



March 16, 2021

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Environmental Engineer II
New York State
Department of Environmental Conservation
Division of Environmental Remediation, BURB
625 Broadway
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Vincent Sapienza, P.E.
Commissioner

Re: Site Management Periodic Review Report and IC/EC Certification
Submittal for Barretto Point, B00032

Nayan Shah, P.E.
Portfolio Manager
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Dear Mr. Lee:

Bureau of Engineering
Design & Construction
36-05 Horace Harding
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Corona, New York 11368

As per the approved April 2014 Site Management Plan, New York City Department of Environmental Protection and New York City Department of Parks & Recreation are hereby submitting the second Periodic Review Report (PRR) and IC/EC Certification for Barretto Point site.

Tel. (718) 595-6129
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Both Agencies have individually prepared their own PRR with respective inspection forms for each designated Parcel. A single comprehensive Institutional and Engineering Controls Certification form is enclosed for the entire Barretto Point site. This certification is entailed with both agencies' information with DEP owner's signature.

Please contact Ms. Lincy Joseph of my staff at (718) 595-5467 if you have any questions or comments.

Sincerely,

Nayan Shah, P.E.

2019–2021 Periodic Review Report
Barretto Point Site
Bronx County, New York
NYSDEC Site Number: B00032-2
HP-238 Hunts Point WWTP New Anaerobic Digester Facilities

Prepared for
New York City Department of Environmental Protection
March 2021



1350 Broadway, Suite 2000
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Registered Professional Engineer's Certification Statement

This certification statement is applicable to those engineering/institutional controls (ECs/ICs) currently established as part of the remedy for the Barretto Point Site and monitored during this certification period.

For each EC/IC identified for the site, I certify that all of the following statements are true:

1. The inspection of the site to confirm the effectiveness of the ECs/ICs required by the remedial program was performed under my direction.
2. The EC/IC employed at this site is unchanged from the date the control was put in place (October 17, 2017) or last approved by New York State Department of Environmental Conservation (NYSDEC).
3. Nothing has occurred that would impair the ability of the control to protect the public health and environment.
4. Nothing has occurred that would constitute a violation or failure to comply with any site management plan for this control.
5. Access to the site will continue to be provided to NYSDEC to evaluate the remedy, including access to evaluate the continued maintenance of this control.
6. If a financial assurance mechanism is required under the oversight document for the site, the mechanism remains valid and sufficient for the intended purpose under the document.
7. Use of the site is compliant with the environmental easement.
8. The engineering control systems are performing as designed and are effective.
9. To the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program.
10. The information presented in this report is accurate and complete.

I certify that all information and statements in this certification form are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law. I, Jean-Pierre Hourani, of Brown and Caldwell Associates, am certifying as Owner's Designated Site Representative for the site.



Jean-Pierre Hourani, P.E.
NYS, P.E. License Number 067424-1

March 17, 2021
Date

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Figure 1. Site Location Map

Figure 2. Area Subject to Site Management Plan with Site Photographs

List of Abbreviations

µg/L	microgram per liter
BUD	Beneficial Use Determination
COC	Certificate of Completion
DEP	New York City Department of Environmental Protection
DER-10	NYSDEC Division of Environmental Remediation Technical Guidance for Site Investigation and Remediation
DoF	New York City Department of Finance
DPR	New York City Department of Parks and Recreation
EC	engineering control
EE	environmental easement
IC	institutional control
mg/L	milligram per liter
NYSDEC	New York State Department of Environmental Conservation
PAH	polycyclic aromatic hydrocarbons
ppm	parts per million
PRR	Periodic Review Report
RA	remedial action
ROD	Record of Decision
SCO	Soil Cleanup Objective
SMP	Site Management Plan
SVI	soil vapor intrusion
VOC	volatile organic compound
WRRF	Wastewater Resource Recovery Facility

Section 1

Introduction

This 2019–2021 Periodic Review Report (PRR) has been prepared by Brown and Caldwell, on behalf of the New York City Department of Environmental Protection (DEP), to document the site management, inspection, and monitoring activities undertaken during the reporting period at the Barretto Point Site, located in the Hunts Point area of Bronx County, New York (“the Site”). These activities were performed in accordance with the Site Management Plan (SMP) approved by the New York State Department of Environmental Conservation (NYSDEC) (URS Corporation, 2013).

This PRR is limited to the portion of the Site controlled by DEP and therefore excludes the Barretto Point Park. This is the first PRR completed for the Site.

1.1 Site History and Description

This section provides a description of the relevant Site features, former and current Site operations, and the remedial actions (RAs) completed at the Site.

1.1.1 Site Description

The Site is located in the Hunts Point section of Bronx County, New York (Figure 1). The Site originally included Block 2777, Lots 100, 105, 600, and 901, and Block 2779, Lot 001, on the Bronx Tax Map. New York City Department of Finance (DoF) consolidated Block 2777, Lots 100, 105, and 600, into Block 2777, Lot 100 on February 12, 2020. Additionally, DoF also consolidated Block 2779, Lot 001 into Block 2780, Lot 002. The Site is an approximately 13-acre area bounded by Viele Avenue to the north, Manida Street to the east, and the East River to the south and west (see Figure 2). For purposes of this PRR, portions of the above-noted parcels that are under the East River are considered exempt from the reporting requirements. Based on Site boundaries denoted on Figures 12 and 16 of the SMP, the portion of Block 2780, Lot 002 that is occupied by the thickeners is also considered exempt from the reporting requirements.

The Site includes an approximately 2.5-acre area referred to herein as the Primary Remediation Area. This area is bounded by Ryawa Avenue to the south and the de-mapped length of Barretto Street to the west and was the focus of an earlier RA (Section 1.1.3). The northwest portion of the Site (Block 2777, Lot 901) is now Barretto Point Park, operated by the New York City Department of Parks and Recreation (DPR). The area surrounding the Barretto Point Site is primarily commercial/industrial in nature, including waste transfer stations, warehouses, and the Hunts Point Wastewater Resource Recovery Facility (WRRF). The nearest residences are located approximately 1,500 feet north of the Site.

The Barretto Point Park portion of the Site (Block 2777, Lot 901) is the subject of a separate PRR provided by DPR and is excluded from this PRR.

1.1.2 Site History

As described in the Record of Decision (ROD; NYSDEC, 2003), by 1950 much of the Site had been developed for industrial purposes, including a sand and gravel operation in the northwestern portion of the Site (with a transformer house along Barretto Street), an asphalt plant at the southwest corner of Barretto Street and Ryawa Avenue, and coal pockets (two large rectangular structures used for the storage of coal) to the west along the East River. Industries in the northeastern portion of the Site

included a paint and varnish manufacturing facility. An aerial photograph from 1962 reportedly showed that the coal pockets had been removed from the Site. In addition, the aerial photograph showed that the southern and northwestern portions of the Site had been expanded into the East River, apparently as a result of filling operations. By 1978, only buildings associated with the asphalt plant were reportedly present at the Site, although the asphalt plant was reported as not being operational. The northwestern portion of the Site had been further expanded into the East River. The asphalt plant buildings were reportedly demolished by 1991.

1.1.3 Remedy Implementation

The 2003 ROD addressed the remediation of the approximately 2.5-acre parcel bounded by Ryawa Avenue to the south and the de-mapped length of Barretto Street to the west. The RA included the excavation and removal of contaminated soil (approximately 14,100 cubic yards) from the approximately 0.7-acre portion of this parcel that was contaminated by operations of the former paint and varnish facility. Approximately 7,700 gallons of waste were removed from underground storage tanks unearthed during the remedial excavation. The entire area of excavation was backfilled with clean fill imported from two sources: the Thalle Elmsford Recycling facility and “mole rock”¹ from the Long Island Railroad’s East Side Access Tunnel Project. Groundwater extracted during soil excavation as part of the dewatering process was treated on Site and discharged to New York City’s sanitary sewer system. Remediation of the 2.5-acre area was completed by installing a cover system consisting of 18 inches of clean fill overlain by 6 inches of crushed stone to prevent human exposure to remaining contaminated soil and fill. The cover material was placed over a demarcation layer.

The western part of the Site, now known as Barretto Point Park, was remediated by placing a minimum of 2 feet of clean soil cover over the approximately 5-acre area to limit potential exposure to residually contaminated soil. The soil cover, which was placed over a demarcation layer, consisted of 18 inches of clean general fill and 6 inches of a vegetative medium comprised of topsoil and grass over the surface of the fill. The so-called Staging Area, an approximately 1.2-acre area west of the de-mapped length of Barretto Street and north of Ryawa Avenue was also remediated by placing a demarcation layer and soil cover consisting of 18 inches of clean general fill and 6 inches of a vegetative medium comprised of topsoil and grass over the surface of the fill. Control of the Staging Area was transferred from DEP to DPR and in February 2018, annexed as part of Barretto Point Park, bringing the total area of the park to approximately 6.2 acres.

In November 2010, the NYSDEC issued an Explanation of Significant Difference for a change to the original remedy allowing the remaining approximately 4.3 acres of the Site to be covered with vegetation or the existing layer of fill, asphalt, and/or gravel, instead of 2 feet of clean soil as per the ROD. These materials were determined to meet industrial use criteria, limit direct exposures to any remaining contamination in the subsurface soils, and be suitable for the future expansion of the Hunts Point WRRF. The Final Engineering Report (URS, 2015) provides an as-built survey of the 2.5-acre parcel only. The cover requirements for the above areas are shown on Figure 2 of this PRR.

1.1.4 Remaining Contamination

Residually contaminated soil, groundwater, and soil vapor remain beneath the Site after completing the RA. As described in the SMP, the remedial excavation of the 0.7-acre area of the former paint and varnish manufacturing plant was performed based on a grid system. Each grid was excavated to a pre-determined depth. At the bottom of each grid, a demarcation barrier was placed in order to separate the placed clean fill from the underlying contaminated soil. A demarcation barrier was also placed on the

¹ Mole rock is a commercial term for the byproduct of blasting or tunneling.

sides of the excavation. Contamination outside the area of excavation is believed to consist mostly of polycyclic aromatic hydrocarbons (PAHs) and volatile organic compounds (VOCs).

In 2018, a subsurface investigation was conducted in support of a new anaerobic digester facility proposed for construction in the area of the former paint and varnish facility (Bidwell Environmental LLC, 2018). The primary objective of the investigation was to characterize soil and groundwater in the proposed excavation footprint of the new anaerobic digester facilities to support the evaluation of reuse/disposal options during construction. Eight soil borings and two monitoring wells were placed within the future excavation footprint and sampled for chemical analytical purposes.

The 2018 soil analytical results were compared to the 6 New York Codes, Rules, and Regulations Part 375-6 Soil Cleanup Objectives (SCOs) for Unrestricted Use. The results were also compared to the SCOs for Protection of Human Health-Residential Use and for Protection of Groundwater. Finally, the analytical results were also compared to the SMP's Imported Backfill Limits, which are usually, but not always, the lower of the SCOs for Residential Use and Protection of Groundwater². With the exception of acetone, no VOCs were detected in soil above the SCOs for Residential Use or Protection of Groundwater. The acetone results are questionable. The laboratory reported concentrations of acetone above the 0.05 milligrams per kilogram SCO for Protection of Groundwater in samples from a number of locations, including the clean fill that was placed in the remedial excavation of the paint and varnish facility. This result was unexpected, and the ROD did not identify acetone as a Contaminant of Concern in soil, groundwater, or soil gas. The acetone results may be due to laboratory contamination or a recent, off-site source. Some metals (cadmium, chromium, copper, iron, lead, nickel, vanadium, and zinc) were detected at one or more locations above the SCOs for Unrestricted Use, which can be driven by the relatively low SCO for Protection of Ecological Resources. The only metals detected above the SCOs for Residential Use were cadmium (2 samples), chromium (4 samples), iron (15 samples), and vanadium (1 sample). PAHs were detected at only one location above SCOs for Residential Use and/or Protection of Groundwater. At this same location, the three pesticides dichlorodiphenyldichloroethane, dichlorodiphenyldichloroethylene, and dichlorodiphenyltrichloroethane were detected above their respective Unrestricted SCOs but not above the SCOs for Residential Use or Protection of Groundwater.

The 2018 groundwater analytical results were compared to DEP limits for groundwater discharges to sanitary or combined sewers and also to NYSDEC Part 703 Class GA groundwater standards. No exceedances of DEP limits were detected. Benzene was detected at 1.1 microgram per liter ($\mu\text{g/L}$) at one well, slightly above the Part 703 standard of 1 $\mu\text{g/L}$. Chloride was detected at 1,300 milligram per liter (mg/L), above the Part 703 standard of 250 mg/L. No other groundwater parameters exceeded the applicable limits.

1.1.5 Beneficial Use Determination

On January 25, 2021, DEP petitioned NYSDEC for a case-specific Beneficial Use Determination (BUD) for upcoming construction at the Hunts Point WRRF and the Barretto Point Site. Specifically, DEP proposed to beneficially use approximately 14,500 cubic yards of certain fill material from the 2.5-acre Primary Remediation Area as backfill material following demolition of four of the existing digesters at the Hunts Point WRRF. Both properties are owned and controlled by the City of New York and all material will be controlled and maintained under City ownership throughout and following completion of the construction project. By letter dated February 8, 2021, NYSDEC issued BUD No. 1462-2-03 approving DEP's petition subject to the conditions specified in the letter (Appendix C).

1.2 Purpose of Periodic Review Report

² The Imported Backfill Limits for Cadmium (4.3 parts per million [ppm]) and Chromium (180 ppm) are higher than the corresponding SCOs for Residential Use.

The purpose of this PRR is to compile and present the information needed to document the basis for the certification of the Engineering Controls (ECs) and Institutional Controls (ICs). Since remaining contaminated soil, groundwater, and soil vapor exist beneath the Site, ECs and ICs are required to protect human health and the environment. The SMP requires that site management activities be reported and ECs/ICs be certified in a PRR prepared in accordance with guidance contained in DER-10, Technical Guidance for Site Investigation and Remediation (NYSDEC, 2010). To the extent practical, Site monitoring data (if any) and the results of the annual site inspection were evaluated as part of this periodic review to confirm the following information:

- ECs/ICs are in place, are performing properly, and remain effective
- Operation and maintenance activities (if any) are being conducted properly
- The remedy continues to be protective of public health and the environment and compliant with the ROD

1.3 Identification of Engineering and Institutional Controls

ECs/ICs are detailed in the SMP and described in the following subsections.

1.3.1 Engineering Controls

The only EC applicable to the Site at this time is the maintenance of cover material to prevent exposure to remaining contamination in soil and fill. Different cover requirements are applicable to three areas of the Site, as follows:

- A minimum of 18 inches of clean soil and 6 inches of crushed stone in the 2.5-acre portion of the Site that was the primary focus of the remediation activities (i.e., the Primary Remediation Area).
- A minimum of a 2 feet of clean soil cover in the approximately 6.2-acre Barretto Point Park portion of the Site (reporting provided separately by DPR).
- A layer of existing fill, asphalt, gravel, or vegetation in the remaining approximately 4.3 acres of the Site.

The Excavation Work Plan in Appendix A of the SMP specifies procedures required to be implemented in the event the cover system is breached, penetrated, or temporarily removed and any underlying remaining contamination is disturbed.

Although not required by the SMP, fencing restricts public access to the DEP-controlled portion of the Site. Chain-link fencing surrounds the 2.4-acre Primary Remediation Area. Additional chain-link fencing separates the Barretto Point Park from the rest of the Site. Chain-link fencing restricts access to the Site from the shoreline of the East River. A locked entrance gate is located at Viele Avenue and the de-mapped length of Barretto Street, and a previous gate at Ryawa Avenue and Manida Street has been permanently replaced by barricades and fencing. Public access to the Hunts Point WRRF (and thus the southern-most portion of the Site) is controlled by the guarded entrance on Ryawa Avenue near Drake Street.

1.3.2 Institutional Controls

As described in the ROD and the SMP, a series of ICs are required by the ROD and the Environmental Easement (EE). The ICs are intended to achieve the following goals:

- Implement, maintain, and monitor the EC systems
- Prevent future exposure to remaining contamination by controlling disturbances of the subsurface contamination

- Limit the use and development of the 6.2-acre Barretto Point Park portion of the site to recreational use/public space and the remaining 6.8-acre portion of the Site, including the 2.5-acre remediation area, to industrial uses

As stated in the SMP, the ICs consist of the following requirements:

1. Compliance with the EE and the SMP by the Grantor and the Grantor’s successors and assigns.
2. All ECs must be operated and maintained as specified in the SMP.
3. All ECs on the Controlled Property³ must be inspected at a frequency and in a manner defined in the SMP.
4. Data and information pertinent to Site Management of the Controlled Property must be reported at the frequency and in a manner defined in the SMP (see Section 1.4 below).
5. The Barretto Point Park portion of the Site may only be used for recreational use, provided that the long-term ECs and ICs included in the SMP are employed.
6. The remaining Site area may only be used for industrial use, provided that the long-term ECs and ICs included in the SMP are employed.
7. The Barretto Point Park portion of the Site may not be used for a higher level of use, such as restricted residential or residential use, without additional remediation and amendment of the EE, as approved by the NYSDEC.
8. The remaining Site area may not be used for a higher level of use, such as commercial, restricted residential, or residential use, without additional remediation and amendment of the EE, as approved by the NYSDEC.
9. All future activities on the property that will disturb remaining contaminated material must be conducted in accordance with the SMP, including Appendix A: Excavation Work Plan.
10. The use of the groundwater underlying the property is prohibited without treatment rendering it safe for intended use.
11. The potential for vapor intrusion must be evaluated for any buildings developed on the property, and any potential impacts that are identified must be monitored or mitigated.
12. Vegetable gardens and farming on the property are prohibited.
13. The Site owner or remedial party will submit to NYSDEC a written statement that certifies, under penalty of perjury, that (1) controls employed at the Controlled Property are unchanged from the previous certification or that any changes to the controls were approved by the NYSDEC and (2) nothing has occurred that impairs the ability of the controls to protect public health and environment or that constitute a violation or failure to comply with the SMP. NYSDEC retains the right to access such Controlled Property at any time in order to evaluate the continued maintenance of any and all controls. This certification shall be submitted annually, or an alternate period of time that NYSDEC may allow and will be made by an expert that the NYSDEC finds acceptable.

1.4 Certification Period

The certification period of this PRR is from February 17, 2019, to February 17, 2021. The SMP specifies that the PRR will be submitted to NYSDEC every second year, beginning 18 months after the Certificate of Completion (COC) is issued. The COC was issued October 17, 2017, and an initial PRR was transmitted in March 2019. This updated PRR is submitted in accordance with required 2-year submission cycle. The 2020 site inspection was conducted on March 11, 2020. The 2021 site

³ The SMP does not define the term Controlled Property, but for the purpose of this PRR, it is assumed to be the approximately 13-acre Barretto Point Site described above in Section 1.1.1 as the “Site.”

inspection was conducted on March 1, 2021. Future Site inspections will be conducted annually as required by the SMP.



Section 2

Inspection/Monitoring Activities

This section describes the scope and results of the inspection and/or monitoring activities conducted at the Site during the 2019–2021 reporting period and provides an evaluation of the effectiveness of the ECs/ICs and whether they remain protective and function as intended. This section also describes any conditions or problems noted during this certification period that are or may be affecting the performance of the ECs/ICs and measures taken to correct such conditions.

Field forms from the two Site inspections are contained in Appendix A. Photographs of the conditions observed during the Site inspections are contained in the Photographic Logs (in Appendix B). Figure 2 also illustrates locations and orientations of the photographs contained in the Photographic Logs.

2.1 Inspection of Cover

The inspections of the Site and the various covers were conducted on March 11, 2020 and March 1, 2021.

2.1.1 Primary Remediation Area (2.5 Acres)

During both annual inspections, the 2.5-acre Primary Remediation Area was observed to be covered with a layer of aggregate predominantly consisting of crushed stone ranging from approximately 0.5-inch to 1.5-inch in size. The surface of the cover material is generally flat but sloped toward the perimeter of the Primary Remediation Area, particularly on the west, south, and east sides. In the years since the cover material was emplaced, vegetation consisting of grasses, weeds, perennial shrubs, and trees have become established at sporadic locations. Larger trees, apparently pre-dating the remediation, remain at locations along the eastern edge of the Primary Remediation Area along Manida Street.

The aggregate appears to be stable, and no areas of erosion were observed. The soil fill underlying the aggregate was not exposed. No evidence of man-made disturbance or excavation of the cover material was observed.

2.1.2 Remaining Areas of Fill, Paving, Gravel or Vegetation (4.5 Acres)

During both annual inspections, the condition of the asphalt pavement, gravel, and/or vegetation covering this portion of the Site was found to be in generally acceptable condition. Five, approximately 3-foot wide by 3-foot long locations were disturbed in October 2019 to conduct vacuum excavation test pit inspections of buried utilities. NYSDEC was notified prior to the test pits being conducted and provided a description of planned work. Four test pits were within de-mapped asphalt roadways and one test pit was in the area west of the thickener building south of Ryawa Avenue. No test pit locations were within the footprint area of the former paint and varnish factory.

Subsequent to NYSDEC's approval to perform test pit activities, the work was conducted. Dust particulate monitoring in accordance with the approved Community Air Monitoring Plan was conducted during ground intrusion activities. No vacuum excavations exceeded 42 inches below ground surface. All test pits were backfilled with the soil removed from the hole, tamped down and made level to the ground surface. Test pit locations were patched with asphalt at the ground surface. No excess soil was generated and/or disposed of. The drilling contractor disposed of all asphalt and concrete debris.

In most areas asphalt pavement continues to deteriorate to varying degrees due to ordinary weathering processes but, remains substantially unchanged from previous inspections. This deterioration was particularly evident in areas such as the southern portion of the de-mapped length of Barretto Street (Photograph #5, 2021 site inspection) and the portion of Ryawa Avenue inside the entrance gate (Photograph #4, 2021). Some areas of subsidence continue to be noted, including the intersection of the de-mapped length of Barretto Street and Ryawa Avenue (Photograph #7, 2021 site inspection). The subsidence may be associated with subsurface utilities in these areas.

Cracks and separations observed in the pavement do not appear to be compromising the function of the pavement in preventing direct exposure to underlying soil, as no such soil was observed to be exposed. The deteriorated pavement will continue to be inspected on an annual basis and corrective action taken, as necessary to maintain the intended function.

Established vegetation consisting of grass, weeds, brush, and/or small diameter trees is present in several areas, including north of the de-mapped portion of Ryawa Avenue (Photographs #1, 2, and 3, 2021 site inspection). No eroded areas were observed in the vegetated areas. No excavation or man-made disturbance of the soil was observed other than the above-noted five test pit locations.

2.2 Soil Excavation Plan Implementation

The SMP restricts future excavation of Site soils other than the clean backfill that was placed in the remedial excavation of the 0.7-acre area of the former paint and varnish facility. Appendix A of the SMP provides the Excavation Work Plan used to prevent or control the future excavation of soils on the Site.

No soil was excavated during the 2019–2021 review period. Test pits advanced during the October 2019 subsurface investigations were not in the area of the former paint and varnish facility and were conducted in accordance with the Excavation Work Plan requirements, including Community Air Monitoring Plan.

2.3 Evaluation of Soil Vapor Intrusion

The SMP requires evaluating the potential for soil vapor intrusion (SVI) for any buildings developed on the property, and any potential impacts that are identified must be monitored or mitigated. Three construction trailers are located on Block 2780, Lot 002 immediately west of the thickeners (Figure 2). The trailers are supported above the ground surface. The underlying space of one trailer used by DEP is surrounded by skirting. Vents are present in the skirting to permit exchange of air (Photograph #6 taken in 2021). The 1999 soil vapor data in the SMP indicate the test results for all parameters were non-detect at the three sample locations nearest the trailers (SG-09, SG-19, and SG-29). Given the presence of an intervening, ventilated space between the ground surface and the trailers, and the historical soil vapor data indicating little or no VOC impacts in this general area, the SVI potential in the construction trailers is considered insignificant.

2.4 Groundwater Use

The use of groundwater underlying the property is prohibited without treatment rendering it safe for intended use. No groundwater production wells were observed during the Site inspection. Drinking water for the Barretto Point Park is provided by DEP. No excavations that required dewatering were conducted during the 2019–2021 reporting period.

2.5 Vegetable Gardens and Farming

Vegetable gardening and farming are prohibited due to the potential for fruits and vegetables to take up residual contamination. No vegetable gardens or farming were observed on the Site.

Section 3

Conclusions and Recommendations

This section presents the conclusions and recommendations of the monitoring and inspection activities conducted during the 2019–2021 reporting period for the DEP-controlled portion of the Site. These activities consisted of two Site use inspections including the cover materials, potential SVI in buildings, use of groundwater and agriculture/farming activity.

3.1 Site Activities

Soil cover. The 2.5-acre Primary Remediation Area remains covered with a layer of aggregate over clean fill. The aggregate appears to be stable and no areas of erosion were observed. Five vacuum excavation test pits conducted in 2019 were backfilled and covered with asphalt and no erosion of backfill soil was observed. The soil fill underlying the aggregate was not observed to be exposed. The condition of the asphalt pavement, gravel and/or vegetation covering the remainder the Site was inspected and found to be in generally acceptable condition. In most areas the asphalt pavement continues to deteriorate to varying degrees due to ordinary weathering processes. Subsidence, possibly related to subsurface utilities, was observed in some areas. The cracks and separations observed in the pavement do not appear to be compromising the function of the pavement in preventing direct exposure to underlying soil, as no such soil was observed to be exposed. These features will be inspected annually and corrective action taken, as necessary to maintain the intended function. No eroded areas were observed in the vegetated areas. No excavation or man-made disturbance of soil was observed anywhere on the DEP-controlled portion of the Site.

Evaluation of SVI. No buildings have been constructed on the DEP-controlled portion of the Site that would require an evaluation of potential SVI. The SVI potential in the aforementioned construction trailers is considered insignificant given the presence of an intervening, ventilated space between the ground surface and the trailers and historical soil vapor data indicating little or no VOC impacts in this general area.

Prohibition of groundwater use. No groundwater production wells were observed and no excavations that required dewatering were conducting during the 2019–2021 reporting period.

Vegetable gardening and farming. No vegetable gardens or farming were observed on the Site.

Fencing. Although not required by the SMP, fencing restricts public access to the DEP-controlled portion of the Site. Chain-link fencing surrounds the 2.4-acre Primary Remediation Area. Additional chain-link fencing separates Barretto Point Park from the rest of the Site and prevents access from the shoreline of the East River. Locked entrance gates are located at Viele Avenue and the de-mapped length of Barretto Street. A previous gate at Ryawa Avenue and Manida Street has been permanently replaced by barricades and fencing. Public access to the Hunts Point WRRF (and thus the southern-most portion of the Site) is controlled by the guarded entrance on Ryawa Avenue near Drake Street.

3.2 Corrective Measures

No corrective measures are recommended at this time. Continued, regular monitoring of cover materials, including deteriorating pavement, should be performed to ensure that underlying soils remain unavailable to direct contact.

Section 4

References

Bidwell Environmental LLC, 2018. "Subsurface Investigation Report In support of Contract HP-238," October 2018.

NYSDEC, 2003. "Environmental Restoration Record of Decision, Barretto Point Site, New York (C) Bronx County, New York, Site Number B-00032-2," December 2003.

NYSDEC, 2010. "DER-10/Technical Guidance for Site Investigation and Remediation," May 2010.

URS Corporation, 2013. "Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2", July 2013.

URS Corporation, 2015. "Barretto Point, Bronx, New York, Final Engineering Report, NYSDEC Site Number: B00032-2," November 2015

Section 5

Limitations

This document was prepared solely for New York City Department of Environmental Protection (DEP) in accordance with professional standards at the time the services were performed and in accordance with the contract between DEP and Brown and Caldwell Associates dated December 1, 2015. This document is governed by the specific scope of work authorized by DEP; it is not intended to be relied upon by any other party except for regulatory authorities contemplated by the scope of work. We have relied on information or instructions provided by DEP and other parties and unless otherwise expressly indicated, have made no independent investigation as to the validity, completeness, or accuracy of such information.

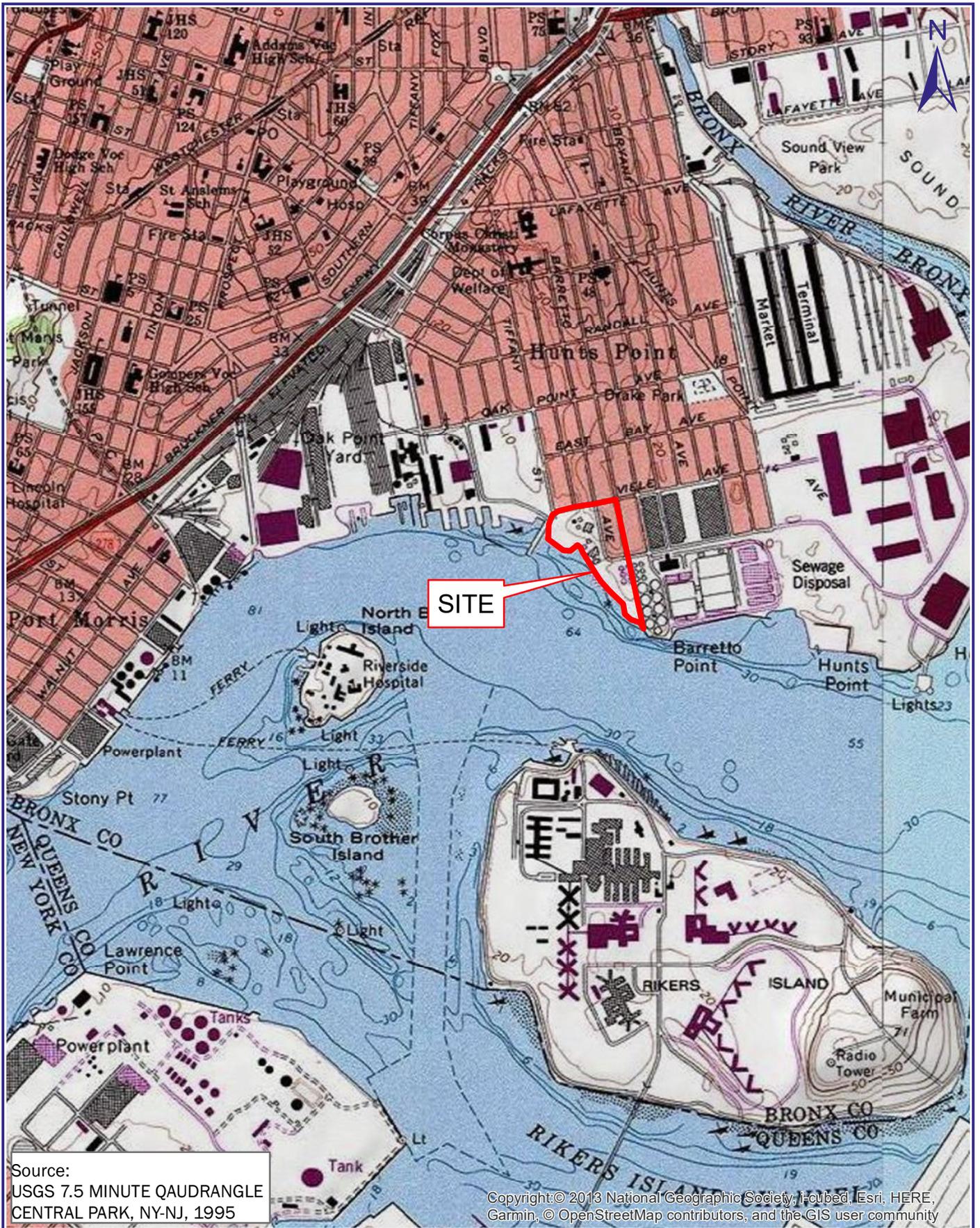
Figures

Figure 1. Site Location Map

Figure 2. Area Subject to Site Management Plan with Site Photographs



Figure -1



Source:
 USGS 7.5 MINUTE QAUDRANGLE
 CENTRAL PARK, NY-NJ, 1995

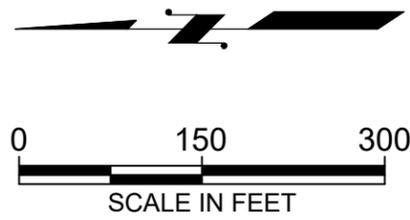
Copyright: © 2013 National Geographic Society, i-cubed, Esri, HERE, Garmin, © OpenStreetMap contributors, and the GIS user community



FIGURE 1
SITE LOCATION MAP
BARRETTO POINT SITE, BRONX COUNTY, NEW YORK



Path: C:\bcpw\0921771 File Name: BarrettoPointPeriodicReview Plot Date: March 16, 2021 11:53 AM Cadd User: Apury Charde



LEGEND:

- APPROXIMATE SITE BOUNDARY FROM FIGURE 12 OF SMP
- APPROXIMATE SHORE LINE FROM FIGURE 12 OF SMP
- PROPERTY LOT BOUNDARY

COVER REQUIREMENTS:

-  REMEDIATED AREA (6" CRUSHED STONE OVER 18" CLEAN SOIL)
-  BARRETTO POINT PARK (2 FT CLEAN SOIL)
-  REMAINING SITE AREA (EXISTING FILL, ASPHALT, GRAVEL OR VEGETATION)

NOTES:

1. EXCLUDES LAND UNDER EAST RIVER.



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SCALE: 1" = 150'

DATE: March 16, 2021

AREA SUBJECT TO SITE MANAGEMENT PLAN
BARRETTO POINT SITE PERIODIC REVIEW REPORT

Appendix A: Site Inspection Forms



INSPECTION FORM

Barretto Point Site
Bronx County, NY

BACKGROUND: Periodic inspections are conducted at the Barretto Point Site in accordance with the Site Management Plan (Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2; URS Corporation; July 2013). Periodic inspections are conducted on a yearly basis with additional ones occurring as seen necessary based on emergency events such as spills or construction projects.

INSTRUCTIONS:

- Check-in with NYCDEP facility personnel upon arrival, and check-out with NYCDEP facility personnel prior to leaving the Site.
- Complete all blanks (print legibly). Indicate N/A if not applicable.
- Note locations of pertinent observations on a Site Plan. Append the site plan to this inspection form (if needed).
- Scan the completed Inspection Form and Site Plan mark-up using a high resolution scan setting and save to project folder.
- If the answer to any question below is 'Yes', inform the project manager immediately.

A. General Information:

Inspector: JEAN-PIERRE HOURANI Date: MARCH 1, 2021 Last Inspection Date: MARCH 11, 2020

Title: DIRECTOR Affiliation (employer): BROWN AND CALDWELL

Street Address: 1350 BROADWAY, SUITE 2000 City: NEW YORK State: NY

Zip Code: 10018 Telephone: 646-367-0583 Email: JHOURANI@BRWNCALD.COM

Weather Conditions: 4-Degree F, cloudy and overcast with wind to the northeast

B. Activities and Uses

1. Is there any observable evidence that the usage of the Site is not consistent with the industrial use limitation?

Yes _____ No X If Yes, explain below.

Public access to the site continues to be restricted by fencing and locked gates.

2. Is there any evidence of Site groundwater usage, such as the presence of a supply well completion, additional protective casings aside from groundwater monitoring wells, etc.?

Yes _____ No X If Yes, explain below.

INSPECTION FORM

**Barretto Point Site
Bronx County, NY**

3. Is there any evidence of vegetable gardening or farming?

Yes _____ No **X**_____ If Yes, explain below.

No vegetable gardening or farming is on site. Only vegetation observed are small diameter sapling trees, brush grass.

4. Is there any evidence of buildings that would require evaluation for potential soil vapor intrusion?

Yes _____ No **X**_____ If Yes, explain below. _

No permanent buildings are on the site. Site does have three temporary construction trailers supported above ground. Largest trailer underlying space is enclosed and skirted with vents to facilitate air exchange. Two smaller construction trailers have no skirting allowing air to vent freely below trailer.

INSPECTION FORM

Barretto Point Site
Bronx County, NY

C. Remedial Components and Surface Covers

The western part of the site is referred to as the Barretto Point Park area and is contaminated with SVOCs and low-level VOCs. This portion of the site was remediated by covering it with a 2-foot clean soil cover and turned into a park. The inspection and certification of the Barretto Point Park parcels is conducted by NYCDPR

The eastern part of the site is a smaller 2.5-acre area which had higher concentrations of VOCs and will eventually be used for expansion of the Hunts Point WPCP. This portion of the site was remediated by installation of a soil cover system consisting of 18" of clean fill overlain by 6" of crushed stone to prevent human exposure to remaining contaminated soil/fill remaining at the site.

The remainder of the site (approximately 4.3 acres) is to remain covered by a layer of existing fill, asphalt, gravel or vegetation.

1. Existing Fill, Asphalt, Gravel or Vegetation on 4.3 Acres.

(a) Is there evidence that asphalt pavement is deteriorating significantly?

Yes No If Yes, explain below.

Site includes de-mapped unused roads at the extensions of Ryawa Avenue and Barretto Street where there is asphalt roadways with visible deterioration. Deteriorating roadways are nearly never used and appear to be in similar condition as last year's inspection.

(b) Is there evidence of erosion of gravel or cover soil?

Yes No If Yes, explain below.

No evidence of active erosion was observed. Soil and gravel areas appear stable and portions of areas have small diameter sapling trees and brush grass. No significant change from prior year's inspection.

(c) Is there any readily observable evidence of soil excavation or disturbance?

Yes No If Yes, interview facility personnel and explain below.

No evidence of any excavation or disturbance observed. Paved and gravel areas appear unchanged. No significant change from prior year's inspection.

INSPECTION FORM

**Barretto Point Site
Bronx County, NY**

If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.

Not Applicable.

(d) Photo document the conditions of the surface cover (3 minimum).

(e) Are repairs recommended? Yes _____ No X _____ If yes, describe type, location, and size of repair area.

2. Crushed Stone over Clean Fill Cover on 2.5 Acres

(a) Is there evidence of erosion of the crushed stone or underlying fill?

Yes _____ No X _____ If Yes, explain below.

(b) Is there any readily observable evidence of soil excavation or disturbance?

Yes _____ No X _____ If Yes, interview facility personnel and explain below.

If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.



Photograph #1 – General View of Smaller 2.5-Acre Area of Site Looking South



Photograph #2 – General View of Smaller-2.5 Acre Area of Site – Looking North



Photograph #3 – View of Smaller 2.5-Acre Area of Site Looking West



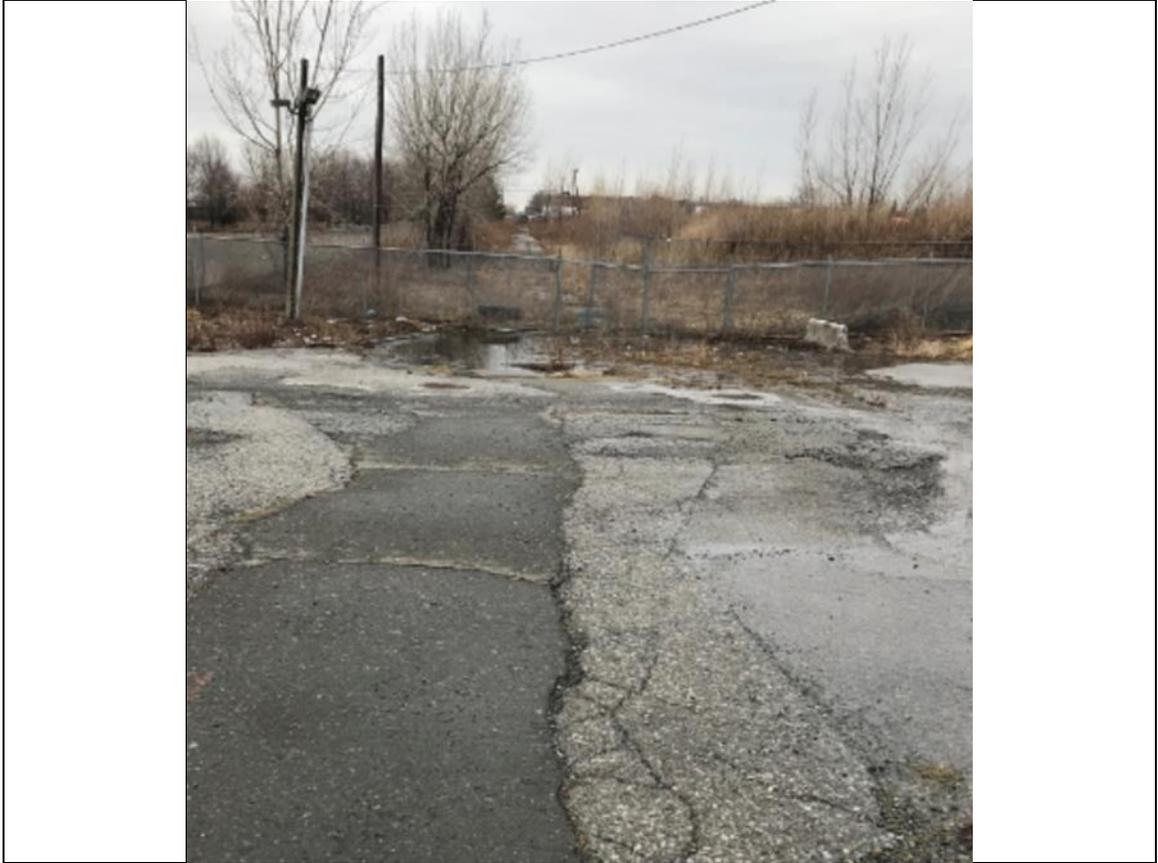
Photograph #4 – View of Asphalt on demapped length of Ryawa Ave. Looking West



Photograph #5 – View of Asphalt Roadway (Barretto Street Extension)



Photograph #6 – View of DEP Construction Trailer



Photograph #7 -View Looking North from Trailer Area Parking to Barretto St.

INSPECTION FORM

Barretto Point Site
Bronx County, NY

BACKGROUND: Periodic inspections are conducted at the Barretto Point Site in accordance with the Site Management Plan (Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2; URS Corporation; July 2013). Periodic inspections are conducted on a yearly basis with additional ones occurring as seen necessary based on emergency events such as spills or construction projects.

INSTRUCTIONS:

- Check-in with NYCDEP facility personnel upon arrival, and check-out with NYCDEP facility personnel prior to leaving the Site.
- Complete all blanks (print legibly). Indicate N/A if not applicable.
- Note locations of pertinent observations on a Site Plan. Append the site plan to this inspection form (if needed).
- Scan the completed Inspection Form and Site Plan mark-up using a high resolution scan setting and save to project folder.
- If the answer to any question below is 'Yes', inform the project manager immediately.

A. General Information:

Inspector: JEAN-PIERRE HOURANI Date: MARCH 11, 2020 Last Inspection Date: MARCH 6, 2019

Title: SENIOR PROJECT MANAGER Affiliation (employer): BROWN AND CALDWELL

Street Address: 1350 BROADWAY, SUITE 2000 City: NEW YORK State: NY

Zip Code: 10018 Telephone: 646-367-0583 Email: JHOURANI@BRWNCALD.COM

Weather Conditions: 45-Degree F, light rain, cloudy and overcast with wind to the northeast

B. Activities and Uses

1. Is there any observable evidence that the usage of the Site is not consistent with the industrial use limitation?

Yes _____ No X If Yes, explain below.

Public access to the site is restricted by fencing and locked gates.

2. Is there any evidence of Site groundwater usage, such as the presence of a supply well completion, additional protective casings aside from groundwater monitoring wells, etc.?

Yes _____ No X If Yes, explain below.

INSPECTION FORM

**Barretto Point Site
Bronx County, NY**

3. Is there any evidence of vegetable gardening or farming?

Yes _____ No **X**_____ If Yes, explain below.

No vegetable gardening or farming is on site. Only vegetation observed are small diameter sapling trees, brush grass.

4. Is there any evidence of buildings that would require evaluation for potential soil vapor intrusion?

Yes _____ No **X**_____ If Yes, explain below. _

No permanent buildings are on the site. Site does have three temporary construction trailers supported above ground. Largest trailer underlying space is enclosed and skirted with vents to facilitate air exchange. Two smaller construction trailers have no skirting allowing air to vent freely below trailer.

INSPECTION FORM

Barretto Point Site
Bronx County, NY

C. Remedial Components and Surface Covers

The western part of the site is referred to as the Barretto Point Park area and is contaminated with SVOCs and low-level VOCs. This portion of the site was remediated by covering it with a 2-foot clean soil cover and turned into a park. The inspection and certification of the Barretto Point Park parcels is conducted by NYCDPR

The eastern part of the site is a smaller 2.5-acre area which had higher concentrations of VOCs and will eventually be used for expansion of the Hunts Point WPCP. This portion of the site was remediated by installation of a soil cover system consisting of 18" of clean fill overlain by 6" of crushed stone to prevent human exposure to remaining contaminated soil/fill remaining at the site.

The remainder of the site (approximately 4.3 acres) is to remain covered by a layer of existing fill, asphalt, gravel or vegetation.

1. Existing Fill, Asphalt, Gravel or Vegetation on 4.3 Acres.

(a) Is there evidence that asphalt pavement is deteriorating significantly?

Yes No If Yes, explain below.

Site includes de-mapped unused roads at the extensions of Ryawa Avenue and Barretto Street where there are asphalt roadways with deterioration. Deteriorating roadways are nearly never used and appear to be in similar condition as last year's inspection.

(b) Is there evidence of erosion of gravel or cover soil?

Yes No If Yes, explain below.

No evidence of active erosion was observed. Soil and gravel areas appear stable and portions of areas have small diameter sapling trees and brush grass. No significant change from prior year's inspection.

(c) Is there any readily observable evidence of soil excavation or disturbance?

Yes No If Yes, interview facility personnel and explain below.

Roadway locations on extensions of Ryawa Avenue and Barretto Street in the past year experienced five, 4-foot long by 3-foot wide by 3.5-foot deep vacuum excavation locations to confirm locations of buried utilities. All vacuum excavation locations were covered with asphalt patches.

INSPECTION FORM

**Barretto Point Site
Bronx County, NY**

If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.

Vacuum excavation report is available and indicates that material excavated was largely asphalt and roadway subbase material. Roadway subbase and broken asphalt removed during vacuum excavation were returned to the test pit as backfill and excess roadway material was disposed as construction debris.

(d) Photo document the conditions of the surface cover (3 minimum).

(e) Are repairs recommended? Yes _____ No **X**_____ If yes, describe type, location, and size of repair area.

Deteriorated paving does not appear to be causing underlying soils to be exposed. All vacuum excavation areas have been covered with asphalt patches and are stable.

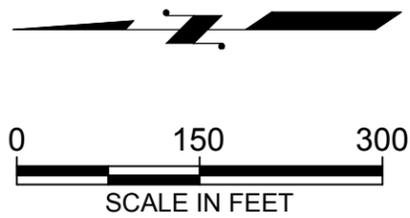
2. Crushed Stone over Clean Fill Cover on 2.5 Acres

(a) Is there evidence of erosion of the crushed stone or underlying fill?

Yes _____ No **X**_____ If Yes, explain below.

(b) Is there any readily observable evidence of soil excavation or disturbance?

Yes _____ No **X**_____ If Yes, interview facility personnel and explain below.



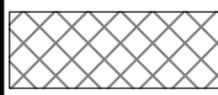
LEGEND:

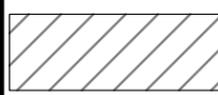
--- APPROXIMATE STE BOUNDARY FROM FIGURE 12 OF SMP

- - - APPROXIMATE SHORE LINE FROM FIGURE 12 OF SMP

COVER REQUIREMENTS:

 REMEDIATED AREA (6" CRUSHED STONE OVER 18" CLEAN SOIL)

 BARRETTO POINT PARK (2 FT CLEAN SOIL)

 REMAINING SITE AREA (EXISTING FILL, ASPHALT, GRAVEL OR VEGETATION)

NOTES:

- 1. EXCLUDES LAND UNDER EAST RIVER.



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SCALE: 1" = 150'

DATE: February 22, 2019

AREA SUBJECT TO SITE MANAGEMENT PLAN
BARRETTO POINT SITE PERIODIC REVIEW REPORT

FIGURE

1

INSPECTION FORM

Barretto Point Site

Bronx County, NY

Photo Log



Photo 1 - General View of Smaller 2.5-Acre Area of Site



Photo 2 - General View of Smaller-2.5 Acre Area of Site

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log



Photo 3 – View of Smaller 2.5-Acre Area of Site



Photo 4 – View of Asphalt Patch Where Vacuum Excavation Occurred

INSPECTION FORM

Barretto Point Site

Bronx County, NY

Photo Log



Photo 5 – View of Asphalt Roadway (Barretto Street Extension)



Photo 6 – View of Construction Trailers

INSPECTION FORM

Barretto Point Site

Bronx County, NY

Photo Log

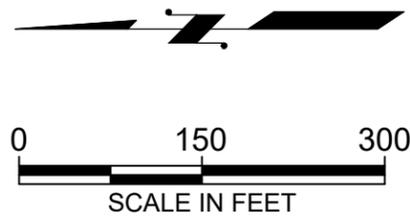


Photo 7 - View of Mulch Stockpile

Appendix B: Photographic Log



Path: C:\bcpw\0921771 File Name: BarrettoPointPeriodicReview Plot Date: March 16, 2021 11:53 AM Cadd User: Apury Charde



LEGEND:

- APPROXIMATE SITE BOUNDARY FROM FIGURE 12 OF SMP
- APPROXIMATE SHORE LINE FROM FIGURE 12 OF SMP
- PROPERTY LOT BOUNDARY

COVER REQUIREMENTS:

-  REMEDIATED AREA (6" CRUSHED STONE OVER 18" CLEAN SOIL)
-  BARRETTO POINT PARK (2 FT CLEAN SOIL)
-  REMAINING SITE AREA (EXISTING FILL, ASPHALT, GRAVEL OR VEGETATION)

NOTES:

1. EXCLUDES LAND UNDER EAST RIVER.



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SCALE: 1" = 150'

DATE: March 16, 2021

AREA SUBJECT TO SITE MANAGEMENT PLAN
BARRETTO POINT SITE PERIODIC REVIEW REPORT



Photograph #1 – View of Barretto Street, facing south. Fenced, 2.5-acre Primary Remediation Area



Photograph #2 – General View of Smaller-2.5 Acre Area of Site – Looking North



Photograph #3 - View of Smaller 2.5-Acre Area of Site Looking West



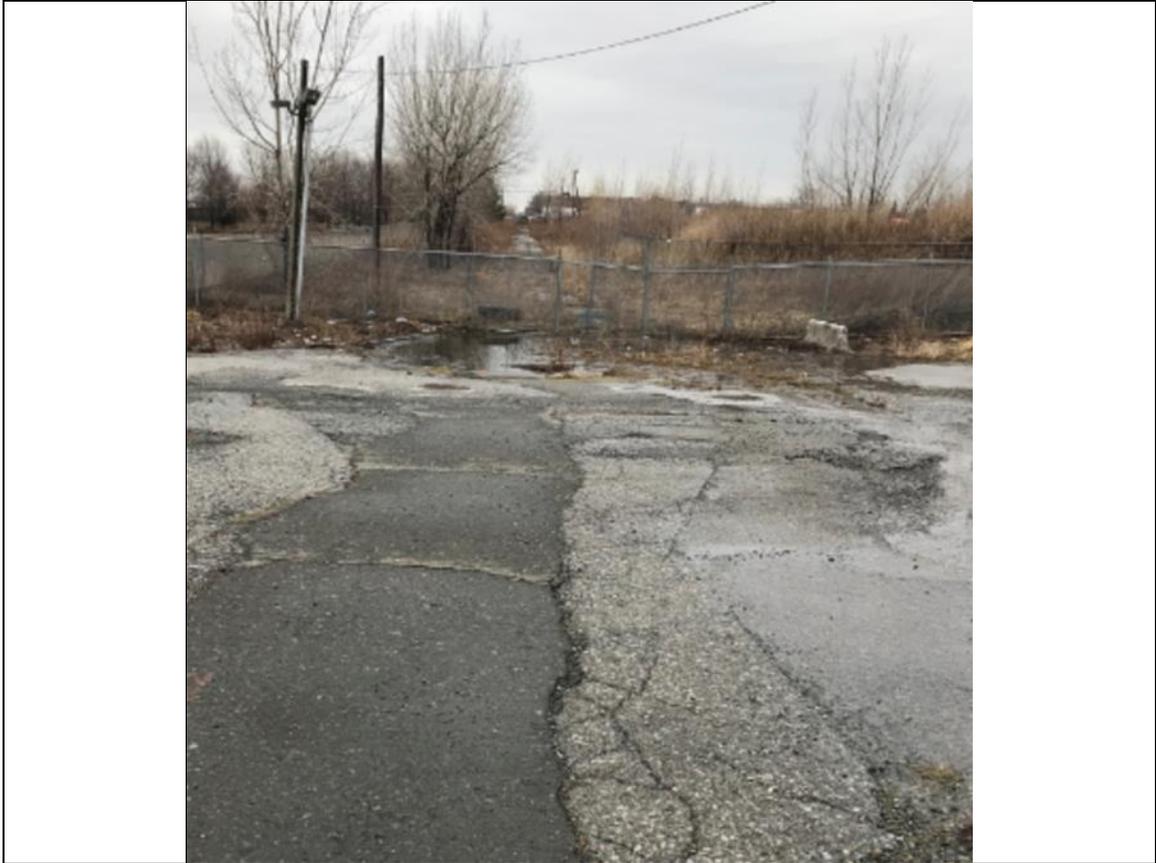
Photograph #4 - View of Asphalt on demapped length of Ryawa Ave. Looking West



Photograph #5 – View of Asphalt Roadway (Barretto Street Extension)



Photograph #6 – View of DEP Construction Trailer



Photograph #7 -View Looking North from Trailer Area Parking to Barretto St.

INSPECTION FORM

Barretto Point Site

Bronx County, NY

Photo Log



Photo 1 - General View of Smaller 2.5-Acre Area of Site



Photo 2 - General View of Smaller-2.5 Acre Area of Site

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log



Photo 3 – View of Smaller 2.5-Acre Area of Site



Photo 4 – View of Asphalt Patch Where Vacuum Excavation Occurred

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log



Photo 5 – View of Asphalt Roadway (Barretto Street Extension)



Photo 6 – View of Construction Trailers

INSPECTION FORM

Barretto Point Site

Bronx County, NY

Photo Log



Photo 7 - View of Mulch Stockpile

Appendix C: BUD No. 1462-2-03



NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Materials Management, Region 2
47-40 21st Street, Long Island City, NY 11101
P: (718) 482-4996 | F: (718) 482-6391
www.dec.ny.gov

ELECTRONIC MAIL ONLY

March 4, 2021

Ana Barrio
Deputy Commissioner
Bureau of Engineering Design & Construction
New York City Department of Environmental Protection
96-05 Horace Harding
Expressway
Corona, NY 11368

Re: BUD No. 1462-2-03
New Anaerobic Digester Facilities
Hunts Point Wastewater Resource Recovery Facility (WRRF)

Dear Ms. Barrio:

The New York State Department of Environmental Conservation (Department) has reviewed the New York City Department of Environmental Protection (DEP) January 25, 2021 request for a case-specific Beneficial Use Determination for the upcoming construction (Contract HP-238) at the Hunts Point Wastewater Resource Recovery Facility (WRRF) and the Barretto Point Site. Specifically, DEP proposes to beneficially use approximately 14,500 cubic yards of demarcated clean fill from Barretto Point fill material as backfill material following demolition of four of the existing digesters at the Hunts Point WRRF. Both properties are owned and controlled by the City of New York and all material will be controlled and maintained under New York City ownership throughout and following completion of the construction project.

Based on the January 25, 2021 submission and sample results, BUD No. 1462-2-03 hereby approved subject to the following conditions:

1. Approximately 14,500 cubic yards are approved under this BUD.
2. Only clean fill used as backfill above the seasonal high water table in the existing digester demolition area at the Hunts Point WRRF is approved under this BUD. All fill material must meet the chemical requirements of Restricted Use Fill in 6 NYCRR Part 360, Section 360.13(f), Table 2: Fill Material Beneficial Use except for the very slight Chromium exceedances in the fill material represented by samples MR-1, MR-3, MR-5, and MR-10.
3. The fill material is allowed up to 40 percent by volume inert, non-putrescible non-soil constituents where inert, non-putrescible materials exclude plastic, gypsum wallboard, wood, paper, and other material that may readily degrade or produce odors, whether recognizable or not. However, no hazardous waste, MSW, ash, slag, or pieces of metal (e.g., pipes, etc.) may not be present in any amount.
4. Fill material represented by sample MR9 may not be reused.
5. Within (timeframe) of placement in its final location of use, the fill material shall be covered with 1 foot, after compaction, of clean soil and ballast. The clean soil cover shall be General Fill as per Part 360.13(f) and the ballast shall be gravel, rock, or stone, consisting of virgin material from a permitted mine or quarry as per NYSDEC



Department of
Environmental
Conservation

DER-10, 5.4(e)5.i. Prior to placement of the 1 foot of clean soil, a demarcation layer will be installed to identify the top of the reused imported clean fill.

6. Excavated material is required to be placed in its final destination within four years of excavation and may be stockpiled at the generating site during this period of time as long as the stormwater controls, including but not limited to hay bales, silt fencing, and covers, are continuously in place to prevent, to the maximum extent practicable, run-off from the stockpile(s) of fill material or any nuisance conditions.
7. Any excavated materials which cannot be used pursuant to this BUD are subject to all applicable 6 NYCRR Part 360 series regulations for transport, storage, processing and disposal.
8. The New York City Department of Environmental Protection must submit an annual report, by March 1st, summarizing the quantity of fill material used pursuant to this BUD during the previous calendar year. The annual reports, and other correspondence related to this BUD, should be sent to:

Kenneth B. Brezner, P.E.
Regional Materials Management
Engineer
NYSDEC Region 2
47-40 21st Street
Long Island City, NY 11101-5407

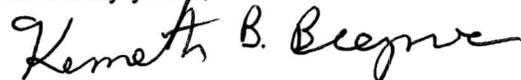
Kathleen Prather, P.E.
Bureau of Solid Waste Management
Division of Materials Management
NYSDEC
625 Broadway, 9th Floor
Albany, NY 12233-7260

Submission may be made electronically upon arrangement with the above addressees.

9. The Department reserves the right to modify, suspend, or revoke this BUD at any time, upon notice and opportunity to be heard, if it finds pursuant to 6 NYCRR Part 360.12(d)(5) any of the following: that one or more factors serving as the basis for this BUD is incorrect or no longer valid; or the Department finds there has been a violation of the conditions of this BUD; or if necessary to prevent adverse impacts to the public health or the environment or to control nuisances.
10. This determination does not relieve the New York City Department of Environmental Protection or its contractors from responsibility to comply with applicable local, state or federal requirements.
11. This BUD will expire on February 28, 2026. A renewal may be granted upon written request and justification.

Please contact me if you have any questions regarding this determination.

Sincerely yours,



Kenneth B. Brezner, P.E.
Regional Materials Management Engineer

ec: K. Prather, NYSDEC

J. O'Connell, NYSDEC
R. Lee, NYSDEC
Nayan Shah, Portfolio Manager, NYCDEP [Nayans@dep.nyc.gov]

1462-2-03_NYCDEP_Hunt's_Point_New_Anaerobic_Digester_BUD.2021-03-05.Letter

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *Sunny 124°*
Date: *1/8/20* Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables Area Place</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 72/40</i>			
Date: <i>1/9/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
		Depression/settlement		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Visible white dem. fabric		<i>N</i>	
		Recent repairs		<i>N</i>	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>		
		Sediment accumulation		<i>N</i>	
		Trash/debris accumulation		<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
---	-----------------

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *Cloudy 53°*

Date: *2/4/20* Recent Significant Weather Events? Y N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	X		<i>Where Pome falls Are flat</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Inlet 11 Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
			If yes, adequately repaired?			<i>N/A</i>
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
			If yes, sealed air tight?			<i>N/A</i>

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Cloudy 53°</i>			
Date: <i>2/4/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y		
		Erosion		N	
		Mulch coverage	Y		
		Settlement or subsistence		N	
		Visible white demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	SHORELINE	Erosion		N	
		Exposed underlying soil		N	
		Debris washed ashore		N	
		Visible orange demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N
Depression/settlement				N	
Exposed underlying soil				N	
Visible white dem. fabric				N	
Recent repairs				N	
If yes, adequately repaired?					
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y		
		Sediment accumulation		N	
		Trash/debris accumulation		N	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y		
		Floor joints/penetrations sealed	Y	N	
		New floor openings/penetrations			
		If yes, sealed air tight?			

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 68°</i>				
Date: <i>3/19/20</i>		Recent Significant Weather Events? <i>Y/N</i>				
		Status		Corrective Action Required	Correction Date	
		Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>			
		Settlement or subsistence		<i>N</i>		
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>		
		Depression/settlement		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Visible white dem. fabric		<i>N</i>		
		Recent repairs		<i>N</i>		
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>			
		Sediment accumulation		<i>N</i>		
		Trash/debris accumulation		<i>N</i>		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>			
		Floor joints/penetrations sealed	<i>Y</i>			
		New floor openings/penetrations		<i>N</i>		
		If yes, sealed air tight?				

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *SUNNY 68°*

Date: *3/9/20*

Recent Significant Weather Events? *Y/N*

		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y		
		Erosion		N	
		Mulch coverage	Y		Where Picnic Tables Are Located
		Settlement or subsistence			N/A
		Visible white demarcation fabric		N	
		Recent excavation/disturbance	Y		INSTALL CHAIN LINK FENCE
		If yes, adequately repaired?			
	SHORELINE	Erosion		N	
		Exposed underlying soil		N	
		Debris washed ashore		N	
		Visible orange demarcation fabric		N	
		Recent excavation/disturbance		N	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N/A	
		Depression/settlement		N/A	
		Exposed underlying soil		N/A	
		Visible white dem. fabric		N/A	
		Recent repairs		N/A	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions		N/A	
		Sediment accumulation		N/A	
		Trash/debris accumulation		N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed		N/A	
		Floor joints/penetrations sealed		N/A	
		New floor openings/penetrations		N/A	
		If yes, sealed air tight?			

Inspector signature: *Felix Rodriguez*

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *Cloudy 56°*
Date: *4/9/20* Recent Significant Weather Events? Y/N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>where Picnic Tables Are Places</i>	
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A
Depression/settlement					N/A	
Exposed underlying soil					N/A	
Visible white dem. fabric					N/A	
Recent repairs					N/A	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Cloudy 56°</i>			
Date: <i>4/9/20</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 59°</i>			
Date: <i>5/14/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
		Depression/settlement		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Visible white dem. fabric		<i>N</i>	
		Recent repairs		<i>N</i>	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>		
		Sediment accumulation		<i>N</i>	
		Trash/debris accumulation		<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature:

NYPE License #:

Site Inspection Log

Undeveloped Area Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 59°</i>				
Date: <i>5/14/20</i>		Recent Significant Weather Events? <i>Y/N</i>				
		Status		Corrective Action Required	Correction Date	
		Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where PICNIC TABLES ARE OTHER</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>INSTALL CHAIN LINK FENCE</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?			<i>N/A</i>	

Inspector signature: _____ NYPE License #: _____

Site Inspection Log

Undeveloped Area Barretto Point Park, Bronx, NY

Inspected by: *Felix Rodriguez* Weather/temperature: *83° Sunny*
 Date: *6/4/20* Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>Where Picnic Tables Are Placed</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>83° Sunny</i>			
Date: <i>6/4/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
		Depression/settlement		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Visible white dem. fabric		<i>N</i>	
		Recent repairs		<i>N</i>	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>		
		Sediment accumulation		<i>N</i>	
		Trash/debris accumulation		<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*
 Date: *7/9/20*

Weather/temperature: *Sunny 90*
 Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix M. Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Sunny 90</i>			
Date: <i>7/9/20</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N		
		Depression/settlement		N		
		Exposed underlying soil		N		
		Visible white dem. fabric		N		
		Recent repairs				
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y	N		
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 85°</i>			
Date: <i>8/5/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
		Depression/settlement		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Visible white dem. fabric		<i>N</i>	
		Recent repairs		<i>N</i>	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>		
		Sediment accumulation		<i>N</i>	
		Trash/debris accumulation		<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature:	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>SUNNY 85°</i>				
Date: <i>8/5/20</i>		Recent Significant Weather Events? <i>Y/N</i>				
		Status		Corrective Action Required	Correction Date	
		Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables Place</i>	
		Settlement or subsistence			<i>NA</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>INSTALL CHAIN LINK FENCES</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>SUNNY 78°</i>			
Date: <i>9-14-20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>
Depression/settlement				<i>N</i>	
Exposed underlying soil				<i>N</i>	
Visible white dem. fabric				<i>N</i>	
Recent repairs				<i>N</i>	
If yes, adequately repaired?					
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>		
		Sediment accumulation		<i>N</i>	
		Trash/debris accumulation		<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature:	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *Sunny 78°*
 Date: *9-14-20* Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables - No Pine</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>INSTALL CHAIN LINK FENCES</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>SUNNY 72</i>			
Date: <i>10/7/20</i>		Recent Significant Weather Events? <i>Y (N)</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y		
		Erosion		N	
		Mulch coverage	Y		
		Settlement or subsistence		N	
		Visible white demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	SHORELINE	Erosion		N	
		Exposed underlying soil		N	
		Debris washed ashore		N	
		Visible orange demarcation fabric		N	
		Recent excavation/disturbance		N	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
		Depression/settlement		N	
		Exposed underlying soil		N	
		Visible white dem. fabric		N	
		Recent repairs		N	
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y		
		Sediment accumulation		N	
		Trash/debris accumulation		N	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y		
		Floor joints/penetrations sealed	Y		
		New floor openings/penetrations		N	
		If yes, sealed air tight?			

Inspector signature: <i>Felix M. Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *SUNNY 72°*
Date: *10/7/20* Recent Significant Weather Events? Y/N Y N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>Where Picnic tables Are Places</i>	
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>RAINY 57°</i>			
Date: <i>11/12/20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y		
		Erosion		N	
		Mulch coverage	Y		
		Settlement or subsistence		N	
		Visible white demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	SHORELINE	Erosion		N	
		Exposed underlying soil		N	
		Debris washed ashore		N	
		Visible orange demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N
Depression/settlement				N	
Exposed underlying soil				N	
Visible white dem. fabric				N	
Recent repairs				N	
If yes, adequately repaired?					
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y		
		Sediment accumulation		N	
		Trash/debris accumulation		N	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y		
		Floor joints/penetrations sealed	Y		
		New floor openings/penetrations		N	
		If yes, sealed air tight?			

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
 Barretto Point Park, Bronx, NY

Undeveloped Area
 Inspected by: *Felix Rodriguez*
 Date: *11/12/20*

Weather/temperature: *Partly 59°*
 Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i> picnic tables are places</i>	
		Settlement or subsistence		N		
		Visible white demarcation fabric				
		Recent excavation/disturbance	Y		<i>INSTALL Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>SUNNY 40</i>				
Date: <i>12-8-20</i>			Recent Significant Weather Events? <i>Y/N</i>				
			Status		Corrective Action Required	Correction Date	
			Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>				
		Erosion		<i>N</i>			
		Mulch coverage	<i>Y</i>				
		Settlement or subsistence		<i>N</i>			
		Visible white demarcation fabric		<i>N</i>			
		Recent excavation/disturbance		<i>N</i>			
		If yes, adequately repaired?					
	SHORELINE	Erosion			<i>N</i>		
		Exposed underlying soil			<i>N</i>		
		Debris washed ashore			<i>N</i>		
		Visible orange demarcation fabric			<i>N</i>		
		Recent excavation/disturbance			<i>N</i>		
		If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N</i>		
		Depression/settlement			<i>N</i>		
		Exposed underlying soil			<i>N</i>		
		Visible white dem. fabric			<i>N</i>		
		Recent repairs			<i>N</i>		
		If yes, adequately repaired?					
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>				
		Sediment accumulation		<i>N</i>			
		Trash/debris accumulation		<i>N</i>			
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>				
		Floor joints/penetrations sealed	<i>Y</i>				
		New floor openings/penetrations		<i>N</i>			
		If yes, sealed air tight?					

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>SUNNY 40°</i>			
Date: <i>12-8-20</i>		Recent Significant Weather Events? <i>Y/N</i>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables are Placed</i>
		Settlement or subsistence			<i>NA</i>
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence Area</i>
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
If yes, adequately repaired?					
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
		Depression/settlement			<i>N/A</i>
		Exposed underlying soil			<i>N/A</i>
		Visible white dem. fabric			<i>N/A</i>
		Recent repairs			<i>N/A</i>
		If yes, adequately repaired?			
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>
		Sediment accumulation			<i>N/A</i>
		Trash/debris accumulation			<i>N/A</i>
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>
		Floor joints/penetrations sealed			<i>N/A</i>
		New floor openings/penetrations			<i>N/A</i>
		If yes, sealed air tight?			

Inspector signature: *Felix Rodriguez* NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: *Felix Rodriguez* Weather/temperature: *Partly Cloud 34°*
 Date: *1-21-21* Recent Significant Weather Events? Y / N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N		
		Depression/settlement		N		
		Exposed underlying soil		N		
		Visible white dem. fabric		N		
		Recent repairs		N		
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*
Date: *1-21-21*

Weather/temperature: *Partly Cloud 34°*
Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>Where Picnic Tables are Place</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence Area</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
If yes, adequately repaired?						
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez* NYPE License #:



Enclosure 2
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
Site Management Periodic Review Report Notice
Institutional and Engineering Controls Certification Form



Site Details

Box 1

Site No. **B00032**

Site Name **Barretto Point**

Site Address: 1121 Viele Avenue & 1240 Viele Avenue Zip Code: 10474
 City/Town: Bronx
 County: Bronx
 Site Acreage: 13.220

Reporting Period: February 17, 2019 to February 17, 2021

DEP is only responsible for approximately 7 acres of 13.220 acre site.

- | | YES | NO |
|---|-------------------------------------|-------------------------------------|
| 1. Is the information above correct? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If NO, include handwritten above or on a separate sheet. | | |
| 2. Has some or all of the site property been sold, subdivided, merged, or undergone a tax map amendment during this Reporting Period? Parcel Consolidation | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Has there been any change of use at the site during this Reporting Period (see 6NYCRR 375-1.11(d))? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Have any federal, state, and/or local permits (e.g., building, discharge) been issued for or at the property during this Reporting Period? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If you answered YES to questions 2 thru 4, include documentation or evidence that documentation has been previously submitted with this certification form.

NYC department of Finance Tax map illustrating consolidated lot merger attached.

- | | | |
|--|--------------------------|-------------------------------------|
| 5. Is the site currently undergoing development? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|-------------------------------------|

Box 2

- | | YES | NO |
|---|-------------------------------------|--------------------------|
| 6. Is the current site use consistent with the use(s) listed below?
Industrial | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Are all ICs in place and functioning as designed? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

IF THE ANSWER TO EITHER QUESTION 6 OR 7 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

Description of Institutional Controls

<u>Parcel</u>	<u>Owner</u>	<u>Institutional Control</u>
2777-100	City of New York	Landuse Restriction Site Management Plan IC/EC Plan Ground Water Use Restriction

1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

2777-105	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
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1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

2777-600	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
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1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

2777-901	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
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NOT CERTIFIED BY DEP

1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

2779-1	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
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1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

Box 4

Description of Engineering Controls

Parcel

Engineering Control

2777-100

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-105

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-600

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-901

NOT CERTIFIED BY DEP

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2779-1

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

Periodic Review Report (PRR) Certification Statements

1. I certify by checking "YES" below that:

a) the Periodic Review report and all attachments were prepared under the direction of, and reviewed by, the party making the Engineering Control certification;

b) to the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and the information presented is accurate and complete.

YES NO

2. For each Engineering control listed in Box 4, I certify by checking "YES" below that all of the following statements are true:

(a) The Engineering Control(s) employed at this site is unchanged since the date that the Control was put in-place, or was last approved by the Department;

(b) nothing has occurred that would impair the ability of such Control, to protect public health and the environment;

(c) access to the site will continue to be provided to the Department, to evaluate the remedy, including access to evaluate the continued maintenance of this Control;

(d) nothing has occurred that would constitute a violation or failure to comply with the Site Management Plan for this Control; and

(e) if a financial assurance mechanism is required by the oversight document for the site, the mechanism remains valid and sufficient for its intended purpose established in the document.

YES NO

IF THE ANSWER TO QUESTION 2 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

IC CERTIFICATIONS
SITE NO. B00032

Box 6

SITE OWNER OR DESIGNATED REPRESENTATIVE SIGNATURE

I certify that all information and statements in Boxes 1,2, and 3 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Jean-Pierre Hourani, P.E. at 1350 Broadway, Suite 2000, MY, NY 10018,
print name print business address

am certifying as Designated Representative (Owner or Remedial Party)

for the Site named in the Site Details Section of this form.



Signature of Owner, Remedial Party, or Designated Representative
Rendering Certification

3/10/2021
Date

EC CERTIFICATIONS

Box 7

Qualified Environmental Professional Signature

I certify that all information in Boxes 4 and 5 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Jean-Pierre Hourani at 1350 Broadway, Suite 2000, NY, NY 10018,
print name print business address

am certifying as a Qualified Environmental Professional for the Owner
(Owner or Remedial Party)



Signature of Qualified Environmental Professional, for 067424-1 3/10/2021
the Owner or Remedial Party, Rendering Certification Stamp Date
(Required for PE)



NYC Digital Tax Map

Effective Date : 02-10-2020 10:38:25

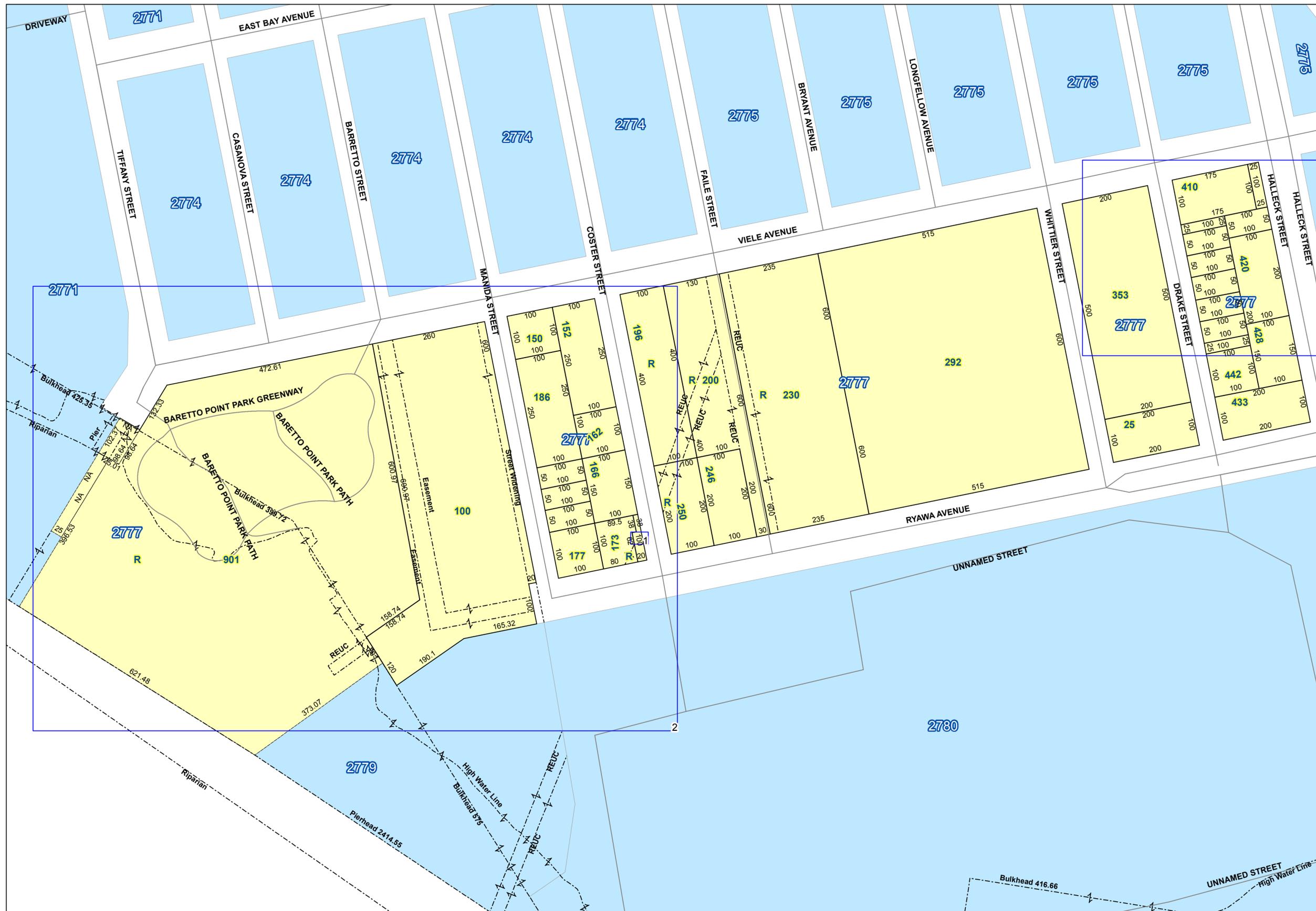
End Date : Current

Bronx Block: 2777



Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
- Lot Face Possession Hooks
- Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon





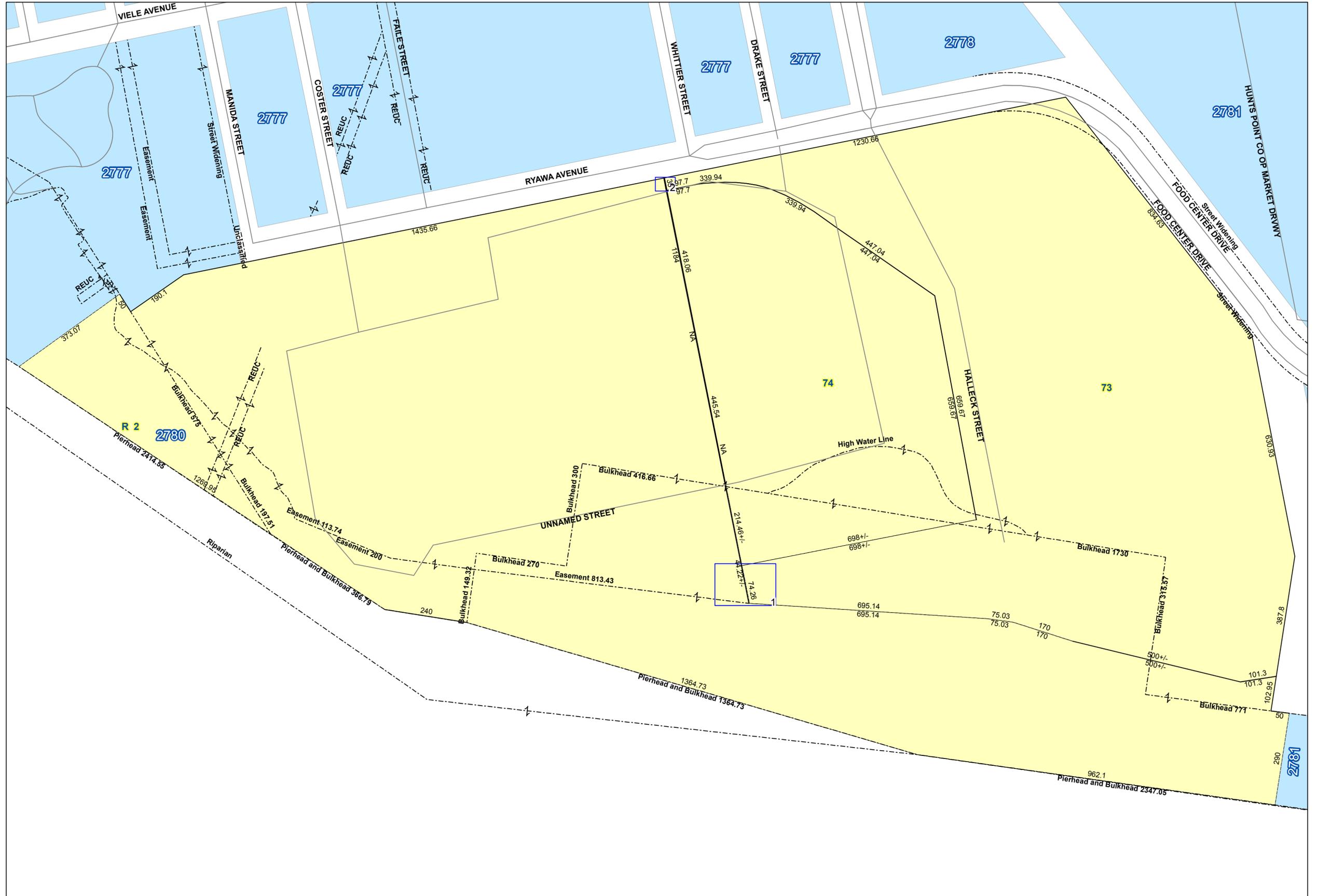
NYC Digital Tax Map

Effective Date : 02-12-2020 16:30:18
End Date : Current
Bronx Block: 2780



Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
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NYC Digital Tax Map

Effective Date : 02-12-2020 16:30:18
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Bronx Block: 2780



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