRENCHES 4 FEET DEEP OR MORE SHALL HAVE AN ADEQUATE MEANS OF EXIT, SUCH AS LADDERS OR STEPS, LOCATED NO MORE THAN 25 FEET OF LATERAL TRAVEL.
- DAILY INSPECTIONS OF EXCAVATIONS SHALL BE MADE BY AN AUTHORIZED, COMPETENT REPRESENTATIVE OF THE CONTRACTOR.
- ALL EMPLOYEES SHALL BE INSTRUCTED TO RECOGNIZE AND AVOID THE HAZARDS ASSOCIATED WITH UNDERGROUND CONSTRUCTION ACTIVITIES.
- FRESH AIR SHALL BE SUPPLIED TO ALL UNDERGROUND WORK AREAS, INCLUDING, SUB-GRADE TUNNELS.
- SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TRENCHES THROUGH PAVEMENT WITHIN THE CITY R.O.W. SHALL BE SAW CUT PRIOR TO EXCAVATION AND AGAIN PRIOR TO PAVEMENT RESTORATION.
- CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS, VALVE BOXES AND OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAVING OR REGRADEING AS PART OF THE WORK, INCLUDING THOSE THAT MAY NOT BE SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY. ALL DEWATERED LIQUIDS SHALL BE SAMPLED AND APPROVED BY THE ENVIRONMENTAL CONSULTANT PRIOR TO DISCHARGE TO THE SEWER OR SENT OFF-SITE FOR DISPOSAL.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING MONITORING WELLS.

DEMOLITION/REMOVAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIAL NOTES).
- THE CONTRACTOR IS RESPONSIBLE FOR PROMPT REMOVAL AND PROPER DISPOSAL OFF-SITE OF ALL MATERIALS NOT OTHERWISE DESIGNATED TO BE STORED, REUSED, RELOCATED, RECYCLED, OR TURNED OVER TO THE OWNER.
- ALL DISPOSALS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED AND THE COST OF DISPOSAL.
- ALL TREES AND SHRUBS DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED (ROOT SYSTEM INCLUDED) AND PROPERLY DISPOSED. TREES, BRUSH AND SHRUBS SHALL BE CHIPPED AND MULCHED TO MAXIMUM EXTENT POSSIBLE.

EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL COMPLY WITH NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STORMWATER POLLUTION DISCHARGE ELIMINATIONS YSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTIONA CTIVITY (GP-0-08-001) FOR ALL ACTIVITIES AND SITE SPECIFIC REQUIREMTNS DETAILED IN THE CONTRACT DOCUMENTS.
- UTILIZE CONSTRUCTION METHODS/TECHNIQUES, WHICH WILL LIMIT THE EXPOSED EARTHEN AREAS AND MINIMIZE THE EFFECT OF EARTH DISTURBANCE ACTIVITIES ON SOIL EROSION.
- ALL SEDIMENTATION BARRIERS AND OTHER TEMPORARY OR PERMANENT MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. PLANS SHOW THE SUGGESTED MINIMUM MEASURES REQUIRED.
- TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WILL BECOME THE PROPERTY OF THE OWNER AT THE END OF CONSTRUCTION FOR REUSE BY FUTURE CONTRACTS.

AREAS OF EROSION AND SEDIMENTATION CONTROL MEASURES DEFINED ON THE PLANS AREA NOT ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR UTILIZING EROSION AND SEDIMENTATION CONTROL TECHNIQUES IN ALL AREAS OF CONSTRUCTION WHERE DISTURBANCE TO EXISTING CONDITIONS IS REQUIRED. THESE TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL AND LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS.

FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROTECT ALL STORM SEWERS AND WATER COURSES FROM CONTAMINATION BY WATER BORNE SILTS, SEDIMENTS, FUELS, SOLVENTS, LUBRICANTS OR OTHER POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT. DURING CONSTRUCTION NO SOILS OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO STORM SEWERS, DITCHES OR OTHER WATERS OF NEW YORK STATE, NOR SHALL WASHINGS FROM TRUCKS, OR OTHER DEVICES BE ALLOWED TO ENTER ANY STORM SEWERS, DITCHES OR WATER COURSES.
- ALL METHODS AND EQUIPMENT PROPOSED BY THE CONTRACTOR TO ACCOMPLISH THE WORK FOR EROSION AND POLLUTION CONTROL SHALL BE SUBJECT TO APPROVAL OF THE CONSTRUCTION MANAGER.

THE CONTRACTOR SHALL BE REQUIRED TO CONTROL DUST BY TREATING ALL AREAS OF THE SITE OR AREAS OTHERWISE DISTURBED BY THE CONTRACTOR, ESPECIALLY TRAVELED AREAS. WATER SHALL BE APPLIED TO SUCH AREAS AS THE CONSTRUCTION MANAGER MAY DESIGNATE. THE NUMBER OF APPLICATIONS AND THE AMOUNT OF WATER SHALL BE BASED UPON FIELD AND WEATHER CONDITIONS AND AS ORDERED BY THE CONSTRUCTION MANAGER.

ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE PERIOD OF CONSTRUCTION AND UNTIL VEGETATION, OR OTHER MEANS OF SOIL STABILIZATION, IS ESTABLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. REQUIRED MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, THE INSPECTION AND REPAIR OF ALL FACILITIES, THE REMOVAL OF ACCUMULATED SEDIMENT FROM STONED INLET PROTECTION, SILT FENCES, AND TEMPORARY SILTATION BASIN, AND THE REPLACEMENT OF ANY MATERIALS OR MEASURES THAT MAY BE REQUIRED TO FACILITATE REVEGETATION OR THE CORRECT OPERATION OF THE MEASURES.
- THE CONTRACTOR SHALL MAINTAIN SITE CONDITIONS WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS, OR ADJACENT PROPERTY. THE CONTRACTOR SHALL KEEP CLEAN AND FREE ALL SIDEWALKS, STREETS, DRIVES, AND OTHER PAVEMENTS FROM DIRT, MUD, STONES AND OTHER HAULED MATERIALS AS A RESULT OF HIS WORK.

SANITARY AND STORM SEWER NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF THE EXISTING SANITARY OR STORM MAINS, STRUCTURES, AND APPURTENANCES AS NEEDED TO COMPLETE THE WORK. CONTRACTOR IS RESPONSIBLE FOR REMOVAL TO A LOCATION 5-FEET BEYOND THE OUTERMOST FOUNDATION WALL.
- UTILITY LINES OR APPURTENANT STRUCTURES TO REMAIN AND CROSSING THE AREAS OF EXCAVATION SHALL BE TEMPORARILY SUPPORTED AND OTHERWISE PROTECTED DURING CONSTRUCTION.
- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE TO DETERMINE THE LOCATION OF ALL LATERALS FOR REMOVAL. IT IS ANTICIPATED THAT LATERALS EXIST FOR ALL EXISTING BUILDINGS.
- TAKE APPROPRIATE MEASURES TO PREVENT DIRT, DEBRIS, AND CONSTRUCTION MATERIALS FROM ENTERING RPWD SEWERS, LATERALS, CATCH BASINS, MANHOLES, AND APPURTENANCES DURING CONSTRUCTION. IMMEDIATELY REMOVE ANY SUCH MATERIALS FROM RPWD SEWERS AND APPURTENANCES AND REPAIR ANY DAMAGE CAUSED BY SUCH MATERIALS AT NO COST TO THE OWNER.
- ALL OLD REMOVED SEWER MANHOLE FRAMES AND COVERS AND CATCH BASIN GRATES SHALL BECOME THE PROPERTY OF CONTRACTOR. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SUCH FRAMES, COVERS AND GRATES.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES WITHIN PUBLIC ROW AND RPWD EASEMENTS SHALL BE PROTECTED CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT.
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE CONTRACTOR OR THEIR AGENT. PRIOR TO CONNECTION OR DISCHARGE THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL NEEDED.
- FLOOR DRAINS, IF ENCOUNTERED, SHALL NOT BE UTILIZED FOR DISCHARGE OF WASTEWATER TO THE SANITARY/COMBINATION SEWER. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW. THE ENVIRONMENTAL CONSULTANT SHALL SAMPLE AND APPROVE ALL DISCHARGES. (IN ADDITION TO MCPW APPROVAL).

SPECIAL NOTES

- NO MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT THE WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION WASTE MANAGEMENT PLAN.
- NO SOILS, SUB-GRADE, STRUCTURES, SLABS OR PAVEMENTS IN CONTACT WITH ON-SITE SOILS SHALL BE REMOVED FROM THE SITE WITHOUT THE WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER AND THE ENVIRONMENTAL CONSULTANT. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- CONTROL OF DUST ORIGINATING FROM THE PROJECT SITE OR AS A RESULT OF CONTRACTOR OPERATIONS IS CONSIDERED A CRITICAL RESPONSIBILITY OF THE CONTRACTOR. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION.

DRAWING TITLE
GENERAL NOTES

ISSUED FOR
BID

DESIGNED BY:
DRAWN BY:
DATE: NOVEMBER 17, 2009

D.E.P.
D.L.S.
D.E.P./D.P.N.
DATE: NOVEMBER 17, 2009 at 4:28 PM
PROJECT/Drawing/GeneralNotes.dwg

PROJECT/CLIENT
PHOTECH
1000 DRIVING PARK
ROCHESTER, NY 14613

CITY OF ROCHESTER
30 CHURCH STREET
ROCHESTER, NY 14614-1290

LABELLA
Associates, P.C.

300 STATE STREET
ROCHESTER, NY 14614
P: (585) 454-6110
F: (585) 454-4066
www.labellacpc.com
©2009 LabelL

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			

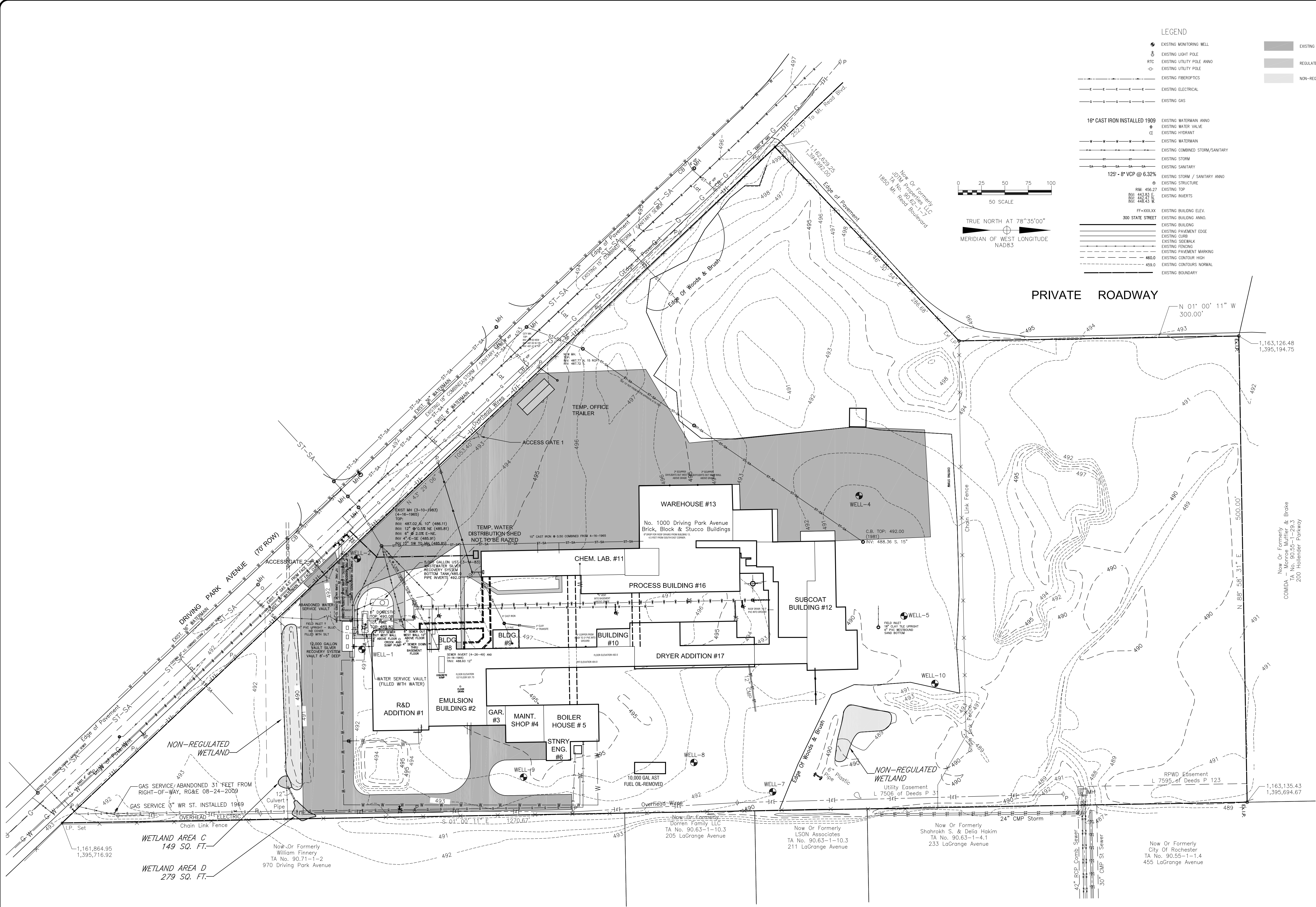
It is a violation of New York Education Law Article 145, Sec.7209, for any person, firm, or corporation to prepare, execute, or use any drawing, specification, or contract for construction work unless the person, firm, or corporation is duly licensed or registered as an architect, engineer, or landscape architect. The person, firm, or corporation shall affix to the drawing, specification, or contract its seal and signature, and shall retain a true and correct copy of the drawing, specification, or contract for a period of one year after the date of such alteration, and a specific description of the alteration.

PROJECT/DRAWING NUMBER

209288

D-1

DATE/TIME: Tuesday, November 17, 2009 AT 4:38 PM
DRAWN BY: LSON Associates
PLOT STYLE: LSON.ctb
FILENAME: 209288.dwg



LABELLA
Associates, P.C.

300 STATE STREET
ROCHESTER, NY 14614
P: (585) 454-6110
F: (585) 454-3066
www.labellic.com
© 2009

PROJECT/CLIENT
PHOTECH
1000 DRIVING PARK
ROCHESTER, NY 14613

CITY OF ROCHESTER
30 CHURCH STREET
ROCHESTER, NY 14614-1290

DRAWING TITLE
SITE PLAN

ISSUED FOR
BID

DESIGNED BY: D.E.P.
DRAWN BY: R.C.M.
DATE: NOVEMBER 17, 2009
REVIEWED BY: D.E.P./D.P.N.
PLOTED: Tuesday, November 17, 2009 AT 4:38 PM
Project/Drawing/Client/Date/Time/By

PROJECT/DRAWING NUMBER

209288

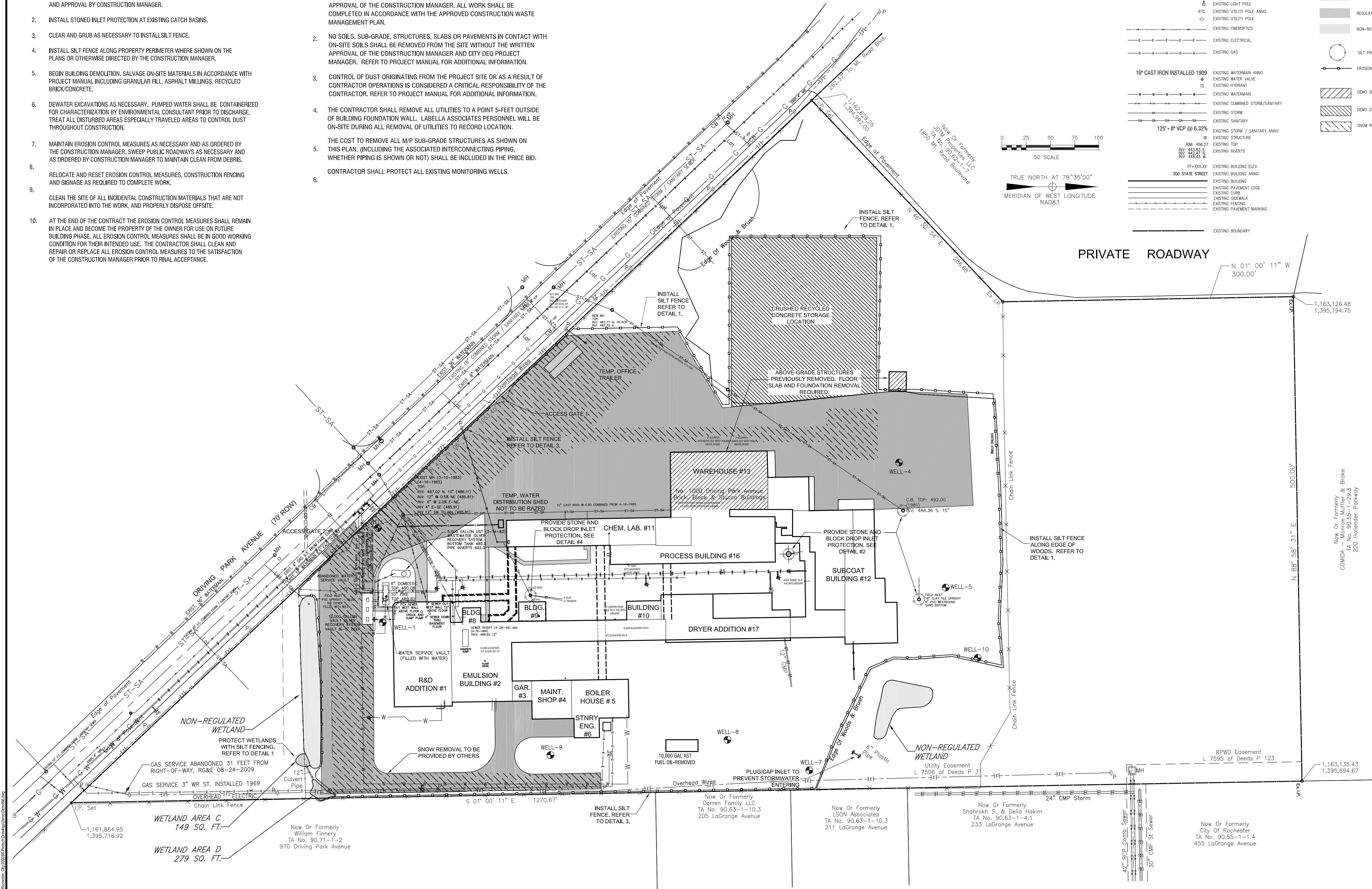
D-2

SUGGESTED EROSION CONTROL SEQUENCE

- SUBMIT ACTUAL EROSION CONTROL MEASURES AND SEQUENCING FOR REVIEW AND APPROVAL BY CONSTRUCTION MANAGER.
- INSTALL STONED INLET PROTECTION AT EXISTING CATCH BASINS.
- CLEAR AND GRUB AS NECESSARY TO INSTALL SILT FENCE.
- INSTALL SILT FENCE ALONG PROPERTY PERIMETER WHERE SHOWN ON THE PLANS OR OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- BEGIN BUILDING DEMOLITION. SALVAGE ON-SITE MATERIALS IN ACCORDANCE WITH PROJECT MANUAL INCLUDING GRANULAR FILL, ASPHALT MILLINGS, RECYCLED BRICK/CONCRETE.
- DEWATER EXCAVATIONS AS NECESSARY. PUMPED WATER SHALL BE CONTAINERIZED FOR CHARACTERIZATION BY ENVIRONMENTAL CONSULTANT PRIOR TO DISCHARGE. TREAT ALL DISTURBED AREAS ESPECIALLY TRAVELED AREAS TO CONTROL DUST THROUGHOUT CONSTRUCTION.
- MAINTAIN EROSION CONTROL MEASURES AS NECESSARY AND AS ORDERED BY THE CONSTRUCTION MANAGER. SWEEP PUBLIC ROADWAYS AS NECESSARY AND AS ORDERED BY CONSTRUCTION MANAGER TO MAINTAIN CLEAN FROM DEBRIS.
- RELOCATE AND RESET EROSION CONTROL MEASURES. CONSTRUCTION FENCING AND SIGNAGE AS REQUIRED TO COMPLETE WORK.
- CLEAN THE SITE OF ALL INCIDENTAL CONSTRUCTION MATERIALS THAT ARE NOT INCORPORATED INTO THE WORK, AND PROPERLY DISPOSE OFFSITE.
- AT THE END OF THE CONTRACT THE EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BECOME THE PROPERTY OF THE OWNER FOR USE ON FUTURE BUILDING PHASE. ALL EROSION CONTROL MEASURES SHALL BE IN GOOD WORKING CONDITION FOR THEIR INTENDED USE. THE CONTRACTOR SHALL CLEAN AND REPAIR OR REPLACE ALL EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CONSTRUCTION MANAGER PRIOR TO FINAL ACCEPTANCE.

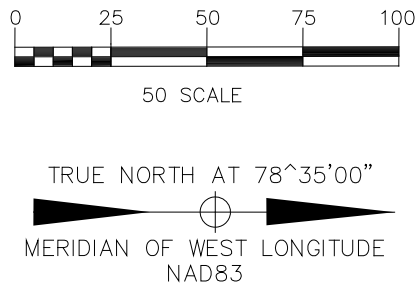
NOTES

- NO MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT THE WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION WASTE MANAGEMENT PLAN.
- NO SOILS, SUB-GRADE, STRUCTURES, SLABS OR PAVEMENTS IN CONTACT WITH ON-SITE SOILS SHALL BE REMOVED FROM THE SITE WITHOUT THE WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER AND CITY DEO PROJECT MANAGER. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- CONTROL OF DUST ORIGINATING FROM THE PROJECT SITE OR AS A RESULT OF CONTRACTOR OPERATIONS IS CONSIDERED A CRITICAL RESPONSIBILITY OF THE CONTRACTOR. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL REMOVE ALL UTILITIES TO A POINT 5-FEET OUTSIDE OF BUILDING FOUNDATION WALL. LABELLA ASSOCIATES PERSONNEL WILL BE ON-SITE DURING ALL REMOVAL OF UTILITIES TO RECORD LOCATION.
- THE COST TO REMOVE ALL M/P SUB-GRADE STRUCTURES AS SHOWN ON THIS PLAN, (INCLUDING THE ASSOCIATED INTERCONNECTING PIPING, WHETHER PIPING IS SHOWN OR NOT) SHALL BE INCLUDED IN THE PRICE BID.
- CONTRACTOR SHALL PROTECT ALL EXISTING MONITORING WELLS.



LEGEND

- EXISTING MONITORING WELL
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE ANNO
- EXISTING UTILITY POLE
- EXISTING FIBEROPTICS
- EXISTING ELECTRICAL
- EXISTING GAS
- EXISTING WATERMAN ANNO
- EXISTING WATERMAN
- EXISTING COMBINED STORM/SANITARY
- EXISTING STORM
- EXISTING SANITARY
- EXISTING STORM / SANITARY ANNO
- EXISTING STRUCTURE
- EXISTING TOP
- EXISTING INVERTS
- EXISTING BUILDING ELEV.
- EXISTING BUILDING ANNO.
- EXISTING BUILDING EDGE
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING FENCING
- EXISTING PAVEMENT MARKING
- EXISTING PAVEMENT HATCH
- REGULATED WETLAND AREA
- NON-REGULATED WETLAND AREA
- SILT PROTECTION
- EROSION CONTROL FENCING
- DEMO SLAB HATCH
- DEMO STAGING HATCH
- SNOW REMOVAL AREA HATCH



NO.	BY	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

LABELLA
Associates, P.C.

300 STATE STREET
ROCHESTER, NY 14614
P: (585) 454-6110
F: (585) 454-3066
www.labellac.com
© 2009

PHOTECH
1000 DRIVING PARK
ROCHESTER, NY 14613
CITY OF ROCHESTER
30 CHURCH STREET
ROCHESTER, NY 14614-1290

BID PACKAGE #3
BUILDING DEMOLITION

ISSUED FOR: **BID**
DESIGNED BY: **D.E.P.**
DRAWN BY: **R.C.M.**
REVIEWED BY: **D.E.P./D.P.N.**
DATE: **NOVEMBER 17, 2009**
PROJECT: **Wetland/Demolition**

PROJECT/DRAWING NUMBER
209288
D-3



- 1 SILT FENCE DETAIL
D-3 NOT TO SCALE



- 2 STONE AND BLOCK DROP INLET PROTECTION DETAIL
D-3 NOT TO SCALE



It is a violation of New York Education Law Article 145 Sec.7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way if an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation altered by followed by their signature and date of such alteration and a specific description of the alteration

300 STATE STREET
ROCHESTER, NY 14614
P: (585) 454-6110
F: (585) 454-3066
www.labelapc.com
COPYRIGHT © 2009

PROJECT/CLIENT
PHOTECH
1000 DRIVING PARK
ROCHESTER, NY 14613

CITY OF ROCHESTER
30 CHURCH STREET
ROCHESTER, NY 14614-1290

DRAWING TITLE

ISSUED FOR

BID

DATE: NOVEMBER 17, 2009

DESIGNED BY:	D.E.P.	L&M Standards & Associates, Inc. PO BOX 600 • Wadsworth, Ohio 44281-0600
DRAWN BY:	R.C.N.	
REVIEWED BY:	D.E.P./D.P.N.	

PROJECT/DRAWING NUMBER

209288

D-4

ABBREVIATIONS

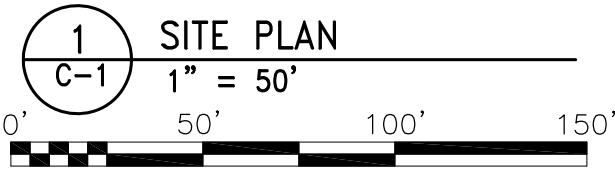
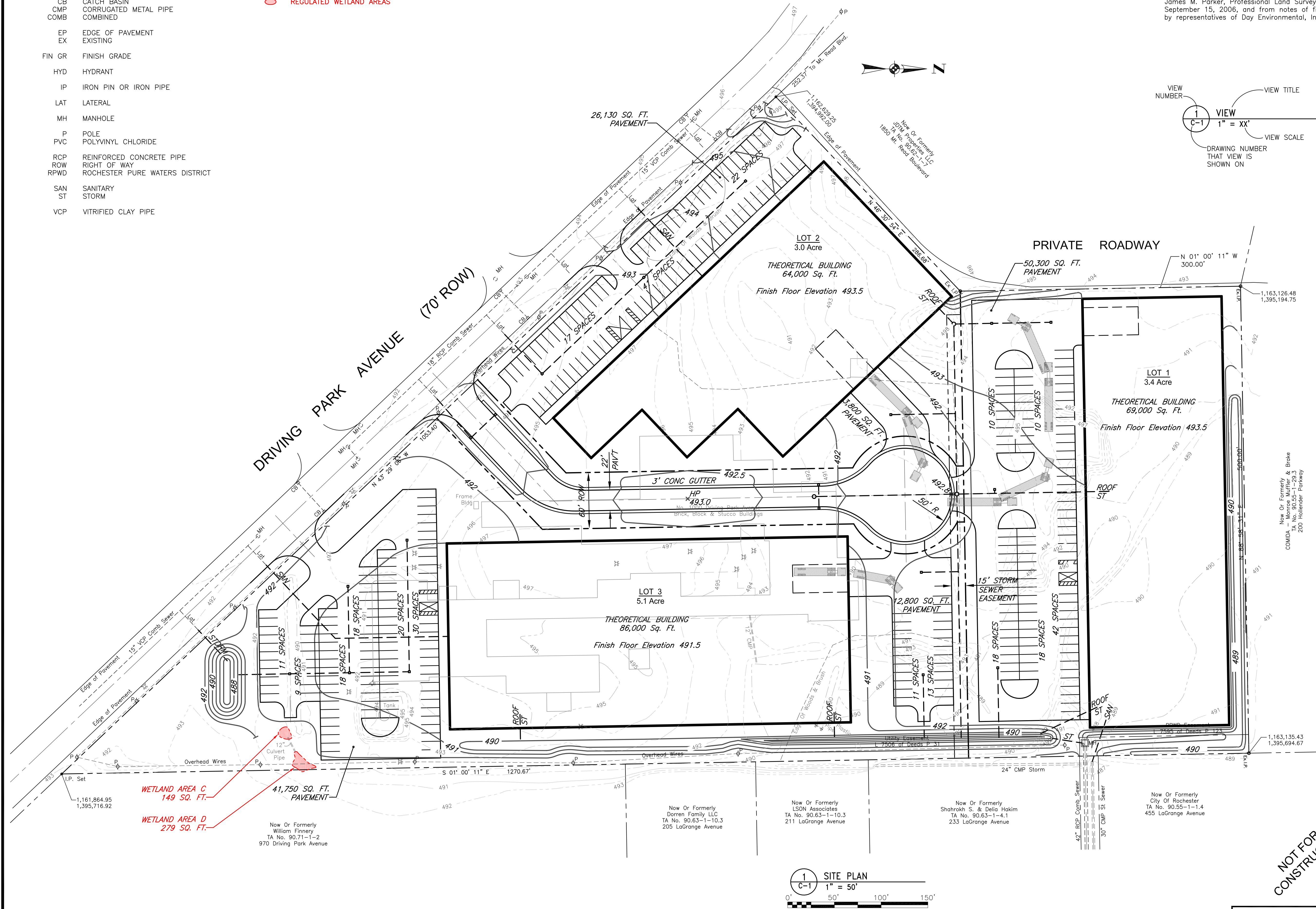
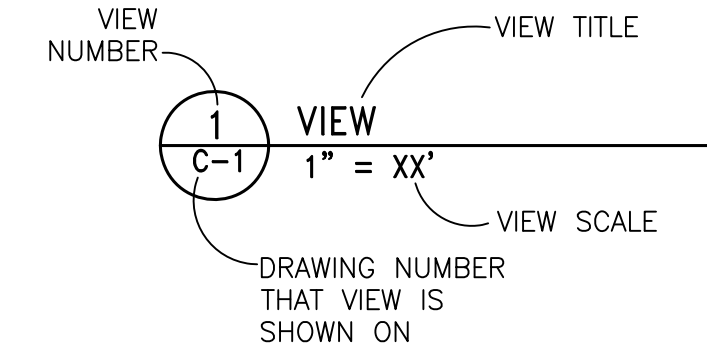
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
COMB	COMBINED
EP	EDGE OF PAVEMENT
EX	EXISTING
FIN GR	FINISH GRADE
HYD	HYDRANT
IP	IRON PIN OR IRON PIPE
LAT	LATERAL
MH	MANHOLE
P	POLE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
RPWD	ROCHESTER PURE WATERS DISTRICT
SAN	SANITARY
ST	STORM
VCP	VITRIFIED CLAY PIPE

LEGEND

REGULATED WETLAND AREAS

GENERAL NOTES:

- Drawing prepared from site survey provided by James M. Parker, Professional Land Surveyor, dated September 15, 2006, and from notes of field visits by representatives of Day Environmental, Inc.



NOT FOR
CONSTRUCTION

THEORETICAL PLAN
1-8-2009

PROJECT TITLE
FORMER PHOTOTECH PROPERTY
1000 DRIVING PARK AVENUE
ROCHESTER, NY
SITE REDEVELOPMENT

DRAWING TITLE
THEORETICAL SITE PLAN (LAYOUT 3)

FIGURE NO.

C-1

File Name: U:\MapInfo\Drawings\Phototech\Generic\Figure C-1 Jan 8-2009.dwg
Layout Name: Site Plan
Time Plotted: Friday, January 09, 2009 9:33:59 AM
Pen Setting File: Phototech-Wetlands-Color.ctb