



**Environmental
Protection**

Rohit T. Aggarwala
Commissioner

Ana Barrio
Deputy Commissioner
Bureau of Engineering
Design & Construction

96-05 Horace Harding
Expressway
Corona, NY 11368

Tel. (718) 595-3966
Fax (718) 595-5999
abarrio@dep.nyc.gov

March 15, 2023

Ronnie Lee, PE
Environmental Engineer 2
New York State Department of Environmental Conservation
Division of Environmental Remediation, BURB
625 Broadway
Albany, NY 12233-7016

**Re: Site Management Periodic Review Report and IC/EC Certification Submittal for
Barretto Point, Site No.: B00032**

Dear Mr. Lee:

As per the approved 2014 Site Management Plan, New York City Department of Environmental Protection and New York City Department of Parks & Recreation are hereby submitting the third Periodic Review Report (PRR) and IC/EC Certification for Barretto Point site.

Both Agencies have individually prepared their own PRR with respective inspection forms for each designated Parcel. A single comprehensive Institutional and Engineering Controls Certification form is enclosed for the entire Barretto Point site. This certification is entailed with both agencies' information with DEP owner's signature.

Please contact Ms. Lincy Joseph of my staff at (718) 595-5467 if you have any questions or comments.

Sincerely,

Yuklong Ma for NS.

Nayan Shah, PE

2021–2023 Periodic Review Report
Barretto Point Site
Bronx County, New York
NYSDEC Site Number: B00032-2
HP-238 Hunts Point WWTP New Anaerobic Digester Facilities

Prepared for
New York City Department of Environmental Protection
March 2023

Registered Professional Engineer's Certification Statement

This certification statement is applicable to those engineering/institutional controls (ECs/ICs) currently established as part of the remedy for the Barretto Point Site and monitored during this certification period.

For each EC/IC identified for the site, I certify that all of the following statements are true:

1. The inspection of the site to confirm the effectiveness of the ECs/ICs required by the remedial program was performed under my direction.
2. The EC/IC employed at this site is unchanged from the date the control was put in place (October 17, 2017) or last approved by New York State Department of Environmental Conservation (NYSDEC).
3. Nothing has occurred that would impair the ability of the control to protect the public health and environment.
4. Nothing has occurred that would constitute a violation or failure to comply with any site management plan for this control.
5. Access to the site will continue to be provided to NYSDEC to evaluate the remedy, including access to evaluate the continued maintenance of this control.
6. If a financial assurance mechanism is required under the oversight document for the site, the mechanism remains valid and sufficient for the intended purpose under the document.
7. Use of the site is compliant with the environmental easement.
8. The engineering control systems are performing as designed and are effective.
9. To the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program.
10. The information presented in this report is accurate and complete.

I certify that all information and statements in this certification form are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law. I, James Morrow, PE of Jacobs-Hazen JV, am certifying as Owner's Designated Site Representative for the site.



James Morrow
NYS PE License Number 070529

March 14, 2023
Date

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Figure 1. Site Location Map

List of Abbreviations

µg/L	microgram per liter
BUD	Beneficial Use Determination
COC	Certificate of Completion
DEP	New York City Department of Environmental Protection
DER-10	NYSDEC Division of Environmental Remediation Technical Guidance for Site Investigation and Remediation
DoF	New York City Department of Finance
DPR	New York City Department of Parks and Recreation
EC	engineering control
EE	environmental easement
IC	institutional control
mg/L	milligram per liter
NYSDEC	New York State Department of Environmental Conservation
PAH	polycyclic aromatic hydrocarbons
ppm	parts per million
PRR	Periodic Review Report
RA	remedial action
ROD	Record of Decision
SCO	Soil Cleanup Objective
SMP	Site Management Plan
SVI	soil vapor intrusion
VOC	volatile organic compound
WRRF	Wastewater Resource Recovery Facility

Section 1

Executive Summary

This 2021–2023 Periodic Review Report (PRR) has been prepared by Jacobs-Hazen Joint Venture (JV), on behalf of the New York City Department of Environmental Protection (DEP), to document the site management, inspection, and monitoring activities undertaken during the reporting period at the Barretto Point Site, located in the Hunts Point area of Bronx County, New York (“the Site”). These activities were performed in accordance with the Site Management Plan (SMP) approved by the New York State Department of Environmental Conservation (NYSDEC) (URS Corporation, 2013).

This PRR is limited to the portion of the Site controlled by DEP and therefore excludes the Barretto Point Park. The certification of the Barretto Point Park parcels is conducted by New York City Department of Parks and Recreation (NYCDPR). This is the third PRR completed for the Site.

During the last two PRR reporting periods, the site did not experience much significant activity; however, during this reporting period of 2021-2023, construction for the Hunts Point WRRF New Anaerobic Digester Facilities Project began. Leading up the excavation activities, DEP prepared for the handling of residual contaminated material in the 2.5-acre Primary Remediation Area by petitioning NYSDEC for a case-specific Beneficial Use Determination (BUD). The BUD was approved in February 2021 and the Notice-to-Proceed for the construction project was issued on April 4, 2022.

The construction of new anaerobic digester structures impacts and results in the removal of the majority of the soil cover engineering control (EC) over the 2.5-acre Primary Remediation Area, as well as impacts to the remaining 4.3-acre area. Excavation activities were and are being performed in accordance with the Site Management Plan (SMP) and Excavation Work Plan.

During excavation activity in September 2022, six (6) abandoned underground storage tanks (USTs) were encountered in the southwest corner of the 2.5-acre Primary Remediation Area. These abandoned USTs were removed in accordance with an approved UST Remediation and Removal Plan.

An evaluation of soil vapor intrusion and groundwater use were performed during this reporting period. Soil vapor intrusion potential was determined to be insignificant and any dewatering as part of construction is managed under a DEP discharge approval and on-site fluids treatment system.

No corrective measures were determined to be necessary during this reporting period.

Section 2

Site Overview

2.1 Site History and Description

This section provides a description of the relevant Site features, former and current Site operations, and the remedial actions (RAs) completed at the Site.

2.1.1 Site Description

The Site is located in the Hunts Point section of Bronx County, New York (Figure 1). The Site originally included Block 2777, Lots 100, 105, 600, and 901, and Block 2779, Lot 001, on the Bronx Tax Map. New York City Department of Finance (DoF) consolidated Block 2777, Lots 100, 105, and 600, into Block 2777, Lot 100 on February 12, 2020. Additionally, DoF also consolidated Block 2779, Lot 001 into Block 2780, Lot 002. The Site is an approximately 13-acre area bounded by Viele Avenue to the north, Manida Street to the east, and the East River to the south and west. For purposes of this PRR, portions of the above-noted parcels that are under the East River are considered exempt from the reporting requirements. Based on Site boundaries denoted on Figures 12 and 16 of the SMP, the portion of Block 2780, Lot 002 that is occupied by the thickeners is also considered exempt from the reporting requirements.

The Site includes an approximately 2.5-acre area referred to herein as the Primary Remediation Area. This area is bounded by Ryawa Avenue to the south and the de-mapped length of Barretto Street to the west and was the focus of an earlier RA (Section 2.1.3). The northwest portion of the Site (Block 2777, Lot 901) is now Barretto Point Park, operated by the New York City Department of Parks and Recreation (DPR). The area surrounding the Barretto Point Site is primarily commercial/industrial in nature, including waste transfer stations, warehouses, and the Hunts Point Wastewater Resource Recovery Facility (WRRF). The nearest residences are located approximately 1,500 feet north of the Site.

The Barretto Point Park portion of the Site (Block 2777, Lot 901) is the subject of a separate PRR provided by DPR and is excluded from this PRR.

2.1.2 Site History

As described in the Record of Decision (ROD; NYSDEC, 2003), by 1950 much of the Site had been developed for industrial purposes, including a sand and gravel operation in the northwestern portion of the Site (with a transformer house along Barretto Street), an asphalt plant at the southwest corner of Barretto Street and Ryawa Avenue, and coal pockets (two large rectangular structures used for the storage of coal) to the west along the East River. Industries in the northeastern portion of the Site included a paint and varnish manufacturing facility. An aerial photograph from 1962 reportedly showed that the coal pockets had been removed from the Site. In addition, the aerial photograph showed that the southern and northwestern portions of the Site had been expanded into the East River, apparently as a result of filling operations. By 1978, only buildings associated with the asphalt plant were reportedly present at the Site, although the asphalt plant was reported as not being operational. The northwestern portion of the Site had been further expanded into the East River. The asphalt plant buildings were reportedly demolished by 1991.

2.1.3 Remedy Implementation

The 2003 ROD addressed the remediation of the approximately 2.5-acre parcel bounded by Ryawa Avenue to the south and the de-mapped length of Barretto Street to the west. The RA included the

excavation and removal of contaminated soil (approximately 14,100 cubic yards) from the approximately 0.7-acre portion of this parcel that was contaminated by operations of the former paint and varnish facility. Approximately 7,700 gallons of waste were removed from underground storage tanks (USTs) unearthed during the remedial excavation. The entire area of excavation was backfilled with clean fill imported from two sources: the Thalle Elmsford Recycling facility and “mole rock”¹ from the Long Island Railroad’s East Side Access Tunnel Project. Groundwater extracted during soil excavation as part of the dewatering process was treated on Site and discharged to New York City’s sanitary sewer system. Remediation of the 2.5-acre area was completed by installing a cover system consisting of 18 inches of clean fill overlain by 6 inches of crushed stone to prevent human exposure to remaining contaminated soil and fill. The cover material was placed over a demarcation layer.

The western part of the Site, now known as Barretto Point Park, was remediated by placing a minimum of 2 feet of clean soil cover over the approximately 5-acre area to limit potential exposure to residually contaminated soil. The soil cover, which was placed over a demarcation layer, consisted of 18 inches of clean general fill and 6 inches of a vegetative medium comprised of topsoil and grass over the surface of the fill. The so-called Staging Area, an approximately 1.2-acre area west of the de-mapped length of Barretto Street and north of Ryawa Avenue was also remediated by placing a demarcation layer and soil cover consisting of 18 inches of clean general fill and 6 inches of a vegetative medium comprised of topsoil and grass over the surface of the fill. Control of the Staging Area was transferred from DEP to DPR and in February 2018, annexed as part of Barretto Point Park, bringing the total area of the park to approximately 6.2 acres.

In November 2010, the NYSDEC issued an Explanation of Significant Difference for a change to the original remedy allowing the remaining approximately 4.3 acres of the Site to be covered with vegetation or the existing layer of fill, asphalt, and/or gravel, instead of 2 feet of clean soil as per the ROD. These materials were determined to meet industrial use criteria, limit direct exposures to any remaining contamination in the subsurface soils, and be suitable for the future expansion of the Hunts Point WRRF. The Final Engineering Report (URS, 2015) provides an as-built survey of the 2.5-acre parcel only.

2.1.4 Remaining Contamination

Residually contaminated soil, groundwater, and soil vapor remain beneath the Site after completing the RA. As described in the SMP, the remedial excavation of the 0.7-acre area of the former paint and varnish manufacturing plant was performed based on a grid system. Each grid was excavated to a pre-determined depth. At the bottom of each grid, a demarcation barrier was placed in order to separate the placed clean fill from the underlying contaminated soil. A demarcation barrier was also placed on the sides of the excavation. Contamination outside the area of excavation is believed to consist mostly of polycyclic aromatic hydrocarbons (PAHs) and volatile organic compounds (VOCs).

In 2018, a subsurface investigation was conducted in support of a new anaerobic digester facility proposed for construction in the area of the former paint and varnish facility (Bidwell Environmental LLC, 2018). The primary objective of the investigation was to characterize soil and groundwater in the proposed excavation footprint of the new anaerobic digester facilities to support the evaluation of reuse/disposal options during construction. Eight soil borings and two monitoring wells were placed within the future excavation footprint and sampled for chemical analytical purposes.

The 2018 soil analytical results were compared to the 6 New York Codes, Rules, and Regulations Part 375-6 Soil Cleanup Objectives (SCOs) for Unrestricted Use. The results were also compared to the SCOs for Protection of Human Health-Residential Use and for Protection of Groundwater. Finally, the analytical results were also compared to the SMP’s Imported Backfill Limits, which are usually, but not always, the

¹ Mole rock is a commercial term for the byproduct of blasting or tunneling.

lower of the SCOs for Residential Use and Protection of Groundwater². With the exception of acetone, no VOCs were detected in soil above the SCOs for Residential Use or Protection of Groundwater. The acetone results are questionable. The laboratory reported concentrations of acetone above the 0.05 milligrams per kilogram SCO for Protection of Groundwater in samples from a number of locations, including the clean fill that was placed in the remedial excavation of the paint and varnish facility. This result was unexpected, and the ROD did not identify acetone as a Contaminant of Concern in soil, groundwater, or soil gas. The acetone results may be due to laboratory contamination or a recent, off-site source. Some metals (cadmium, chromium, copper, iron, lead, nickel, vanadium, and zinc) were detected at one or more locations above the SCOs for Unrestricted Use, which can be driven by the relatively low SCO for Protection of Ecological Resources. The only metals detected above the SCOs for Residential Use were cadmium (2 samples), chromium (4 samples), iron (15 samples), and vanadium (1 sample). PAHs were detected at only one location above SCOs for Residential Use and/or Protection of Groundwater. At this same location, the three pesticides dichlorodiphenyldichloroethane, dichlorodiphenyldichloroethylene, and dichlorodiphenyltrichloroethane were detected above their respective Unrestricted SCOs but not above the SCOs for Residential Use or Protection of Groundwater.

The 2018 groundwater analytical results were compared to DEP limits for groundwater discharges to sanitary or combined sewers and also to NYSDEC Part 703 Class GA groundwater standards. No exceedances of DEP limits were detected. Benzene was detected at 1.1 microgram per liter (µg/L) at one well, slightly above the Part 703 standard of 1 µg/L. Chloride was detected at 1,300 milligram per liter (mg/L), above the Part 703 standard of 250 mg/L. No other groundwater parameters exceeded the applicable limits.

2.1.5 Beneficial Use Determination

On January 25, 2021, DEP petitioned NYSDEC for a case-specific Beneficial Use Determination (BUD) for upcoming construction at the Hunts Point WRRF and the Barretto Point Site. Specifically, DEP proposed to beneficially use approximately 14,500 cubic yards of certain fill material from the 2.5-acre Primary Remediation Area as backfill material following demolition of four of the existing digesters at the Hunts Point WRRF. Both properties are owned and controlled by the City of New York and all material will be controlled and maintained under City ownership throughout and following completion of the construction project. By letter dated February 8, 2021, NYSDEC issued BUD No. 1462-2-03 approving DEP's petition subject to the conditions specified in the letter (Appendix C).

2.1.6 Course of Construction

On April 4, 2022, a Notice to Proceed was issued for the Hunts Point WRRF New Anaerobic Digester Facilities Project, which is located within the 2.5-acre Primary Remediation Area. The project duration spans 1,460 calendar days for a substantial completion date of April 3, 2026. The project consists of the construction of four 3.2 million gallon, post-tensioned, cast-in-place concrete digesters with concrete covers equipped with five manways and four sample ports. The project also includes the construction of a partially buried equipment gallery at the base of the digesters, a single-story gas room, a control building above the equipment gallery, and a single-story above-ground digester feed pump station. Two stairway towers will also be constructed from the equipment gallery to the top of the digesters which will be connected by walkway bridges. Site improvements surrounding the new digesters, include paved walkways and driveways, equipment pads, and a new guardhouse at the Ryawa Avenue entrance are also included.

² The Imported Backfill Limits for Cadmium (4.3 parts per million [ppm]) and Chromium (180 ppm) are higher than the corresponding SCOs for Residential Use.

Construction of these new structures and the surrounding site improvements significantly impacts the soil cover system over the 2.5-acre Primary Remediation Area, as well as parts of the remaining 4.3-acre site area. The new digesters and subgrade structures will require mass excavation across much of the 2.5-acre area down approximately 20 to 25 feet below existing ground surface. This will result in the removal over a large area of the Engineering Control (EC) soil cover system, which consisted of 18 inches of clean fill overlain by 6 inches of crushed stone. At the time of the writing of this report, the mass excavation phase for the new digesters is underway and is approximately 75% complete. Construction of foundations for the first two digesters has commenced.

Section 3

IC/EC Compliance

3.1 Purpose of Periodic Review Report

The purpose of this PRR is to compile and present the information needed to document the basis for the certification of the Engineering Controls (ECs) and Institutional Controls (ICs). Since remaining contaminated soil, groundwater, and soil vapor exist beneath the Site, ECs and ICs are required to protect human health and the environment. The SMP requires that site management activities be reported and ECs/ICs be certified in a PRR prepared in accordance with guidance contained in DER-10, Technical Guidance for Site Investigation and Remediation (NYSDEC, 2010). To the extent practical, Site monitoring data (if any) and the results of the annual site inspection were evaluated as part of this periodic review to confirm the following information:

- ECs/ICs are in place, are performing properly, and remain effective
- Operation and maintenance activities (if any) are being conducted properly
- The remedy continues to be protective of public health and the environment and compliant with the ROD

3.2 Identification of Engineering and Institutional Controls

ECs/ICs are detailed in the SMP and described in the following subsections.

3.2.1 Engineering Controls

The only EC applicable to the Site is the maintenance of cover material to prevent exposure to remaining contamination in soil and fill. Different cover requirements are applicable to three areas of the Site, as follows:

- A minimum of 18 inches of clean soil and 6 inches of crushed stone in the 2.5-acre portion of the Site that was the primary focus of the remediation activities (i.e., the Primary Remediation Area).
- A minimum of a 2 feet of clean soil cover in the approximately 6.2-acre Barretto Point Park portion of the Site (reporting and certification provided separately by DPR).
- A layer of existing fill, asphalt, gravel, or vegetation in the remaining approximately 4.3 acres of the Site.

The Excavation Work Plan in Appendix A of the SMP specifies procedures required to be implemented in the event the cover system is breached, penetrated, or temporarily removed and any underlying remaining contamination is disturbed.

The on-going construction of new digesters and supporting wastewater treatment plant structures has resulted in the complete penetration and removal of the soil cover over the 2.5-acre Primary Remediation Area as well as parts of the 4.3 acre remainder of the Site. The details of construction activities that impacted the ECs are provided in Section 4 of this report.

Although not required by the SMP, fencing restricts public access to the DEP-controlled portion of the Site. Chain-link fencing previously surrounded the 2.5-acre Primary Remediation Area until construction began in April 2022. At that time, the chain-link fencing was taken down in order to gain access to the area for construction. New construction fencing consisting of standard NYC wooden construction fencing currently surrounds the 2.5-acre area. Additional chain-link fencing separates the Barretto Point Park from the rest of the Site. Chain-link fencing and NYC wooden construction fencing restricts access to the

Site from the shoreline of the East River. A locked entrance gate is located at Viele Avenue and the de-mapped length of Barretto Street, another locked entrance gate is located at Ryawa Avenue and Manida Street. Public access to the Hunts Point WRRF and the DEP portion of the Site is controlled by the guarded entrances

3.2.2 Institutional Controls

As described in the ROD and the SMP, a series of ICs are required by the ROD and the Environmental Easement (EE). The ICs are intended to achieve the following goals:

- Implement, maintain, and monitor the EC systems
- Prevent future exposure to remaining contamination by controlling disturbances of the subsurface contamination
- Limit the use and development of the 6.2-acre Barretto Point Park portion of the site to recreational use/public space and the remaining 6.8-acre portion of the Site, including the 2.5-acre remediation area, to industrial uses

As stated in the SMP, the ICs consist of the following requirements:

1. Compliance with the EE and the SMP by the Grantor and the Grantor's successors and assigns.
2. All ECs must be operated and maintained as specified in the SMP.
3. All ECs on the Controlled Property³ must be inspected at a frequency and in a manner defined in the SMP.
4. Data and information pertinent to Site Management of the Controlled Property must be reported at the frequency and in a manner defined in the SMP (see Section 1.4 below).
5. The Barretto Point Park portion of the Site may only be used for recreational use, provided that the long-term ECs and ICs included in the SMP are employed.
6. The remaining Site area may only be used for industrial use, provided that the long-term ECs and ICs included in the SMP are employed.
7. The Barretto Point Park portion of the Site may not be used for a higher level of use, such as restricted residential or residential use, without additional remediation and amendment of the EE, as approved by the NYSDEC.
8. The remaining Site area may not be used for a higher level of use, such as commercial, restricted residential, or residential use, without additional remediation and amendment of the EE, as approved by the NYSDEC.
9. All future activities on the property that will disturb remaining contaminated material must be conducted in accordance with the SMP, including Appendix A of the SMP: Excavation Work Plan.
10. The use of the groundwater underlying the property is prohibited without treatment rendering it safe for intended use.
11. The potential for vapor intrusion must be evaluated for any buildings developed on the property, and any potential impacts that are identified must be monitored or mitigated.
12. Vegetable gardens and farming on the property are prohibited.
13. The Site owner or remedial party will submit to NYSDEC a written statement that certifies, under penalty of perjury, that (1) controls employed at the Controlled Property are unchanged from the previous certification or that any changes to the controls were approved by the NYSDEC and (2) nothing has occurred that impairs the ability of the controls to protect public health and environment or that constitute a violation or failure to comply with the SMP. NYSDEC retains the right to access such Controlled Property

³ The SMP does not define the term Controlled Property, but for the purpose of this PRR, it is assumed to be the approximately 13-acre Barretto Point Site described above in Section 1.1.1 as the "Site."

at any time in order to evaluate the continued maintenance of any and all controls. This certification shall be submitted annually, or an alternate period of time that NYSDEC may allow and will be made by an expert that the NYSDEC finds acceptable.

3.3 Certification Period

The certification period of this PRR is from February 17, 2021, to February 17, 2023. EC and IC Certification Forms are provided in Appendix D. The SMP specifies that the PRR will be submitted to NYSDEC every second year, beginning 18 months after the Certificate of Completion (COC) is issued. This updated PRR is submitted in accordance with the required 2-year submission cycle. Future Site inspections will be conducted annually as required by the SMP. The following table indicates dates of previous milestone submissions and inspections completed:

Milestone	Date Completed
Initial 2017-2019 PRR	March 2019
2020 Annual Site Inspection	March 11, 2020
2021 Annual Site Inspection	March 1, 2021
2019-2021 PRR Acceptance	April 28, 2021
2022 Annual Site Inspection	Jan 28 and March 4, 2022
2023 Annual Site Inspection	March 1, 2023
2021-2023 PRR Transmission (this PRR)	March 19, 2023

Section 4

Inspection/Monitoring Activities

This section describes the scope and results of the inspection and/or monitoring activities conducted at the Site during the 2021–2023 reporting period and provides an evaluation of the effectiveness of the ECs/ICs and whether they remain protective and function as intended. This section also describes any conditions or problems noted during this certification period that are or may be affecting the performance of the ECs/ICs and measures taken to correct such conditions.

Field forms and photos from the two Site inspections are contained in Appendix A. Additionally, a Site Plan is provided in Appendix A which illustrates locations and orientations of the photographs contained in the most recent inspection.

Abandoned underground storage tanks (USTs) were discovered and removed on December 16, 2022 and the details of the remediation and removal are provided below.

4.1 Inspection of Cover

4.1.1 Primary Remediation Area (2.5 Acres)

During the first annual inspection in 2022 (January 28, 2022 and March 4, 2022), the 2.5-acre Primary Remediation Area was observed to be covered with a layer of aggregate predominantly consisting of crushed stone ranging from approximately 0.5-inch to 1.5-inch in size. The surface of the cover material was generally flat but sloped toward the perimeter of the Primary Remediation Area, particularly on the west, south, and east sides. In the years since the cover material was emplaced, vegetation consisting of grasses, weeds, perennial shrubs, and trees had become established at sporadic locations. Larger trees, apparently pre-dating the remediation, remain at locations along the eastern edge of the Primary Remediation Area along Manida Street. The aggregate appeared to be stable, and no areas of erosion were observed. The soil fill underlying the aggregate was not exposed. No evidence of man-made disturbance or excavation of the cover material was observed.

During the second annual inspection in 2023 (March 1, 2023), the 2.5-acre Primary Remediation Area was disturbed and has been partially excavated and removed. This is due to the on-going Hunts Point WRRF New Anaerobic Digester Facilities Project, which involves the construction of four 3.2 million gallon, post-tensioned, cast-in-place concrete digesters with concrete covers equipped with five manways and four sample ports. The project also includes the construction of a partially buried equipment gallery at the base of the digesters, a single-story gas room, a control building above the equipment gallery, and a single-story above-ground digester feed pump station. Construction of these new structures requires the mass excavation across much of the 2.5-acre area down approximately 20 to 25 feet below existing ground surface, resulting in the removal of the soil cover system. Excavation activities are being conducted in accordance with the SMP and Excavation Work Plan, which is discussed in further detail in Section 4.2 below.

4.1.1.1 Underground Storage Tank (UST) Removal

Six (6) abandoned USTs were discovered on September 19 and 20, 2022 during excavation of the southwest corner of the 2.5-acre Primary Remediation Area. Five of the USTs were partially encased in concrete and a sixth UST was directly buried in soil. No free product was observed in the USTs; however, unidentified residual material (sludge) was observed in the bottoms of the USTs and contamination in soil was observed surrounding the USTs. DEP's Construction Manager, Jacobs-Hazen JV, reported the

discovery of the tanks and contamination in soil to NYSDEC's spill hotline on September 21, 2022 and Spill Number 2205436 was assigned.

A UST Remediation and Removal Plan consisting of UST registration, cleanout, removal, and disposal was prepared and transmitted to NYSDEC on October 31, 2022. The remediation plan also included plans to delineate and remove contaminated soil in accordance with DER-10 and Part 375 Soil Cleanup Objectives (SCOs).

On December 13, 2022, the product found inside the tanks was removed via vacuum truck and disposed of at Advanced Waste & Water Technology. The USTs were removed and disposed of offsite on December 20, 2022. Details of the UST removal operation are provided in a Closure Report dated March 8, 2023, which has been submitted NYSDEC separately and can be provided upon request. The UST Remediation Plan letter and corresponding Petroleum Bulk Storage (PBS) Application indicating the closure of the tanks is provided in Appendix B.

4.1.2 Remaining Areas of Fill, Paving, Gravel or Vegetation (4.3 Acres)

During the first annual inspection in 2022, the condition of the asphalt pavement, gravel, and/or vegetation covering the remaining 4.3-acre portion of the Site was found to be in generally acceptable condition, with the exception of some asphalt paved roadways. The deteriorating roadways were nearly never used and were in similar condition as the previous year.

During the second annual inspection in 2023, parts of the 4.3-acre portion of the Site were observed to have been impacted by construction activities related to the Hunts Point WRRF New Anaerobic Waster Digester Facilities Project. Impacts include site surface preparation such as construction of temporary construction roadways, installation of SWPPP best-management practices (BMPs), excavation for new manholes, placement of gravel for stabilization of construction entrances/exits, preparation of temporary construction staging and parking areas, and other similar activities. The majority of these activities are located around (north of, west of, and south of) the 2.5-acre Primary Remediation Area Primary Remediation Area. Excavation activities were conducted in accordance with the SMP and Excavation Work Plan.

4.2 Soil Excavation Plan Implementation

The SMP restricts future excavation of Site soils other than the clean backfill that was placed in the remedial excavation of the 0.7-acre area of the former paint and varnish facility. Appendix A of the SMP provides the Excavation Work Plan used to prevent or control the future excavation of soils on the Site.

As described in the Sections above, soil was excavated during the 2021-2023 review period from both the 2.5-acre Primary Remediation Area, as well as the remaining 4.3-acre area. In accordance with the SMP, DEP notified NYSDEC of the start of excavation activities on August 1, 2022, involving the excavation of approximately 9,000 cubic yards of soils within the northern portion of the 2.5-acre Primary Remediation Area. A second notification was provided to NYSDEC on September 8, 2022 for the additional excavation of approximately 32,000 cubic yards from the 2.5-acre Primary Remediation Area. This excavation is on-going and is estimated to continue through 2026.

Excavation activities were and are being conducted in accordance with the SMP and the Excavation Work Plan. The methods described in the Excavation Work Plan including: soil screening, soil segregation, material stockpiling, spoils handling and loadout, on-site reuse in accordance with the BUD, off-site disposal, fluids management, and dust controls are currently being implemented. Additionally, a site-specific Stormwater Pollution Prevention Plan (SWPPP) is being implemented, as well as active implementation of a Community Air Monitoring Plan (CAMP). Photographs of the condition of the Site and the implementation of these excavation management practices are provided in Appendix A.

4.3 Evaluation of Soil Vapor Intrusion

The SMP requires evaluating the potential for soil vapor intrusion (SVI) for any buildings developed on the property, and any potential impacts that are identified must be monitored or mitigated. Construction trailers located on the Site are supported above the ground surface. Vents are present in the skirting of these trailers to permit exchange of air. The 1999 soil vapor data in the SMP indicate the test results for all parameters were non-detect at the three sample locations nearest the trailers (SG-09, SG-19, and SG-29). Given the presence of an intervening, ventilated space between the ground surface and the trailers, and the historical soil vapor data indicating little or no VOC impacts in this general area, the SVI potential in the construction trailers is considered insignificant.

As part of construction, a CAMP has been implemented to monitor upwind and downwind contaminants in air. This includes VOCs and particulate matter. Two CAMP stations are located at the Site: one at the southwest corner of the 2.5-acre Primary Remediation Area and the other at the northeast corner. CAMP monitoring data is recorded daily and is available upon request.

4.4 Groundwater Use

The use of groundwater underlying the property is prohibited without treatment rendering it safe for intended use. No groundwater production wells were observed during the Site inspection. Drinking water for the Barretto Point Park is provided by DEP.

Excavations that may require dewatering are being advanced during the 2021–2023 reporting period. In anticipation of any required dewatering, DEP issued a Groundwater Discharge Letter of Approval (No. 22-C-7887-1) DEP on December 15, 2022 for the discharge of up to 100,000 gallons per day (gpd). An 8,000 gallon settling tank and a 1,200 gallon/150 gallon per minute (gpm) oil/water separator have been installed at the Site as part of the dewatering treatment system. After treatment, any dewatered fluids flow to the existing 42" combined sewer located under Barretto Street between Ryawa and Viele Avenues via a sewer connection connected to the end of the treatment train. At the time of this writing, excavation activities have not resulted in the use of the dewatering system yet. A copy of the approval letter for groundwater discharge is provided in Appendix E.

No other instances of groundwater use were observed or reported during the 2021-2023 reporting period.

4.5 Vegetable Gardens and Farming

Vegetable gardening and farming are prohibited due to the potential for fruits and vegetables to take up residual contamination. No vegetable gardens or farming were observed on the Site.

Section 5

Conclusions and Recommendations

This section presents the conclusions and recommendations of the monitoring and inspection activities conducted during the 2021–2023 reporting period for the DEP-controlled portion of the Site. These activities consisted of two Site use inspections including the cover materials, potential SVI in buildings, use of groundwater and agriculture/farming activity.

5.1 Site Activities

Soil cover. The 2.5-acre Primary Remediation Area is under construction and the soil cover that previously existed here has been removed. While the SMP states that any changes to the soil cover requires a Corrective Measures Work Plan be prepared and submitted, it is not required in this case because the EC soil cover was removed through the course of construction and not due to misuse or damage. Additionally, there has been no uncontrolled exposure to contaminated material or potential exposure to the public due to the implementation of perimeter controls. The Hunts Point WRRF New Anaerobic Digester Facilities Project will result in the construction of new treatment plant structures, paved surfaces, and placement of clean fill, capping any remaining contamination. The 2.5-acre Primary Remediation Area will continue to be inspected annually and the intended Site use will continue to be enforced.

Evaluation of SVI. No buildings have been constructed on the DEP-controlled portion of the Site that would require an evaluation of potential SVI. The SVI potential in the aforementioned construction trailers is considered insignificant given the presence of an intervening, ventilated space between the ground surface and the trailers and historical soil vapor data indicating little or no VOC impacts in this general area.

Prohibition of groundwater use. No groundwater production wells were observed during the 2021-2023 reporting period. A discharge permit and dewatering treatment technologies are in place to support the on-going excavation activities at the Site. No further recommendations are provided.

Vegetable gardening and farming. No vegetable gardens or farming were observed on the Site.

Fencing. Although not required by the SMP, fencing restricts public access to the DEP-controlled portion of the Site. The previous chain-link fencing surrounding the 2.5-acre Primary Remediation Area has been removed due to active construction and has been replaced by a NYC wooden construction fence. Additional chain-link fencing separates Barretto Point Park from the rest of the Site and additional construction fencing prevents access from the shoreline of the East River. A locked entrance gate is located at Viele Avenue and the de-mapped length of Barretto Street. Another locked entrance gate is located at Ryawa Avenue and Manida Street. Public access to the Hunts Point WRRF and the DEP portion of the Site is controlled by guarded entrances.

5.2 Corrective Measures

No corrective measures are recommended at this time. Continued, regular monitoring of excavation activities, condition of undisturbed cover areas, dewatering activities, maintenance of perimeter controls, and other construction BMPs such as dust management and CAMP monitoring, should be performed to ensure that any residual contamination remain unavailable to direct contact with the public.

Section 6

References

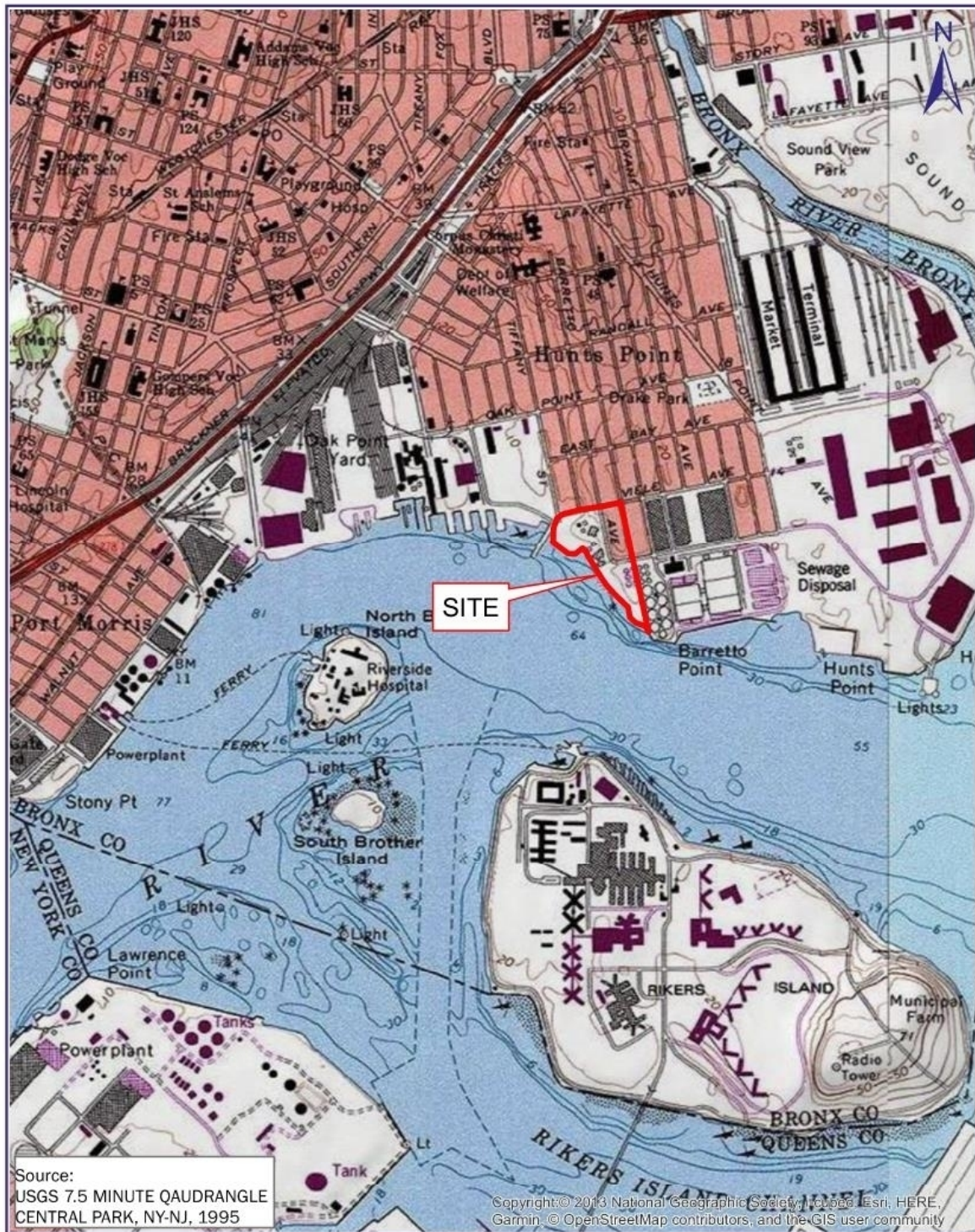
Bidwell Environmental LLC, 2018. "Subsurface Investigation Report In support of Contract HP-238," October 2018.

NYSDEC, 2003. "Environmental Restoration Record of Decision, Barretto Point Site, New York (C) Bronx County, New York, Site Number B-00032-2," December 2003.

NYSDEC, 2010. "DER-10/Technical Guidance for Site Investigation and Remediation," May 2010.

URS Corporation, 2013. "Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2", July 2013.

URS Corporation, 2015. "Barretto Point, Bronx, New York, Final Engineering Report, NYSDEC Site Number: B00032-2," November 2015



Jacobs · Hazen
JOINT VENTURE

FIGURE 1
SITE LOCATION MAP
BARRETTO POINT SITE, BRONX COUNTY, NEW YORK

0 1,000 2,000
Feet

Appendix A: Site Inspection Forms and Photo Log

INSPECTION FORM

Barretto Point Site

Bronx County, NY

BACKGROUND: Periodic inspections are conducted at the Barretto Point Site in accordance with the Site Management Plan (Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2; URS Corporation; July 2013). Periodic inspections are conducted on a yearly basis with additional ones occurring as seen necessary based on emergency events such as spills or construction projects.

INSTRUCTIONS:

- Check-in with NYCDEP facility personnel upon arrival, and check-out with NYCDEP facility personnel prior to leaving the Site.
- Complete all blanks (print legibly). Indicate N/A if not applicable.
- Note locations of pertinent observations on a Site Plan. Append the site plan to this inspection form (if needed).
- Scan the completed Inspection Form and Site Plan mark-up using a high resolution scan setting and save to project folder.
- If the answer to any question below is 'Yes', inform the project manager immediately.

A. General Information:

Inspector: JEAN-PIERRE HOURANI Date: JAN. 28, 2022 & MAR. 4, 2022 Last Inspection Date: MAR 1, 2021

Title: ENGINEER OF RECORD Affiliation (employer): BROWN AND CALDWELL

Street Address: 1350 BROADWAY, SUITE 1350 City: NEW YORK State: NY

Zip Code: 11570 Telephone: 646-367-0583 Email: JHOURANI@BRWNCALD.COM

Weather Conditions: 36-DEGREES F AND LIGHT RAIN ON JANUARY 28, 2022 AND 22-DEGREES F AND SUNNY ON MARCH 4, 2022

B. Activities and Uses

1. Is there any observable evidence that the usage of the Site is not consistent with the industrial use limitation?

Yes X No If Yes, explain below.

While public access to the site is restricted evidence of trespassing was observed by damaged locks on entry gates, a vehicle and tent were observed on site. DEP subsequently replaced all locks to secure the site.

2. Is there any evidence of Site groundwater usage, such as the presence of a supply well completion, additional protective casings aside from groundwater monitoring wells, etc.?

Yes _____ No X If Yes, explain below.

INSPECTION FORM

Barretto Point Site
Bronx County, NY

3. Is there any evidence of vegetable gardening or farming?

Yes _____ No X If Yes, explain below.

No vegetable gardening or farming is on site. Only vegetation observed are small diameter trees, small shrubs and some grass.

4. Is there any evidence of buildings that would require evaluation for potential soil vapor intrusion?

Yes _____ No X If Yes, explain below.

No permanent buildings are on the site. Site does have temporary construction trailers supported above ground. Largest trailer underlying space is enclosed and skirted with vents to facilitate air exchange. Smaller construction trailers have no skirting allowing air to vent freely below trailer. Appears that two small trailers and a storage container were added subsequent to last year's inspection.

INSPECTION FORM

Barretto Point Site

Bronx County, NY

C. Remedial Components and Surface Covers

The western part of the site is referred to as the Barretto Point Park area and is contaminated with SVOCs and low-level VOCs. This portion of the site was remediated by covering it with a 2-foot clean soil cover and turned into a park. The inspection and certification of the Barretto Point Park parcels is conducted by NYCDPR

The eastern part of the site is a smaller 2.5-acre area which had higher concentrations of VOCs and will eventually be used for expansion of the Hunts Point WPCP. This portion of the site was remediated by installation of a soil cover system consisting of 18" of clean fill overlain by 6" of crushed stone to prevent human exposure to remaining contaminated soil/fill remaining at the site.

The remainder of the site (approximately 4.3 acres) is to remain covered by a layer of existing fill, asphalt, gravel or vegetation.

1. Existing Fill, Asphalt, Gravel or Vegetation on 4.3 Acres.

(a) Is there evidence that asphalt pavement is deteriorating significantly?

Yes ☒ No ☐ If Yes, explain below.

Site includes de-mapped unused roads at the extensions of Ryawa Avenue and Barretto Street where there are asphalt roadways with visible deterioration. Deteriorating roadways are nearly never used and appear to be in similar condition as last year's inspection.

(b) Is there evidence of erosion of gravel or cover soil?

Yes ☐ No ☒ If Yes, explain below.

No evidence of active erosion was observed. Soil and gravel areas appear stable and portions of areas have small diameter trees and brush grass. No significant change from prior year's inspection except that some half-buried milk crates were observed on the 2.5 acre site.

(c) Is there any readily observable evidence of soil excavation or disturbance?

Yes ☐ No ☒ If Yes, interview facility personnel and explain below.

No evidence of excavation or disturbance was observed. Paved and gravel areas appear unchanged. No significant change from prior year's inspection.

If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.

Not Applicable

(d) Photo document the conditions of the surface cover (3 minimum).

INSPECTION FORM

Barretto Point Site

Bronx County, NY

(e) Are repairs recommended? Yes _____ No X If yes, describe type, location, and size of repair area.

No repairs required.

2. Crushed Stone over Clean Fill Cover on 2.5 Acres

(a) Is there evidence of erosion of the crushed stone or underlying fill?

Yes _____ No X If Yes, explain below.

(b) Is there any readily observable evidence of soil excavation or disturbance?

Yes _____ No X If Yes, interview facility personnel and explain below.

If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.

(c) Photo document the conditions of the surface cover (3 minimum).

Photos are provided as an attachment to this inspection.

(d) Are repairs recommended? Yes _____ No X If yes, describe type, location, and size of repair area.

Deteriorated paving does not appear to be causing underlying soils to be exposed. All gravel, soil and asphalt areas appear stable

**Barretto Point Site
Bronx County, NY**

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log January 28 and March 4



Photo 1 – General View of Smaller 2.5-Acre Primary Remediation Area



Photo 2 –View toward of Smaller-2.5 Acre Area of Site

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log January 28 and March 4



Photo 3 – View toward of Smaller 2.5-Acre Area of Site



Photo 4 – View toward of Asphalt Patch Where Vacuum Excavation Occurred in 2019

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log January 28 and March 4



Photo 5 – View toward [state direction] of Asphalt Roadway (Barretto Street Extension)



Photo 6 – View toward of Construction Trailers

INSPECTION FORM
Barretto Point Site
Bronx County, NY
Photo Log January 28 and March 4



Photo 7 - View toward of Mulch Stockpile

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

BACKGROUND: Periodic inspections are conducted at Barretto Point in accordance with the Site Management Plan (Site Management Plan, Barretto Point, Bronx County, New York, NYSDEC Site Number: B00032-2; URS Corporation; July 2013). Periodic inspections are conducted on a yearly basis with additional ones occurring as seen necessary based on emergency events such as spills or construction projects.

INSTRUCTIONS:

- Check-in with NYCDEP facility personnel upon arrival, and check-out with NYCDEP facility personnel prior to leaving the Site.
- Complete all blanks (print legibly). Indicate N/A if not applicable.
- Note locations of pertinent observations on a Site Plan. Append the site plan to this inspection form (if needed).
- Scan the completed Inspection Form and Site Plan mark-up using a high resolution scan setting and save to project folder.
- If the answer to any question below is 'Yes', inform the project manager immediately.

A. General Information:

Inspector: Jared Lewis, CSP Date: 3/1/2023 Last Inspection Date: JAN 28 & MAR 4, 2022
Title: CMEHSO Affiliation (employer): Hazen
Site Address: 1270 Ryawa Avenue City: Bronx State & Zip: NY, 10474
Inspector Telephone: 212-539-7149 Email: jlewis@hazenandsawyer.com
Weather Conditions: High 44 degrees Fahrenheit, Cloudy. Recent rains

B. Activities and Uses

1. Is there any observable evidence that the usage of the Barretto Point Park portion of the Site is not consistent with the recreational/public use limitation?

Yes ___ No ☒ If Yes, explain below.

2. Is there any observable evidence that the usage of the remainder of the Site is not consistent with the industrial use limitation?

Yes ___ No ☒ If Yes, explain below.

(additional questions on next page)

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

3. Is there any evidence of Site groundwater usage, such as the presence of a supply well completion, additional protective casings aside from groundwater monitoring wells, dewatering activities, etc.?

Yes ☒ No ☐ If Yes, explain below.

Dewatering system is in place, however no groundwater has been reached at this point requiring use of the system.



Photo 1 - Dewatering system looking south located near SE portion of site



Photo 2 - Dewatering system looking East located near SE portion of site

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

5. Is there any evidence of vegetable gardening or farming?

Yes _____ No X If Yes, explain below.

6. Is there any evidence of buildings that would require evaluation for potential soil vapor intrusion?

Yes _____ No X If Yes, explain below.

(additional questions on next page)

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

C. Remedial Components and Surface Covers

The western part of the site is referred to as the Barretto Point Park area and is contaminated with SVOCs and low-level VOCs. This portion of the site was remediated by covering it with a 2-foot clean soil cover and developed into a park. The inspection and certification of the Barretto Point Park parcels is conducted by NYCDPR

The eastern part of the site is a smaller 2.5-acre area which had higher concentrations of VOCs and will eventually be used for expansion of the Hunts Point WPCP. This portion of the site was remediated by installation of a soil cover system consisting of 18" of clean fill overlain by 6" of crushed stone to prevent human exposure to remaining contaminated soil/fill remaining at the site.

The remainder of the site (approximately 4.3 acres) is to remain covered by a layer of existing fill, asphalt, gravel or vegetation.

1. Existing Fill, Asphalt, Gravel or Vegetation on 4.3 Acre area.

(a) Is there evidence that asphalt pavement is deteriorating significantly?

Yes _____ No ☒ If Yes, explain below.

(b) Is there evidence of erosion of gravel or cover soil?

Yes ☒ No _____ If Yes, explain below.

Site is undergoing active construction with gravel in place via access roads that are maintained regularly in accordance with approved SWPPP and implemented BMPs.



Photo 3 - CM trailer area south of Eastern 2.5acre BUD area looking South

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 4 - CM trailer area south of eastern 2.5acre BUD area looking North

(c) Is there any readily observable evidence of soil excavation or disturbance?

Yes ☒ No ☐ If Yes, explain below. Interview and summarize information from site personnel.

Excavation activities are taking place and ongoing as per the excavation work plan as listed in the SMP.

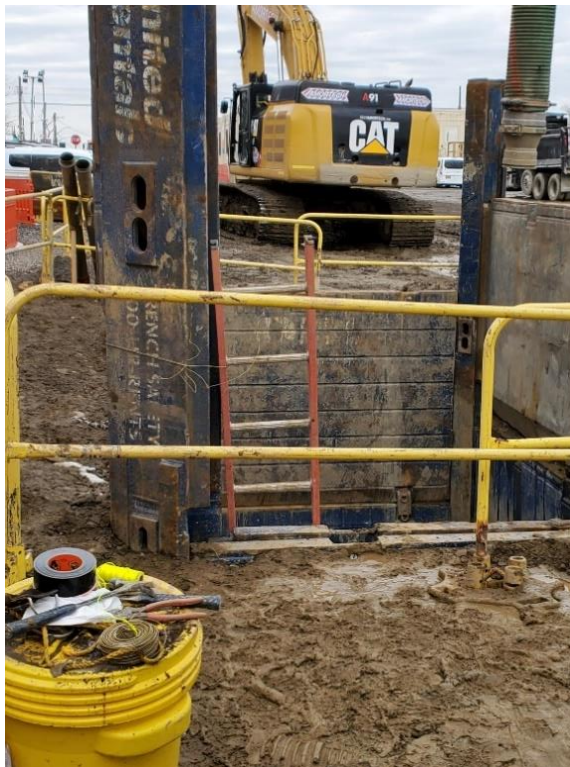


Photo 5 - Excavation north of 2.5 acre BUD area adjacent to western perimeter for 42in sewer manhole installation

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

(c.1) If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below:

Contractor has provided waste profiles for any soil leaving site as well as support of excavation documents, and approved SWPPP.

(d) Photo document the conditions of the surface cover over the 4.3 acre area (3 minimum).

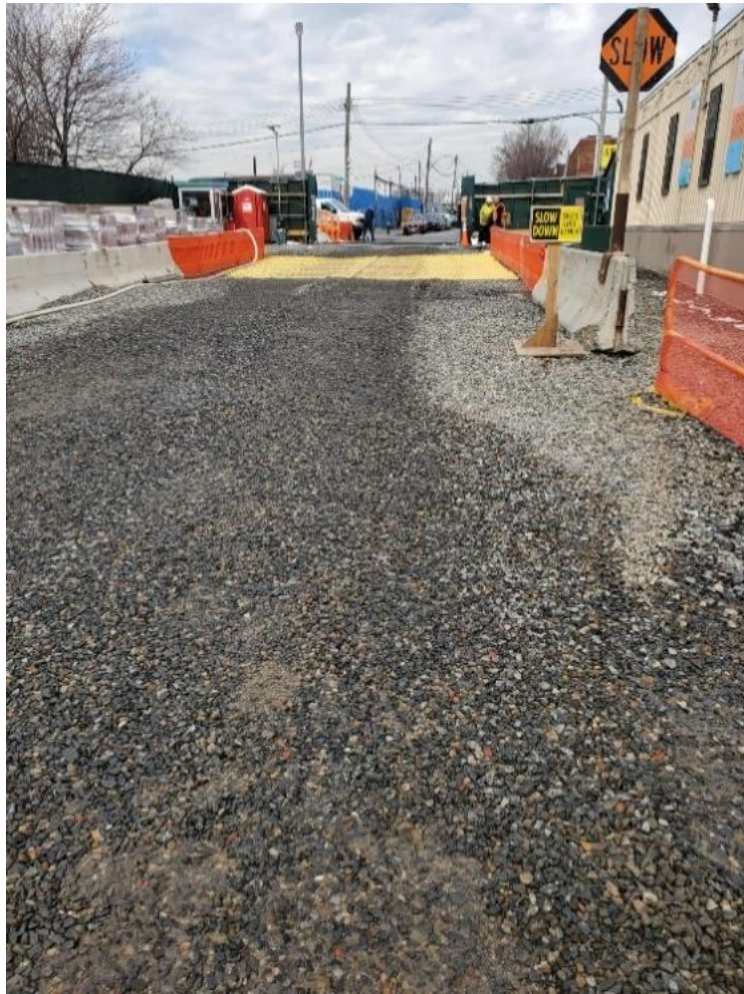


Photo 6 - Main site entrance looking north, west of Contractor trailer

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 7 - Contractor trailer area north of 2.5acre BUD area looking north



Photo 8 - Site entrance south of 2.5acre BUD area looking east. Rumble pad and washing operation in place.

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 9 - Site access west of 2.5 acre BUD area road looking north



Photo 10 - Site access west of 2.5 BUD area road looking south

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

(e) Are repairs recommended? Yes _____ No **X** If yes, describe type, location, and size of repair area.

Areas where active construction has disturbed the surface cover will be restored to paved roadway, concrete pavement, or grassed areas as part of the construction project.

2. Crushed Stone over Clean Fill Cover on 2.5 acre area

(a) Is there evidence of erosion of the crushed stone or underlying fill?

Yes _____ No **X** If Yes, explain below.

Surface disturbances are caused by on-going excavation activities taking place in accordance with the Excavation Work Plan as appended in the SMP.

(b) Is there any readily observable evidence of soil excavation or disturbance?

Yes **X** No _____ If Yes, explain below.

Surface disturbances are caused by on-going excavation activities taking place in accordance with the Excavation Work Plan as appended in the SMP.

(b.1) If Yes above, obtain from facility personnel documentation of proper soil characterization and disposal in accordance with the Excavation Work Plan (Appendix A of the SMP). If documentation is not available, explain below.

The contractor is currently stockpiling BUD and Cap material to be reused on site in BUD area and has supplied support of excavation documents, and approved SWPPP. The BUD area is indicated on the attached site plan.

(c) Photo document the conditions of the surface cover over the 2.5 acre area (3 minimum).



Photo 11 - 2.5 acre BUD area excavation activities looking southeast

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 12 - 2.5 acres BUD area excavation activities looking northeast

(d) Are repairs recommended? Yes _____ No **X** If yes, describe type, location, and size of repair area.

The 2.5 acre area is the site of new wastewater treatment plant structures: four digesters, a control building, a gas room, and surrounding new roadways for plant operations.

(additional questions on next page)

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY

D. Additional Inspection Items

(1) Photo document the following items (mark location and direction of photo on Site Plan):

(a) Surface Cover (note condition and any penetrations, restorations, etc.)



Photo 13 - 2.5 acre BUD excavation area looking southwest showing piles

(b) Soil Stockpiles (note best management practices, covers, runoff controls, etc.)



Photo 14 - BUD and Cap material stockpiles south of 2.5 acre BUD area along western perimeter

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 15 - Soil Stockpile north of 2.5 acre BUD area slated for disposal

(d) Perimeter Controls (note condition of fences, gates, etc.)



East perimeter fence and lagging

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



West perimeter fence

(g) Community Air Monitoring Plan Implementation (set up, location, etc.)

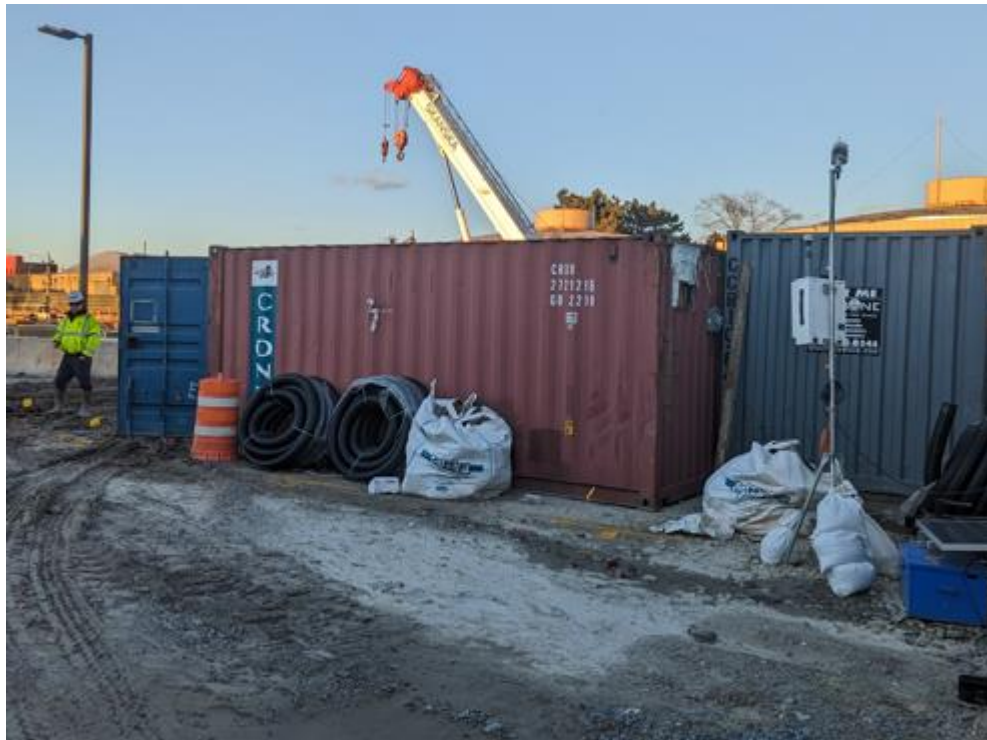


Photo 16 - CAMP probe downwind located south of 2.5 acre BUD excavation area

INSPECTION FORM AND PHOTO LOG

Barretto Point
Bronx County, NY



Photo 17 - CAMP probe upwind located northeast of 2.5 acre BUD excavation area

(2) Additional inspection comments and notes:

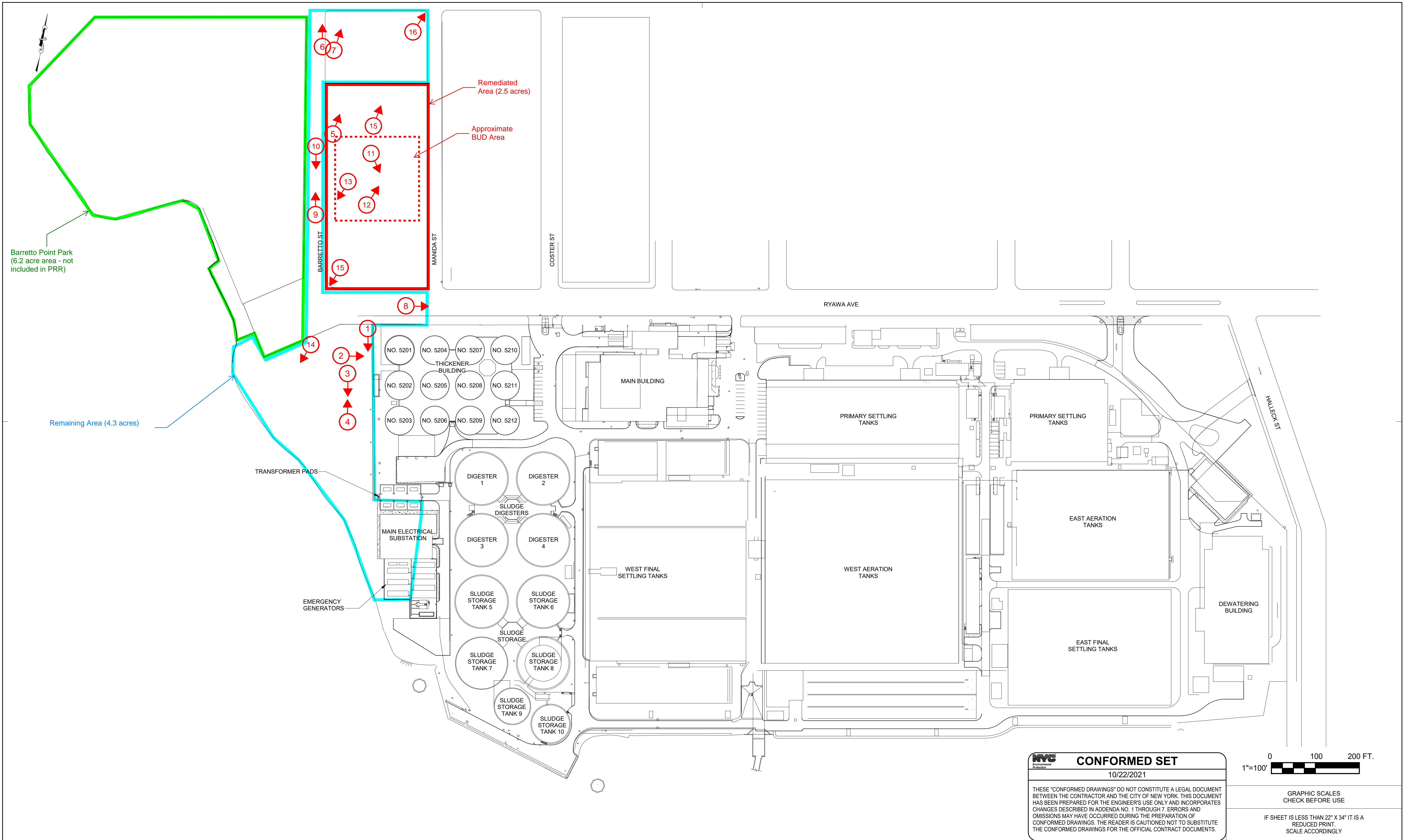
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INSPECTION FORM AND PHOTO LOG

**Barretto Point
Bronx County, NY**

(End of inspection questions. Photo locations on next page.)

BM 360/148508 - Hunts Point WWTP New Anaerobic Digester FacilitiesHP-238_M_V9.rvt
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Environmental Protection

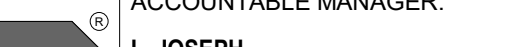
CONFORMED SET

10/22/2021

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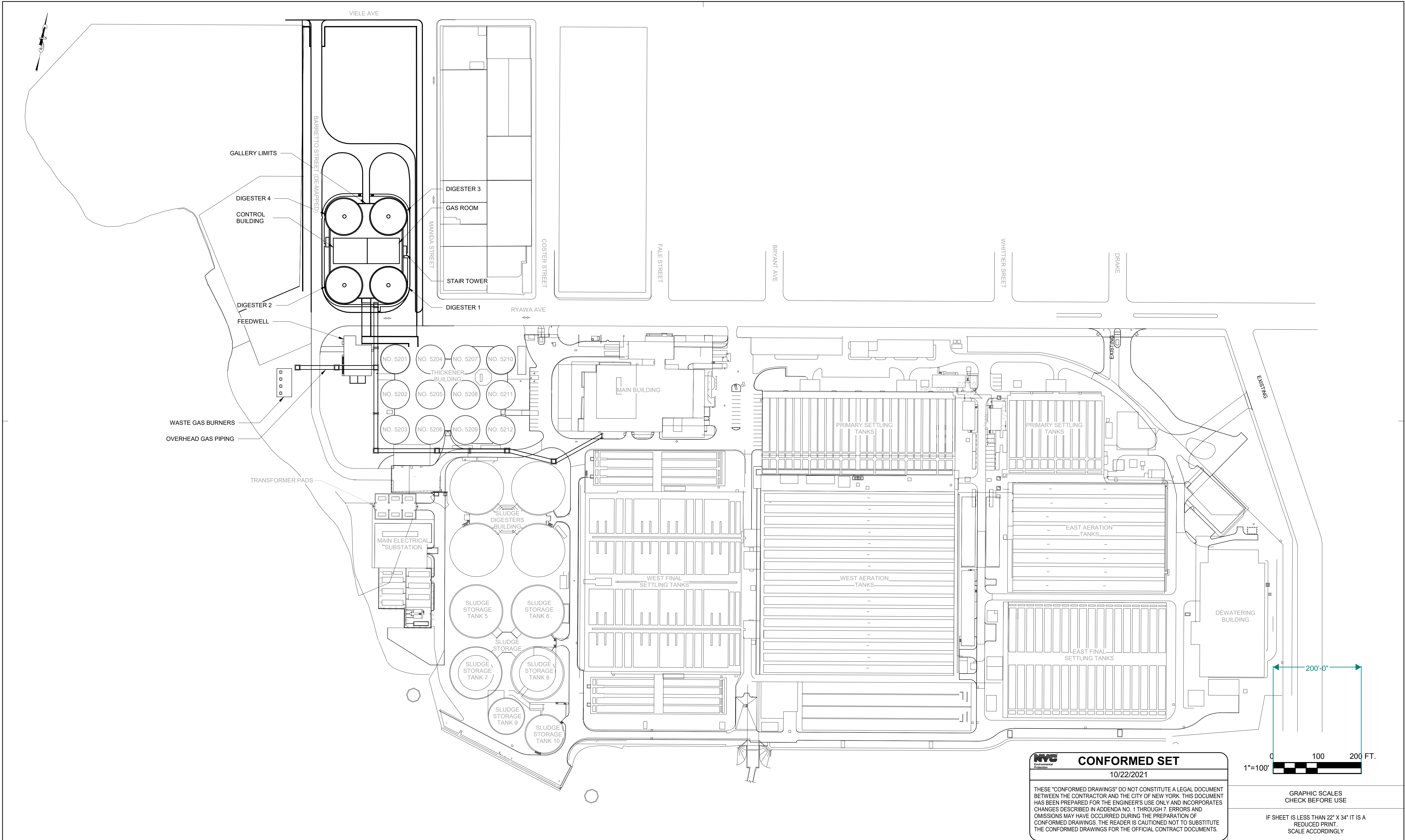
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CHECK BEFORE USE

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SCALE ACCORDINGLY

		DESIGNED BY: P. HOURANI	DRAWN BY: G. MCDONNELL		ACCOUNTABLE MANAGER: L. JOSEPH	<p>"WARNING-IT IS A VIOLATION, OF THE NEW YORK STATE EDUCATION LAW, SECTION, 7209.2, FOR ANY PERSON, UNLESS (S)HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATION, LAW, SECTION, 7209.2."</p>	<p>NEW YORK CITY ENVIRONMENTAL PROTECTION BUREAU OF ENGINEERING DESIGN & CONSTRUCTION 96-05 HORACE HARDING EXPRESSWAY 5th FLOOR CORONA, NEW YORK 11368 www.nyc.gov/dep</p>	<p>HP-238 HUNTS POINT WWTP NEW ANAEROBIC DIGESTER FACILITIES GENERAL EXISTING SITE PLAN</p>	DATE: 06/21/2021
		CHECKED BY: A. SEHLOFF			PORTFOLIO MANAGER N. SHAH, P.E.				SCALE: 1" = 100'-0"
		DESIGN LEAD: A. SEHLOFF							SHEET NO: 5 OF 691
		SECTION MANAGER: G. NEWMAN							DRAWING NO. G-005
NO.	DATE	REVISIONS/DESCRIPTION		APPR'D.					

All inquiries regarding this drawing(s) or project should be made to NYC Environmental Protection, Bureau of Engineering Design and Construction.

10/12/2021 2:27:39 PM
BIM 360/148538 - Hunts Point WWTWP New Anaerobic Digester FacilitiesHP-238_M_V9.rvt



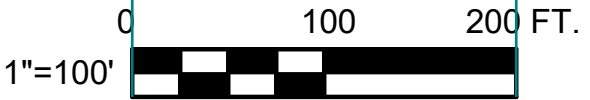
NYC

Environmental Protection

CONFORMED SET

10/22/2021

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				CHECKED BY: A. SEHLOFF	<div><div>Brown AND Caldwell</div><div>BROWN AND CALDWELL ASSOCIATES NEW YORK, NEW YORK</div></div>		PORTFOLIO MANAGER N. SHAH, P.E.			SCALE: 1" = 100'-0"
				DESIGN LEAD: A. SEHLOFF						SHEET NO: 6 OF 691
				SECTION MANAGER: G. NEWMAN						DRAWING NO. G-006
NO.	DATE	REVISIONS/DESCRIPTION			APPR'D.					

All inquiries regarding this drawing(s) or project should be made to NYC Environmental Protection, Bureau of Engineering Design and Construction.

Appendix B: UST Removal Documents



Rohit T. Aggarwala
Commissioner

Ana Barrio
Deputy Commissioner
Bureau of Engineering
Design & Construction

96-05 Horace Harding
Expressway
Corona, NY 11368

Tel. (718) 595-3966
Fax (718) 595-5999
abarrio@dep.nyc.gov

October 31, 2022

Ronnie E. Lee, P.E.
Project Manager
New York State Department of Environmental Conservation
625 Broadway, 12th Floor
Albany, NY 12233-7016

Re: Hunts Point Wastewater Resource Recovery Facility
Barretto Point Site, DEC Site No. B00032-2
Remediation Plan, DEC Spill No. 2205436

Dear Mr. Lee:

The purpose of this letter is to present a remediation plan to address contaminated soil and underground storage tanks (USTs) recently discovered during construction on the Barretto Point Site.

Background

The DEC-approved Site Management Plan for the Barretto Point Site (July 2021) prohibits the reuse of soil associated with boring MR-9 due to the presence of apparent petroleum contamination and constituent concentrations in excess of the 6 NYCRR Part 375-6 soil cleanup objectives (SCOs) for Protection of Public Health Commercial Use. In order to delineate the horizontal and vertical extent of this contamination, DEP's construction contractor was in the process of excavating soil in the vicinity of boring MR-9. In the course of the excavation, six abandoned USTs were discovered on September 19-20, 2022. The approximate location of the USTs is highlighted in yellow on Attachment A. Five of the USTs were partially encased in concrete; the sixth UST had been buried directly in soil. The concrete encasement and the sixth UST are shown in Attachment B. The approximate dimensions for each UST are 3.5 feet diameter by 7.5 feet long (550 gal. each). No free product was observed in the USTs; however, unidentified residual material (sludge) was noted in the bottoms of the USTs. The five USTs encased in concrete were filled with water. Soil contamination was observed surrounding the USTs.

It was concluded that the contaminated soil associated with MR-9 may be associated with past leakage from the USTs. Accordingly, DEP's Construction Manager, Hazen and Sawyer, reported the discovery to the DEC's spill hotline on September 21, 2022. Spill Number 2205436 was assigned.

Remediation Plan

The remediation plan consists of four main parts: 1) UST registration, 2) cleanout and disposal of the USTs, 3) delineation and removal of contaminated soil, and 4) reporting. DEP's construction contractor will conduct these remediation activities in accordance with the relevant provisions of the Site

Management Plan, NYSDEC's guidance document DER-10¹, and DEP's specifications for UST closures. All remediation activity and reporting will be conducted under the direct supervision of a Qualified Environmental Professional (QEP) as defined in DER-10 Section 1.3 paragraph 49.

1. UST Registration

Prior to initiating remediation, DEP will register the six USTs in accordance with DER-10 Section 4.1(d)3.i and the requirements for petroleum bulk storage in 6 NYCRR Part 613². In accordance with 6 NYCRR Part 613-1.9(c), registration will remain in effect until the DEC receives written notice and documentation from the facility owner (DEP) that the USTs have been permanently closed. At that time the USTs will be deregistered.

2. UST Cleanout, Removal and Disposal

Waste Characterization. Prior to UST removal the contractor will inventory and sample the UST contents (sludge, water) to determine the exact contents of each UST. If the USTs' contents appear to be similar in composition, the samples from each UST may be composited prior to submittal for analysis depending on the permit requirements of the proposed treatment storage and disposal facilities (TSDFs). The UST content samples will be analyzed in accordance with the permit requirements of proposed TSDFs. At a minimum, samples will be analyzed for Target Compound List (TCL) volatile organic compounds (VOCs) by Method 8260; TCL semi-volatile organic compounds (SVOCs) by Method 8270; organochlorine pesticides by Method 8081; polychlorinated biphenyls (PCBs) by Method 8082; target analyte list (TAL) metals by Methods 6010, 6020, 7470 and 7471; and RCRA characteristic (ignitability, corrosivity, reactivity, toxicity). Waste profiles will be submitted to TSDFs that are permitted to accept the materials (solids, sludges, liquids, tanks, piping, etc.). No wastes will be transported off-site unless acceptance letters have been received and approved by DEP.

Notification. DEC will be notified 5 days in advance of the start of UST removal activity.

Air Monitoring. During excavation and removal of the USTs, the contractor will conduct continuous air monitoring of the exclusion zone to confirm that unprotected persons (e.g., without the benefit of PPE) outside the work area are not adversely impacted. The monitoring will include VOCs, lower explosive limit (LEL), hydrogen sulfide (H₂S) and dust at locations upwind and downwind of the work area in accordance with the EHASP. If necessary, the contractor will implement engineering controls to reduce air emissions to acceptable limits (e.g., use of plastic sheeting, foam sprays, water, etc.).

UST Cleanout. The contractor will pump out all remaining liquid in the USTs. Following removal of the liquids, the USTs will be purged and the UST atmosphere tested to assure that no explosive gases are present. If underground piping is found to be present, any liquid in the piping will be properly drained and the piping purged prior to removal. After the UST is emptied, the UST and all connecting piping to the UST will be cleaned and triple rinsed in accordance with API Standard 2015, Requirements for Safe Entry and Cleaning of Petroleum Storage USTs. The contractor will disconnect piping from all UST

¹ DER-10 / Technical Guidance for Site Investigation and Remediation; NYSDEC Division of Environmental Remediation; May 3, 2010 (with subsequent corrections).

² 6 NYCRR Part 613 replaces the former Part 612 referenced in DER-10.

openings, and cap or plug all UST openings. Waste materials in the USTs will be removed and properly containerized for disposal at the designated TSDFs.

UST Removal. Prior to excavating the USTs and any associated underground piping, the USTs and piping will be rendered vapor free by ventilating, flooding with water or purging with an inert gas. All USTs and piping must be certified gas and vapor free prior to requesting any Hot Work Permits. The atmosphere in the USTs will be inerted below acceptable LEL in accordance with all applicable Federal, State and local codes and regulations and API recommended procedures. If water is used for gas-freeing the USTs, the water will be disposed of at a permitted disposal facility. Each UST will be excavated and carefully removed from the ground immediately upon completion of the gas-freeing operation. As much adhering soil as possible will be removed from the UST, and the UST shall be placed on plastic sheeting in a secure location, covered with plastic sheeting, and blocked to prevent movement. The UST will be rendered unusable for further use in accordance with API RP 1604 and removed from the site within 24 hours of excavation. The USTs and associated piping will be transported to the designated TSDF. If the waste characterization analyses indicate that the USTs did not contain RCRA or TSCA hazardous wastes, they may be transported to a permitted metal recycling facility.

3. Delineation and Removal of Contaminated Soil

As noted above, it is suspected that the petroleum-contaminated soil first identified in boring MR-9 may be associated with leakage from the abandoned USTs. The SMP prohibits the on-site reuse of this soil. After removal of the USTs, the contractor will continue to excavate the petroleum-contaminated soil and segregate it in one or more stockpiles for disposal at a permitted TSDF. In order to prevent commingling with other soil, the stockpiles of segregated materials will be underlain by poly sheeting and surrounded by silt control measures. The segregated stockpiles will be covered with poly sheeting.

A QEP will direct the soil excavation based on observations (e.g., staining, sheen, petroleum odor) and screening for VOCs with a photoionization detector (PID). Once the QEP determines that all the petroleum contaminated soil has likely been excavated, confirmation sampling will be conducted in accordance with DER-10 Section 5.4(b) 5.ii. Assuming the total excavation perimeter will be less than 300 feet, confirmation sampling will consist of subsurface soil samples collected from the bottom of each sidewall every 30 linear feet of sidewall and one sample from the excavation bottom for every 900 square feet of bottom area. Field QA/QC samples will consist of blind duplicate samples and MS/MSD samples collected at the rate of 1 for every 20 primary samples. The samples will be submitted to a laboratory certified under NYSDOH ELAP³ for the following methods: VOCs by Method 8260, SVOCs by Method 8270, organochlorine pesticides by Method 8081; PCBs by Method 8082; and TAL metals by Methods 6010, 6020, 7470 and 7471. The excavation will not be backfilled or regraded until receipt and evaluation of the laboratory analytical results.

Analytical results will be compared to the 6 NYCRR Part 375 SCOs for Protection of Public Health Commercial Use. If any confirmation samples contain constituent concentrations exceeding these SCOs, excavation and removal of soil will continue in the area(s) represented by the sample(s), followed by collection of additional confirmation samples in accordance with DER-10. Backfill and regrading of the excavation in any resampled area(s) will not occur until receipt and evaluation of the laboratory analytical results.

³ New York State Department of Health (NYSDOH) Environmental Laboratory Approval Program (ELAP).

4. Reporting

DEP will submit a remediation report to DEC that documents the removal of the USTs and the petroleum-contaminated soil. The report will include the following information:

- Description of the work performed, including the start and end dates for UST removal;
- Investigation procedures and results obtained, including locations and analysis of confirmation soil samples after soil removal;
- Map showing the exact UST locations and layout of associated piping, limits of soil excavation, and locations of soil confirmation samples;
- Disposal facilities for USTs, UST contents, and contaminated soil;
- Waste manifests and scale tickets;
- Cumulative quantities of petroleum-impacted soil excavated and disposed of off-site;
- Tabulated soil analytical results with comparison to applicable Part 375-6 SCOs;
- Copy of Affidavit of Compliance submitted to FDNY certifying that a permanently out-of-service storage system was removed and disposed of, in compliance with the requirements of FDNY FC Chapter 34 -- Flammable and Combustible Liquids.

In addition to the requirements described above, the contractor will continue to comply with the community air monitoring program (CAMP) as previously required by DEC. The remediation report will be submitted to DEC approximately 6 weeks after completion of remediation activity.

If you have any questions or require additional information, please contact Nayan Shah, P.E., Portfolio Manager at nayans@dep.nyc.gov or 718-595-6129. Thank you for your assistance.

Sincerely,

Ana Barrio

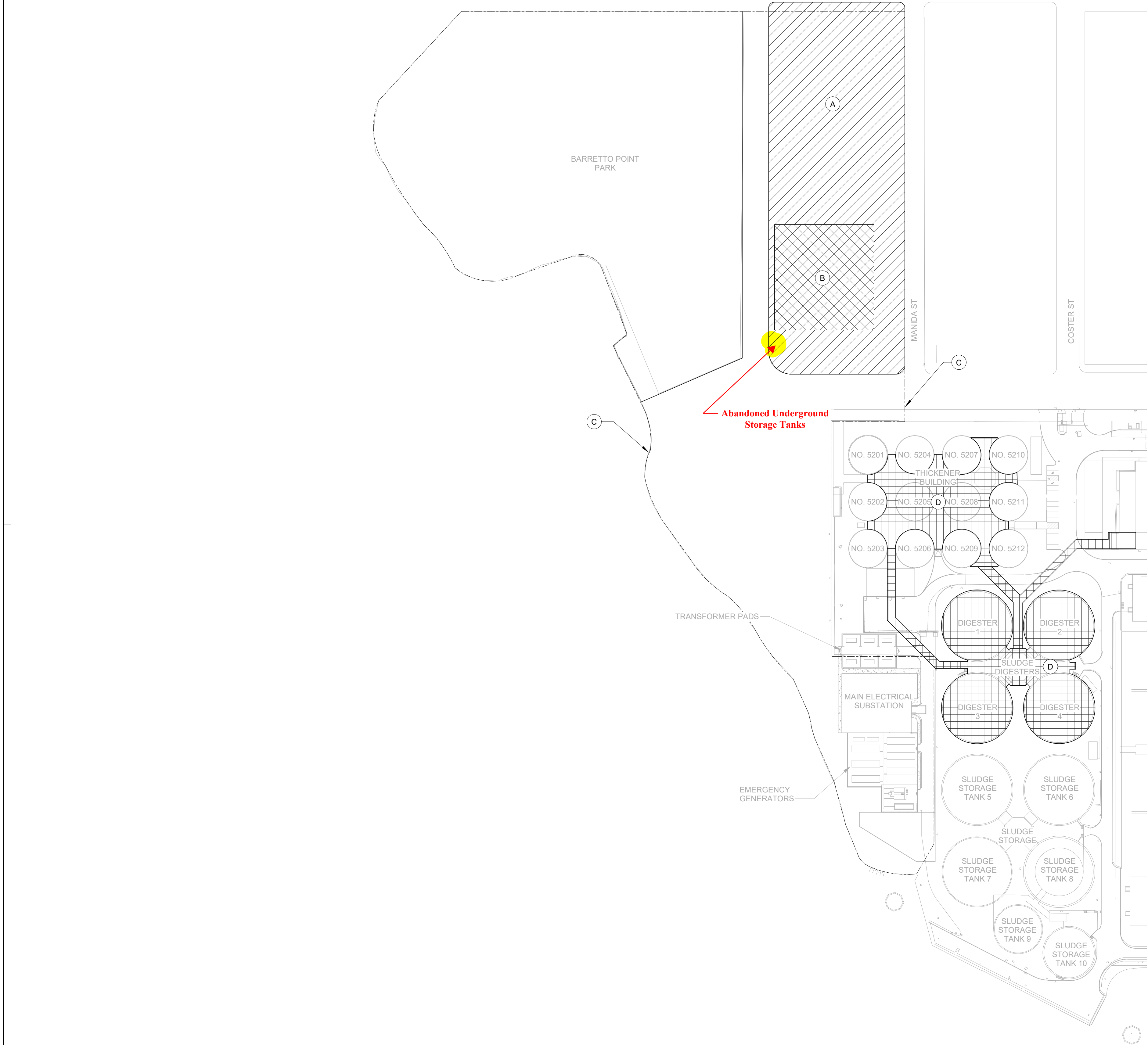
Ana Barrio

c: S. Quandt, DEC DER
J. O'Connell, DEC DER
N. Shah, NYCDEP-BEDC
A. Sosa, NYCDEP-BEDC
J. Hourani, BC

Attachment A: Location of Abandoned USTs (Drawing No. G-105, annotated)

Attachment B: Photograph of Abandoned UST and Concrete Encasement

BM 360/148508 - Hunts Point WWTFF New Anaerobic Digester FacilitiesHP-238_M_V9.rvt10/12/2021 2:28:02 PM



GENERAL NOTES

- REFER TO APPENDIX A OF CONTRACT DOCUMENTS FOR EXCAVATION WORK PLAN, OF SITE MANAGEMENT PLAN, NYSDEC SITE NUMBER B00032-2, PREPARED BY URS CORPORATION, DATED JULY 2013 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATED SOIL AVAILABLE FOR UNRESTRICTED ON-SITE REUSE UNDER LUMP SUM ITEM 1 LOCATED WITHIN DEMARCATION OF PREVIOUSLY REMEDIATED SOILS WITHIN FORMER PAINT AND VARNISH MANUFACTURING FACILITY FOOTPRINT.
- UNIT ITEM 3C EXCAVATION AND OFF-SITE DISPOSAL OF CONTAMINATED SOIL, APPLIES TO ALL EXCAVATED SOILS OUTSIDE OF FORMER PAINT AND VARNISH MANUFACTURING FACILITY FOOTPRINT DEMARCATION. ENGINEER SHALL DIRECT CONTRACTOR IN WRITING PRIOR TO USE OF UNIT ITEM 3C. UNIT ITEM BASED ON ACTUAL VOLUME OF SOIL EXCAVATED AND DISPOSED OFF SITE.
- UNIT ITEM 3D ON-SITE REUSE OF EXCAVATION SOIL, APPLIES TO ALL EXCAVATED SOILS OUTSIDE OF FORMER PAINT AND VARNISH MANUFACTURING FACILITY FOOTPRINT DEMARCATION RE-USED ON-SITE AS FILL. ENGINEER SHALL DIRECT CONTRACTOR IN WRITING PRIOR TO USE OF UNIT ITEM 3D. UNIT ITEM BASED ON ACTUAL VOLUME OF SOIL EXCAVATED AND RE-USED ON-SITE.
- EXCAVATION AND DISPOSAL OF SOIL SHALL BE CONDUCTED AS SPECIFIED IN DETAILED SPECIFICATION 02316 - EXCAVATION.

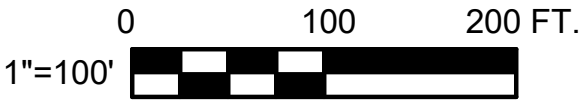
KEY NOTES

- AREAS PREVIOUSLY REMEDIATED PER SITE MANAGEMENT PLAN, NYSDEC SITE NUMBER: B00032-2, PREPARED BY URS CORPORATION, DATED JULY 2013.
- APPROXIMATE EXTENTS OF FORMER PAINT AND VARNISH MANUFACTURING FACILITY AND PREVIOUSLY REMEDIATED PER SITE MANAGEMENT PLAN.
- BOUNDARY OF EXISTING NYSDEC "BARRETTO POINT SITE" PER ENVIRONMENTAL RESTORATION RECORD OF DECISION, SITE NUMBER B-00032-2, DATED DECEMBER 2003.
- AREAS SAMPLED AND ASSESSED FOR HAZARDOUS MATERIALS UNDER NYCDOP CONTRACT HP-238. REFERENCE DOCUMENT HUNTS POINT WASTEWATER TREATMENT PLANT NEW ANAEROBIC DIGESTER FACILITIES, HAZARD MITIGATION REPORT, BROWN AND CALDWELL, DATED NOVEMBER 2018.

CONFORMED SET



10/22/2021

THESE "CONFORMED DRAWINGS" DO NOT CONSTITUTE A LEGAL DOCUMENT BETWEEN THE CONTRACTOR AND THE CITY OF NEW YORK. THIS DOCUMENT HAS BEEN PREPARED FOR THE ENGINEER'S USE ONLY AND INCORPORATES CHANGES DESCRIBED IN ADDENDA NO. 1 THROUGH 7. ERRORS AND OMISSIONS MAY HAVE OCCURRED DURING THE PREPARATION OF CONFORMED DRAWINGS. THE READER IS CAUTIONED NOT TO SUBSTITUTE THE CONFORMED DRAWINGS FOR THE OFFICIAL CONTRACT DOCUMENTS.



GRAPHIC SCALES
CHECK BEFORE USE

IF SHEET IS LESS THAN 22" X 34" IT IS A
REDUCED PRINT.
SCALE ACCORDINGLY

				DESIGNED BY: P. HOURANI	DRAWN BY: G. MCDONNELL		ACCOUNTABLE MANAGER: L. JOSEPH	<p>"WARNING-IT IS A VIOLATION, OF THE NEW YORK STATE EDUCATION LAW, SECTION, 7209.2, FOR ANY PERSON, UNLESS (S)HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATION, LAW, SECTION, 7209.2."</p>	<p>NEW YORK CITY ENVIRONMENTAL PROTECTION BUREAU OF ENGINEERING DESIGN & CONSTRUCTION 96-05 HORACE HARDING EXPRESSWAY 5th FLOOR CORONA, NEW YORK 11368 www.nyc.gov/dep</p>	<p>HP-238 HUNTS POINT WWTP NEW ANAEROBIC DIGESTER FACILITIES GENERAL HAZARDOUS MATERIALS MANAGEMENT</p>	DATE: 06/21/2021
				CHECKED BY: A. SEHLOFF			PORTFOLIO MANAGER N. SHAH, P.E.				SCALE: 1" = 100'-0"
				DESIGN LEAD: A. SEHLOFF							SHEET NO: 15 OF 691
				SECTION MANAGER: G. NEWMAN							DRAWING NO. G-015
NO.	DATE	REVISIONS/DESCRIPTION		APPR'D.							

All inquiries regarding this drawing(s) or project should be made to NYC Environmental Protection, Bureau of Engineering Design and Construction.



Attachment B
Uncovered 550 gallon UST and concrete partially
encasing 5 additional 550 gallon USTs.



Petroleum Bulk Storage Application

Pursuant to the Environmental Conservation Law: Article 17, Title 10; and
Regulations 6 NYCRR Part 613 and 6 NYCRR Subpart 374-2

(Please Type or Print Clearly and Complete All Items for Sections A, B & C)

Return Completed Form To:

NYS DEC - PBS Unit, Region 2
47-40 21st Street, 1st Floor
Long Island City, NY 11101-5407
(718) 482-6454



Section A - Facility/Property Owner/Contact Information

Expiration Date: 02/09/2028

Transaction Type: 3	Facility Name: HUNTS POINT WRRF (BARRETTO POINT SITE)	Tax Map: Borough/Section Bronx	TYPE OF PETROLEUM FACILITY (Check only one)
1) Initial/New Facility	Facility Address (Physical Address, No P.O. Boxes): 1240 VIELE AVE.	Block: 2777	<input type="checkbox"/> 01=Storage Terminal/Petrol. Distributor <input type="checkbox"/> 02=Retail Gasoline Sales
2) Change of Ownership	Facility Address (cont.):	Lot: 100	<input type="checkbox"/> 03=Other Retail Sales <input type="checkbox"/> 04=Manufacturing
3) Tank Installation, Closing, or Repair	City: BRONX	State: NY ZIP: 10474	<input type="checkbox"/> 05=Utility <input type="checkbox"/> 06=Trucking/Transportation/Fleet
4) Information Correction	County: Bronx Township or City: New York City	Facility Phone Number: (718) 595-6129	<input type="checkbox"/> 07=Apartment/Office Building <input type="checkbox"/> 08=School
5) Renewal	Facility Operator: NAYAN SHAH		<input type="checkbox"/> 09=Farm <input type="checkbox"/> 10=Private Residence
			<input type="checkbox"/> 11=Airline/Air Taxi/Airport <input type="checkbox"/> 12=Chemical Distributor
			<input type="checkbox"/> 13=Municipality <input type="checkbox"/> 15=Railroad
			<input type="checkbox"/> 25=Auto Service/Repair (No Gasoline) <input type="checkbox"/> 28=Cemetery/Memorial
			<input type="checkbox"/> 26=Religious (Church, Synagogue, Mosque, Temple, etc.)
			<input type="checkbox"/> 27=Hospital/Nursing Home/Health Care <input type="checkbox"/> 52=Marina
			<input type="checkbox"/> 53=Nuclear Power Plant
			<input checked="" type="checkbox"/> 99=Other (Specify):ERP SITE
			Emergency Contact Name: NAYAN SHAH Emergency Telephone Number: (718) 595-6129
NOTE:	Facility (Property) Owner (from Deed): NYC ENVIRONMENTAL PROTECTION		I hereby certify, under penalty of law, that all of the information provided on this form is true and correct. False statements made herein may be punishable as a criminal offense and/or a civil violation in accordance with applicable state and federal law.
Fill in Property Owner information here....>>>	Facility Owner Address (Street and/or P.O. Boxes): 96-05 HORACE HARDING EXPRESSWAY		Name of Property Owner or Authorized Representative: Amount Enclosed: \$ 0.00
Indicate Tank Owner in Section C.	City: CORONA State: NY ZIP Code: 11368		Title: Nayan Shah, PE
	Owner Telephone Number: (718) 595-6129		Signature: Portfolio Manager, NYCDEP Date: 2/16/2023
	Type of Owner (check only one): 3 <input checked="" type="checkbox"/> Local Government		
	1 <input type="checkbox"/> Private Resident 4 <input type="checkbox"/> Federal Government		
	2 <input type="checkbox"/> State Government 5 <input type="checkbox"/> Corporate/Commercial/Other		
Official Use Only	Facility Contact Person Name: NAYAN SHAH		
Date Received: ____/____/____	Contact Person Company Name: NYC ENVIRONMENTAL PROTECTION		
Date Processed: ____/____/____	Address: 96-05 HORACE HARDING EXPRESSWAY		
Amount Received: \$ _____	Address (cont.):		
Reviewed By: _____	City/State/ZIP Code: CORONA, NY 11368		
Rev. 12/22/2022	Tel. Number: (718) 595-6129 eMail Address: NAYANS@DEP.NYC.GOV		

PBS Number:
2-613421

Section B - Tank Information

**(Please use the key located on the last page to complete
each item/column)**

(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	(14)	(15)	(16)	(17)	(18)	(19)	(20)	(21)
Action	Tank Number	Tank Location	Status	Installation, out-of-service, or Permanent Closure Date (mm/dd/yyyy) Application will be returned if blank	Capacity (Gallons)	Product Stored (If Gasoline w/ethanol or Biodiesel, list % additive) %	Tank Type	Tank Internal Protection	Tank External Protection	Tank Secondary Containment	Tank Leak Detection	Tank Overfill Prevention	Tank Spill Prevention	Pumping/Dispensing Method	Piping Location	Piping Type	Piping External Protection	Piping Secondary Containment	Piping Leak Detection	Under Dispenser Containment (UDC) (Check box if present)
	001	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			
	002	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			
	003	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			
	004	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			
	005	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			
	006	5	2	Removed 12/16/2022	550	0000 0001	01													<input type="checkbox"/>
	* MUST SUPPLY TANK INSTALL DATE OR APPLICATION WILL BE RETURNED*																			

Note: If you need to add tanks to your registration, write them in using blank lines above. Attach additional sheets as needed.
Blank Section B is available at http://www.dec.ny.gov/docs/remediation_hudson_pdf/pbsrenewal.pdf

PBS Number:
2-613421

Petroleum Bulk Storage Application

Section C - Tank Ownership Information (for PBS tanks listed in Section B)

Tank Owner Information

☒ Check box if same as Facility (Property) Owner.
If tank owner is different from property owner, fill out information below:

Tank Owner Name (Company/Individual):

Contact Person:

Tank Owner Address:

City:

State:

ZIP:

Contact Person Telephone Number:

Contact Person email:

Specific Tanks Owned

☒ Check box if this owner owns all tanks at this facility.
If not, list tanks owned by this owner below:

Tank Number:

Name of Class B (Daily On-Site) Operator:

Authorization No:

Name of Class A (Primary) Operator:

Authorization No:

Tank Owner Information

☐ Check box if same as Facility (Property) Owner.
If tank owner is different from property owner, fill out information below:

Tank Owner Name (Company/Individual):

Contact Person:

Tank Owner Address:

City:

State:

ZIP:

Contact Person Telephone Number:

Contact Person email:

Specific Tanks Owned

☐ Check box if this owner owns all tanks at this facility.
If not, list tanks owned by this owner below:

Tank Number:

Name of Class B (Daily On-Site) Operator:

Authorization No:

Name of Class A (Primary) Operator:

Authorization No:

Page 1 of 1 PBS No:2-613421

001	002	003	004	005
006				

PETROLEUM BULK STORAGE APPLICATION - SECTION B - TANK INFORMATION - CODE KEY

Action (1)

1. Initial Listing
2. Add Tank
3. Close/Remove Tank
4. Information Correction
5. Repair/Reline Tank

Tank Location (3)

1. Aboveground-contact w/soil
2. Aboveground-contact w/impervious barrier
3. Aboveground on saddles, legs, stilts, rack or cradle
4. Partially buried tank (tank with 10% or more below ground)
5. Underground including vaulted with no access for inspection
6. Aboveground in Subterranean Vault w/access for inspections

Status (4)

1. In-service
2. Out-of-service
3. Closed-Removed
4. Closed- In Place
5. Tank converted to Non-Regulated use

Products Stored (7)

Heating Oils: On-Site Consumption

0001. #2 Fuel Oil
0002. #4 Fuel Oil
0259. #5 Fuel Oil
0003. #6 Fuel Oil
0012. Kerosene
0591. Clarified Oil
2711. Biofuel Oil
2642. Used Oil (Heating)

Heating Oils: Resale/Redistribution

2718. #2 Fuel Oil
2719. #4 Fuel Oil
2720. #5 Fuel Oil
2721. #6 Fuel Oil
2722. Kerosene
2723. Clarified Oil
2724. Biofuel Oil

Motor Fuels

0009. Gasoline
2712. Gasoline/Ethanol

0008. Diesel
2710. Biodiesel
0011. Jet Fuel
1044. Jet Fuel (Biofuel)
2641. Aviation Gasoline

Emergency Generator Fuels

0001. #2 Fuel Oil
2730. Biodiesel (E-Gen)
2731. Diesel (E-Gen)

Lubricating/Cutting Oils

0013. Lube Oil
0015. Motor Oil
1045. Gear/Spindle Oil
0010. Hydraulic Oil
0007. Cutting Oil
0021. Transmission Fluid
1836. Turbine Oil
0308. Petroleum Grease

Oils Used as Building Materials

2626. Asphaltic Emulsions
0748. Form Oil

Petroleum Spirits

0014. White/Mineral Spirits
1731. Naptha

Mineral/Insulating Oils

0020. Insulating Oil (e.g., Transformer, Cable Oil)
2630. Mineral Oil

Waste/Used/Other Oils

- 0022 Waste/Used Oil
9999. Other-Please list:*

Crude Oil

0006. Crude Oil
0701. Crude Oil Fractions

Tank Type (8)

01. Steel/Carbon Steel/Iron
02. Galvanized Steel Alloy
03. Stainless Steel Alloy
04. Fiberglass Coated Steel
05. Steel Tank in Concrete
06. Fiberglass Reinforced Plastic (FRP)
07. Plastic
08. Equivalent Technology

09. Concrete
10. Urethane Clad Steel
99. Other-Please list:*

Internal Protection (9)

00. None
01. Epoxy Liner
02. Rubber Liner
03. Fiberglass Liner (FRP)
04. Glass Liner
99. Other-Please list:*

External Protection (10/18)

00. None
01. Painted/Asphalt Coating
02. Original Sacrificial Anode
03. Original Impressed Current
04. Fiberglass
05. Jacketed
06. Wrapped (Piping)
07. Retrofitted Sacrificial Anode
08. Retrofitted Impressed Current
09. Urethane
99. Other-Please list:*

Tank Secondary Containment (11)

00. None
01. Diking (AST Only)
02. Vault (w/access)
03. Vault (w/o access)
04. Double-Walled (UST Only)
05. Synthetic Liner
06. Remote Impounding Area
07. Excavation Liner
09. Modified Double-Walled (AST Only)
10. Impervious Underlayment (AST Only)**
11. Double Bottom (AST Only)**
12. Double-Walled (AST Only)
99. Other - Please list*

Tank Leak Detection (12)

00. None
01. Interstitial Electronic Monitoring
02. Interstitial Manual Monitoring
03. Vapor Well
04. Groundwater Well
05. In-Tank System (Auto Tank

06. Impervious Barrier/Concrete Pad (AST Only)
07. Statistical Inventory Reconciliation (SIR)
08. Weep holes in vaults with no access for inspection
99. Other-Please list: *

Overfill Protection (13)

00. None
01. Float Vent Valve
02. High Level Alarm
03. Automatic Shut-Off
04. Product Level Gauge (AST Only)
05. Vent Whistle
99. Other-Please list:*

Spill Prevention (14)

00. None
01. Catch Basin
99. Other-Please list:*

Pumping/Dispensing Method (15)

00. None
01. Pressurized Dispenser
02. Suction Dispenser
03. Gravity
04. On-Site Heating System (Suction)
05. On-Site Heating System (Supply/Return)
06. Tank-Mounted Dispenser
07. Loading Rack/Transfer Pump

Piping Location (16)

00. No Piping
01. Aboveground
02. Underground/On-ground
03. Aboveground/Underground Combination

Piping Type (17)

00. None
01. Steel/Carbon Steel/Iron
02. Galvanized Steel
03. Stainless Steel Alloy
04. Fiberglass Coated Steel
05. Steel Encased in Concrete

06. Fiberglass Reinforced Plastic (FRP)
07. Plastic
08. Equivalent Technology
09. Concrete
10. Copper
11. Flexible Piping
99. Other-Please list:*

Piping Secondary Containment (19)

00. None
01. Diking (Aboveground Only)
02. Vault (w/access)
04. Double-Walled (Underground Only)
06. Remote Impounding Area
07. Trench Liner
12. Double-Walled (Aboveground Only)
99. Other-Please list: *

Pipe Leak Detection (20)

00. None
01. Interstitial Electronic Monitoring
02. Instertitial Manual Monitoring
03. Vapor Well
04. Groundwater Well
07. Pressurized Piping Leak Detector
09. Exempt Suction Piping
10. Statistical Inventory Reconciliation (SIR)
99. Other-Please list:*

Under Dispenser Containment

(UDC) (21)

Check Box if Present

* If other, please list on a separate sheet including tank number,

** Each of these codes must be combined with code 01 or 06 to meet compliance requirements.

Appendix C: BUD No. 1462-2-03

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Materials Management, Region 2
47-40 21st Street, Long Island City, NY 11101
P: (718) 482-4996 | F: (718) 482-6391
www.dec.ny.gov

ELECTRONIC MAIL ONLY

March 4, 2021

Ana Barrio
Deputy Commissioner
Bureau of Engineering Design & Construction
New York City Department of Environmental Protection
96-05 Horace Harding
Expressway
Corona, NY 11368

Re: BUD No. 1462-2-03
New Anaerobic Digester Facilities
Hunts Point Wastewater Resource Recovery Facility (WRRF)

Dear Ms. Barrio:

The New York State Department of Environmental Conservation (Department) has reviewed the New York City Department of Environmental Protection (DEP) January 25, 2021 request for a case-specific Beneficial Use Determination for the upcoming construction (Contract HP-238) at the Hunts Point Wastewater Resource Recovery Facility (WRRF) and the Barretto Point Site. Specifically, DEP proposes to beneficially use approximately 14,500 cubic yards of demarcated clean fill from Barretto Point fill material as backfill material following demolition of four of the existing digesters at the Hunts Point WRRF. Both properties are owned and controlled by the City of New York and all material will be controlled and maintained under New York City ownership throughout and following completion of the construction project.

Based on the January 25, 2021 submission and sample results, BUD No. 1462-2-03 hereby approved subject to the following conditions:

1. Approximately 14,500 cubic yards are approved under this BUD.
2. Only clean fill used as backfill above the seasonal high water table in the existing digester demolition area at the Hunts Point WRRF is approved under this BUD. All fill material must meet the chemical requirements of Restricted Use Fill in 6 NYCRR Part 360, Section 360.13(f), Table 2: Fill Material Beneficial Use except for the very slight Chromium exceedances in the fill material represented by samples MR-1, MR-3, MR-5, and MR-10.
3. The fill material is allowed up to 40 percent by volume inert, non-putrescible non-soil constituents where inert, non-putrescible materials exclude plastic, gypsum wallboard, wood, paper, and other material that may readily degrade or produce odors, whether recognizable or not. However, no hazardous waste, MSW, ash, slag, or pieces of metal (e.g., pipes, etc.) may not be present in any amount.
4. Fill material represented by sample MR9 may not be reused.
5. Within (timeframe) of placement in its final location of use, the fill material shall be covered with 1 foot, after compaction, of clean soil and ballast. The clean soil cover shall be General Fill as per Part 360.13(f) and the ballast shall be gravel, rock, or stone, consisting of virgin material from a permitted mine or quarry as per NYSDEC



Department of
Environmental
Conservation

DER-10, 5.4(e)5.i. Prior to placement of the 1 foot of clean soil, a demarcation layer will be installed to identify the top of the reused imported clean fill.

6. Excavated material is required to be placed in its final destination within four years of excavation and may be stockpiled at the generating site during this period of time as long as the stormwater controls, including but not limited to hay bales, silt fencing, and covers, are continuously in place to prevent, to the maximum extent practicable, run-off from the stockpile(s) of fill material or any nuisance conditions.
7. Any excavated materials which cannot be used pursuant to this BUD are subject to all applicable 6 NYCRR Part 360 series regulations for transport, storage, processing and disposal.
8. The New York City Department of Environmental Protection must submit an annual report, by March 1st, summarizing the quantity of fill material used pursuant to this BUD during the previous calendar year. The annual reports, and other correspondence related to this BUD, should be sent to:

Kenneth B. Brezner, P.E.
Regional Materials Management
Engineer
NYSDEC Region 2
47-40 21st Street
Long Island City, NY 11101-5407

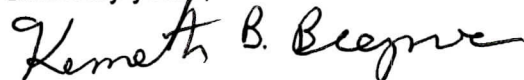
Kathleen Prather, P.E.
Bureau of Solid Waste Management
Division of Materials Management
NYSDEC
625 Broadway, 9th Floor
Albany, NY 12233-7260

Submission may be made electronically upon arrangement with the above addressees.

9. The Department reserves the right to modify, suspend, or revoke this BUD at any time, upon notice and opportunity to be heard, if it finds pursuant to 6 NYCRR Part 360.12(d)(5) any of the following: that one or more factors serving as the basis for this BUD is incorrect or no longer valid; or the Department finds there has been a violation of the conditions of this BUD; or if necessary to prevent adverse impacts to the public health or the environment or to control nuisances.
10. This determination does not relieve the New York City Department of Environmental Protection or its contractors from responsibility to comply with applicable local, state or federal requirements.
11. This BUD will expire on February 28, 2026. A renewal may be granted upon written request and justification.

Please contact me if you have any questions regarding this determination.

Sincerely yours,



Kenneth B. Brezner, P.E.
Regional Materials Management Engineer

ec: K. Prather, NYSDEC

J. O'Connell, NYSDEC

R. Lee, NYSDEC

Nayan Shah, Portfolio Manager, NYCDEP [Nayans@dep.nyc.gov]

1462-2-03_NYCDEP_Hunt's_Point_New_Anaerobic_Digester_BUD.2021-03-05.Letter

Appendix D: Certification Forms



Enclosure 2
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
Site Management Periodic Review Report Notice
Institutional and Engineering Controls Certification Form



Site Details

Box 1

Site No. **B00032**

Site Name **Barretto Point**

Site Address: 1121 Viele Avenue & 1240 Viele Avenue Zip Code: 10474

City/Town: Bronx

County: Bronx

Site Acreage: 13.220

Reporting Period: February 17, 2021 to February 17, 2023

YES NO

1. Is the information above correct? ☒ ☐

If NO, include handwritten above or on a separate sheet.

2. Has some or all of the site property been sold, subdivided, merged, or undergone a tax map amendment during this Reporting Period? ☐ ☒

3. Has there been any change of use at the site during this Reporting Period (see 6NYCRR 375-1.11(d))? ☐ ☒

4. Have any federal, state, and/or local permits (e.g., building, discharge) been issued for or at the property during this Reporting Period? ☒ ☐

If you answered YES to questions 2 thru 4, include documentation or evidence that documentation has been previously submitted with this certification form.

5. Is the site currently undergoing development? ☒ ☐

Box 2

YES NO

6. Is the current site use consistent with the use(s) listed below? ☒ ☐
Industrial

7. Are all ICs in place and functioning as designed? ☒ ☐

IF THE ANSWER TO EITHER QUESTION 6 OR 7 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

Description of Institutional Controls

<u>Parcel</u>	<u>Owner</u>	<u>Institutional Control</u>
2777-100	City of New York	Landuse Restriction Site Management Plan IC/EC Plan Ground Water Use Restriction
<ol style="list-style-type: none"> 1. Prohibition against use of groundwater without treatment. 2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1). 3. Annual inspections of site. 4. Compliance with Site Management Plan. 		
2777-105	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
<ol style="list-style-type: none"> 1. Prohibition against use of groundwater without treatment. 2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1). 3. Annual inspections of site. 4. Compliance with Site Management Plan. 		
2777-600	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
<ol style="list-style-type: none"> 1. Prohibition against use of groundwater without treatment. 2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1). 3. Annual inspections of site. 4. Compliance with Site Management Plan. 		
2777-901	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan
<p>NOT CERTIFIED BY DEP</p> <ol style="list-style-type: none"> 1. Prohibition against use of groundwater without treatment. 2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1). 3. Annual inspections of site. 4. Compliance with Site Management Plan. 		
2779-1	City of New York	Ground Water Use Restriction Landuse Restriction Site Management Plan IC/EC Plan

1. Prohibition against use of groundwater without treatment.
2. Use must be maintained as Commercial with Passive Recreational Use on 6.52 acres of site (Block 2777, Lot 901), and as Industrial on remaining 6.7 acres of site (Block 2777, Lots 100, 105 and 600 and Block 2779, Lot 1).
3. Annual inspections of site.
4. Compliance with Site Management Plan.

Box 4

Description of Engineering Controls

Parcel

Engineering Control

2777-100

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-105

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-600

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2777-901

Cover System
Fencing/Access Control

NOT CERTIFIED BY DEP

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

2779-1

Cover System
Fencing/Access Control

A cover consisting of a minimum of 18 inches of clean soil and 6 inches of crushed stone in a 2.5-acre portion of the site; a 2-foot clean soil cover in the Barretto Point Park portion of the site (6.52 acres); and a layer of existing fill, asphalt, gravel or vegetation in the remaining site area (4.2 acres).

Periodic Review Report (PRR) Certification Statements

1. I certify by checking "YES" below that:

a) the Periodic Review report and all attachments were prepared under the direction of, and reviewed by, the party making the Engineering Control certification;

b) to the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and the information presented is accurate and complete.

YES NO



2. For each Engineering control listed in Box 4, I certify by checking "YES" below that all of the following statements are true:

(a) The Engineering Control(s) employed at this site is unchanged since the date that the Control was put in-place, or was last approved by the Department;

(b) nothing has occurred that would impair the ability of such Control, to protect public health and the environment;

(c) access to the site will continue to be provided to the Department, to evaluate the remedy, including access to evaluate the continued maintenance of this Control;

(d) nothing has occurred that would constitute a violation or failure to comply with the Site Management Plan for this Control; and

(e) if a financial assurance mechanism is required by the oversight document for the site, the mechanism remains valid and sufficient for its intended purpose established in the document.

Note: A Corrective Measures Work Plan is not required because the Engineering Control was impacted through the course of construction and not due to misuse or damage, and there is no uncontrolled exposure to contamination or potential for exposure to the public. The project will result in the construction of new Treatment Plant structures and paved surfaces, capping any remaining contamination. Details are provided in the PRR.

YES NO



IF THE ANSWER TO QUESTION 2 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

IC CERTIFICATIONS
SITE NO. B00032

Box 6


SITE OWNER OR DESIGNATED REPRESENTATIVE SIGNATURE

I certify that all information and statements in Boxes 1,2, and 3 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I James Morrow, PE at 1 Penn Plaza, 54th Floor, Suite 5420,
print name print business address

am certifying as Designated Representative (Owner or Remedial Party)

for the Site named in the Site Details Section of this form.


Signature of Owner, Remedial Party, or Designated Representative
Rendering Certification

3/14/2023
Date

EC CERTIFICATIONS

Box 7

Qualified Environmental Professional Signature

I certify that all information in Boxes 4 and 5 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Tyler Chow, PE at 1 Penn Plaza, 54th Floor, Suite 5420,
print name print business address

am certifying as a Qualified Environmental Professional for the NYC DEP
(Owner or Remedial Party)



Signature of Qualified Environmental Professional, for
the Owner or Remedial Party, Rendering Certification

097660

Stamp
(Required for PE)

March 14, 2023

Date

Appendix E: Discharge Permit



December 15, 2022

Rohit T. Aggarwala
Commissioner

Angela M. De Lillo, P.E.
Acting Deputy Commissioner
Bureau of Wastewater Treatment

96-05 Horace Harding
Expressway – 2nd Floor
Corona, NY 11368

New York City Department of
Environmental Protection
Bureau of Engineering Design &
Construction
59-17 Junction Boulevard
Flushing, NY 11373
Attn: Nayan Shah, P.E.

**Re: Groundwater Discharge, HP-238 Hunts Point WWTP New
Anaerobic Digester Facilities, 1240 Viele Avenue, Bronx,
(DEP Funded), Letter of Approval No. 22-C-7887-1**

Dear Nayan Shah:

This is in response to the August 6, 2021 and October 12 and 27 and November 4, 17, and 18, 2022 submissions requesting permission to discharge up to **100,000 gallons per day (gpd)** of groundwater generated during the construction of new anaerobic digesters and associated facilities located at 1240 Viele Avenue, Bronx, NY 10474. The groundwater will be treated through one 8,000 gallon settling tank and one 1,200 gallon (150 gpm) oil/water separator, per provided schematic and information, before discharging to an underground sewer connection. The sewer connection leads to the existing 42" combined sewer located under Barretto Street between Ryawa and Viele Avenues in Bronx, NY.

Based upon the information, schematic and analytical data submitted, the property owner New York City Department of Environmental Protection and agents of the property owner who are authorized to act on the property owner's behalf in this matter (hereinafter referred to as "the owner and its authorized agents") are hereby conditionally authorized, to discharge up to 100,000 gpd of the groundwater, treated through the above system, per provided schematic and information, as specified in your submissions, **for a period of one year**, to the combined sewer at the above mentioned location. **This Letter of Approval shall expire at midnight on December 14, 2023.**

This conditional approval, however, is subject to your obtaining a groundwater discharge Approval, specifying allowable flow rates, from the Chief of Permitting and Compliance, Bureau of Water and Sewer Operations. The owner and its authorized agents are required to follow manufacturer specifications for the operation and maintenance of the selected equipment. **This Letter of Approval is contingent upon compliance on the part of the owner and its authorized agents with any federal, state, or local requirements applicable to the permitted activity.**

Under no circumstances shall muddy water be discharged into the public

sewer.

A permit shall be obtained from the Bureau of Customer Service for groundwater discharge into the New York City Wastewater System in accordance with the Water and Wastewater Rate Schedule established by the New York City Water Board.

The owner or its authorized agents must notify this section in writing prior to the commencement of discharge. You are required to hold the groundwater to the maximum extent practicable during heavy wet weather events. Please refer to file No. C-7887 in any correspondence to this office.

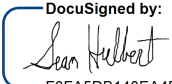
The owner or its authorized agents must install a flow meter to measure the flow of groundwater to the combined sewer.

The owner or its authorized agents must maintain a logbook of the groundwater discharge flow meter for each day of discharge. The logbook must include at a minimum: the date, time, flow meter reading (units in either cubic feet or gallons), difference from previous day's reading (units in either cubic feet or gallons), and employee's signature or initials. The logbook must be available to DEP personnel for review upon request.

This Letter of Approval is an Order of the Commissioner of the Department of Environmental Protection, and applies to the owner and its authorized agents. Please be advised that failure to comply with this Letter of Approval by the owner and its authorized agents may result in the issuance of summonses to either the owner or its authorized agents, or both (returnable to the New York City Office of Administrative Trials and Hearings) and/or revocation of the Letter of Approval. Summonses carry penalties of up to \$10,000 a day, per violation.

If you have any questions concerning this matter, please contact me at (718) 595-4715.

Sincerely,

DocuSigned by:

F0FA5DB140EA4BB...

Sean H. Hulbert, P.E., Acting
Chief, Industrial Resource
Management and Permitting
Section

NYC DEPARTMENT OF PARKS & RECREATION
Photos & Inspection Forms











Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>SUNNY 68°</u>			
Date: <u>10/1/21</u>			Recent Significant Weather Events? Y <u>(N)</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: Felix Rodriguez

Weather/temperature: Sunny 68°

Date: 10-1-21

Recent Significant Weather Events? Y/N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		Where Picnic Tables Are Place	
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Chain Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>Sunny 68</u>			
Date: <u>11-1-21</u>			Recent Significant Weather Events? <u>Y/N</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER			CATCH BASINS/ DRAINS	Clear of obstructions	Y	
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area
Inspected by: Felix Rodriguez
Date: 11-1-21

Weather/temperature: Sunny 52
Recent Significant Weather Events? Y/N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		Where Picnic Tables Are Placed	
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Chain Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A
Depression/settlement					N/A	
Exposed underlying soil					N/A	
Visible white dem. fabric					N/A	
Recent repairs					N/A	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Sunny 50°</i>			
Date: <i>12-3-21</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>			
		Settlement or subsistence		<i>N</i>		
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
		PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>
Depression/settlement				<i>N</i>		
Exposed underlying soil				<i>N</i>		
Visible white dem. fabric				<i>N</i>		
Recent repairs				<i>N</i>		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS			Clear of obstructions	<i>Y</i>	
		Sediment accumulation		<i>N</i>		
		Trash/debris accumulation		<i>N</i>		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>			
		Floor joints/penetrations sealed	<i>Y</i>			
		New floor openings/penetrations		<i>N</i>		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*
Date: *12-3-21*

Weather/temperature: *Sunny 50°*
Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables Are Placed</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Cloudy 30°</i>		
Date: <i>1-3-22</i>			Recent Significant Weather Events? <i>Y/N</i>		
			Status		Corrective Action Required
			Y	N	
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>		
		Erosion		<i>N</i>	
		Mulch coverage	<i>Y</i>		
		Settlement or subsistence		<i>N</i>	
		Visible white demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	SHORELINE	Erosion		<i>N</i>	
		Exposed underlying soil		<i>N</i>	
		Debris washed ashore		<i>N</i>	
		Visible orange demarcation fabric		<i>N</i>	
		Recent excavation/disturbance		<i>N</i>	
		If yes, adequately repaired?			
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>
Depression/settlement				<i>N</i>	
Exposed underlying soil				<i>N</i>	
Visible white dem. fabric				<i>N</i>	
Recent repairs				<i>N</i>	
If yes, adequately repaired?					
STORM WATER			CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>
	Sediment accumulation			<i>N</i>	
	Trash/debris accumulation			<i>N</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>		
		Floor joints/penetrations sealed	<i>Y</i>		
		New floor openings/penetrations		<i>N</i>	
		If yes, sealed air tight?			

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *Cloudy 30°*

Date: *1-3-22*

Recent Significant Weather Events? Y ☒ N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ SHORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>Where Picnic Tables Area Place</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Sunny 25°</i>			
Date: <i>2/2/22</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>			
		Settlement or subsistence		<i>N</i>		
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
Depression/settlement				<i>N</i>		
Exposed underlying soil				<i>N</i>		
Visible white dem. fabric				<i>N</i>		
Recent repairs				<i>N</i>		
If yes, adequately repaired?						
STORM WATER			CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>	
	Sediment accumulation			<i>N</i>		
	Trash/debris accumulation			<i>N</i>		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>			
		Floor joints/penetrations sealed	<i>Y</i>			
		New floor openings/penetrations		<i>N</i>		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *Sunny 25°*

Date:

Recent Significant Weather Events? Y/N *(N)*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic TABLES Area Photo</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>		Weather/temperature: <u>Sunny 31°</u>			
Date: <u>3/4/22</u>		Recent Significant Weather Events? <u>Y/N</u>			
		Status		Corrective Action Required	Correction Date
		Y	N		
SOIL COVER AREAS	PARK LAWN/ SHORT AREAS/TREE PITS	Satisfactory vegetative cover	Y		
		Erosion		N	
		Mulch coverage	Y		
		Settlement or subsistence		N	
		Visible white demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	SHORELINE	Erosion		N	
		Exposed underlying soil		N	
		Debris washed ashore		N	
		Visible orange demarcation fabric		N	
		Recent excavation/disturbance		N	
		If yes, adequately repaired?			
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N
Depression/settlement				N	
Exposed underlying soil				N	
Visible white dem. fabric				N	
Recent repairs				N	
If yes, adequately repaired?					
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y		
		Sediment accumulation		N	
		Trash/debris accumulation		N	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y		
		Floor joints/penetrations sealed	Y		
		New floor openings/penetrations		N	
		If yes, sealed air tight?			

Inspector signature: _____

NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area			Inspected by: <i>Felix Rodriguez</i>		Weather/temperature: <i>Sunny 31°</i>	
Date: <i>3/4/22</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>where Picnic Tables area Place</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>Partly Cloud 53</u>			
Date: <u>April 4th 2022</u>			Recent Significant Weather Events? Y <u>(N)</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <u>Felix Rodriguez</u>	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *Partly Cloud 53°*

Date: *April 4, 2022*

Recent Significant Weather Events? Y/N *(N)*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREA/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables ARE PLACED</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER			CATCH BASINS/ DRAINS	Clear of obstructions		
	Sediment accumulation				<i>N/A</i>	
	Trash/debris accumulation				<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix Rodriguez*

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>Partly Cloud 59°</u>			
Date: <u>May 3, 2022</u>			Recent Significant Weather Events? <u>Y</u> <u>(N)</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y	N		
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions	Y		
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <u>Felix Rodriguez</u>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

<div> <div>Undeveloped Area</div> <div> Inspected by: <u>Felix Rodriguez</u> Date: <u>May 3, 2022</u> </div> </div>			<div> Weather/temperature: <u>Partly Cloudy 59°</u> Recent Significant Weather Events? <u>Y/N</u> </div>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		Where Picnic Tables Are Placed	
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Chain Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature: <u>Felix Rodriguez</u>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u> Sunny 81°</u>			
Date: <u>June 6, 2022</u>			Recent Significant Weather Events? <u>Y/N</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions	Y		
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <u>Felix Rodriguez</u>	NYPE License #:
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Site Inspection Log

Barretto Point Park, Bronx, NY

Inspected by: <i>Undeveloped Area</i> <i>Felix Rodriguez</i>		Weather/temperature: <i>SUNNY 81°</i>				
Date: <i>June 6, 2022</i>		Recent Significant Weather Events? <i>Y (N)</i>				
		Status		Corrective Action Required	Correction Date	
		Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>		<i>Where Picnic Tables are Placed</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
		PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS			Clear of obstructions		
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: *Felix M. Rodriguez* NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Partly Cloudy 84°</i>			
Date: <i>July 6, 2022</i>			Recent Significant Weather Events? Y (N)			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions	Y		
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

<i>Undeveloped Area</i> Inspected by: <i>Felix Rodriguez</i> Date: <i>July 6, 2022</i>			Weather/temperature: <i>Partly Cloud 84°</i> Recent Significant Weather Events? Y/(N)			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y		<i>Where Picnic Tables Are Places</i>	
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		<i>Install Chain Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: <i>Felix Rodriguez</i>	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Sunny/Cloudy 79</i>			
Date: <i>August 1, 2022</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed				
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations	Y			
		If yes, sealed air tight?		N		

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez* Weather/temperature: *Sunny/Cloudy 79*

Date: *August 1* Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage		<i>N</i>		
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Charv. Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature: _____ NYPE License #: _____

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>Sunny / 86</u>			
Date: <u>9-1-22</u>			Recent Significant Weather Events? Y (N)			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions	Y		
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log

Barretto Point Park, Bronx, NY

Undeveloped Area
Inspected by: Felix Rodriguez
Date: 9-1-22

Weather/temperature: Sunny/86
Recent Significant Weather Events? Y/(N)

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREA/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage		N		
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Chain Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <u>Felix Rodriguez</u>			Weather/temperature: <u>Cloudy/58</u>			
Date: <u>10-1-22</u>			Recent Significant Weather Events? <u>Y/N</u>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *Cloudy / 58*

Date: *10-1-22*

Recent Significant Weather Events? *Y/(N)*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage		N		
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Chain Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A
Depression/settlement					N/A	
Exposed underlying soil					N/A	
Visible white dem. fabric					N/A	
Recent repairs					N/A	
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Partly Cloudy / 63</i>			
Date: <i>11-1-22</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage	<i>Y</i>			
		Settlement or subsistence		<i>N</i>		
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		<i>N</i>	
Depression/settlement				<i>N</i>		
Exposed underlying soil				<i>N</i>		
Visible white dem. fabric				<i>N</i>		
Recent repairs				<i>N</i>		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	<i>Y</i>			
		Sediment accumulation		<i>N</i>		
		Trash/debris accumulation		<i>N</i>		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	<i>Y</i>			
		Floor joints/penetrations sealed	<i>Y</i>			
		New floor openings/penetrations		<i>N</i>		
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area		Weather/temperature: <i>Partly Cloudy / 67</i>				
Inspected by: <i>Felix Rodriguez</i>		Recent Significant Weather Events? <i>Y/N</i>				
Date: <i>11-1-22</i>						
		Status		Corrective Action Required	Correction Date	
		Y	N			
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage		<i>N</i>		
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>INSTALL CHARV. LINK FENCE</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>
Depression/settlement					<i>N/A</i>	
Exposed underlying soil					<i>N/A</i>	
Visible white dem. fabric					<i>N/A</i>	
Recent repairs					<i>N/A</i>	
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>
	Sediment accumulation				<i>N/A</i>	
	Trash/debris accumulation				<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints /penetrations sealed			<i>N/A</i>	
		New floor openings/ pen etrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature:	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Cloudy 15°</i>			
Date: <i>12-7-22</i>			Recent Significant Weather Events? <i>Y/N</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
		PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS			Clear of obstructions	Y	
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: Felix Rodriguez

Weather/temperature: Cloudy / 59

Date: 12-7-22

Recent Significant Weather Events? Y/N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage		N		
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Charv. Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
		STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions		
Sediment accumulation					N/A	
Trash/debris accumulation					N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Cloudy / 55</i>			
Date: <i>1-3-23</i>			Recent Significant Weather Events? <i>Y / (N)</i>			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions	Y			
		Sediment accumulation		N		
		Trash/debris accumulation		N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: Felix Rodriguez

Weather/temperature: Cloudy / 55

Date: 1-3-23

Recent Significant Weather Events? Y/N

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage		N		
		Settlement or subsistence			N/A	
		Visible white demarcation fabric		N		
		Recent excavation/disturbance	Y		Install Charv. Link Fence	
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			N/A	
		Depression/settlement			N/A	
		Exposed underlying soil			N/A	
		Visible white dem. fabric			N/A	
		Recent repairs			N/A	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			N/A	
		Sediment accumulation			N/A	
		Trash/debris accumulation			N/A	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			N/A	
		Floor joints/penetrations sealed			N/A	
		New floor openings/penetrations			N/A	
		If yes, sealed air tight?				

Inspector signature:

NYPE License #:

Site Inspection Log
Barretto Point Park, Bronx, NY

Inspected by: <i>Felix Rodriguez</i>			Weather/temperature: <i>Cloudy/38</i>			
Date: <i>2/1/23</i>			Recent Significant Weather Events? Y/ <input checked="" type="radio"/> N			
			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	Y			
		Erosion		N		
		Mulch coverage	Y			
		Settlement or subsistence		N		
		Visible white demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	SHORELINE	Erosion		N		
		Exposed underlying soil		N		
		Debris washed ashore		N		
		Visible orange demarcation fabric		N		
		Recent excavation/disturbance		N		
		If yes, adequately repaired?				
	PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces		N	
Depression/settlement				N		
Exposed underlying soil				N		
Visible white dem. fabric				N		
Recent repairs				N		
If yes, adequately repaired?						
STORM WATER		CATCH BASINS/ DRAINS	Clear of obstructions	Y		
	Sediment accumulation			N		
	Trash/debris accumulation			N		
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed	Y			
		Floor joints/penetrations sealed	Y			
		New floor openings/penetrations		N		
		If yes, sealed air tight?				

Inspector signature:	NYPE License #:
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Site Inspection Log
Barretto Point Park, Bronx, NY

Undeveloped Area

Inspected by: *Felix Rodriguez*

Weather/temperature: *Cloudy / 38*

Date: *2/1/23*

Recent Significant Weather Events? *Y/N*

			Status		Corrective Action Required	Correction Date
			Y	N		
SOIL COVER AREAS	PARK LAWN/ HORT AREAS/TREE PITS	Satisfactory vegetative cover	<i>Y</i>			
		Erosion		<i>N</i>		
		Mulch coverage		<i>N</i>		
		Settlement or subsistence			<i>N/A</i>	
		Visible white demarcation fabric		<i>N</i>		
		Recent excavation/disturbance	<i>Y</i>		<i>Install Charv. Link Fence</i>	
		If yes, adequately repaired?				
	SHORELINE	Erosion		<i>N</i>		
		Exposed underlying soil		<i>N</i>		
		Debris washed ashore		<i>N</i>		
		Visible orange demarcation fabric		<i>N</i>		
		Recent excavation/disturbance		<i>N</i>		
		If yes, adequately repaired?				
PAVED SURFACES	CONCRETE/ASPHALT/ PAVERS/SIDEWALKS	Cracks, missing pieces			<i>N/A</i>	
		Depression/settlement			<i>N/A</i>	
		Exposed underlying soil			<i>N/A</i>	
		Visible white dem. fabric			<i>N/A</i>	
		Recent repairs			<i>N/A</i>	
		If yes, adequately repaired?				
STORM WATER	CATCH BASINS/ DRAINS	Clear of obstructions			<i>N/A</i>	
		Sediment accumulation			<i>N/A</i>	
		Trash/debris accumulation			<i>N/A</i>	
GAS VENTING	COMFORT STATION BASE/FLOOR	Clearance below unobstructed			<i>N/A</i>	
		Floor joints/penetrations sealed			<i>N/A</i>	
		New floor openings/penetrations			<i>N/A</i>	
		If yes, sealed air tight?				

Inspector signature:

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