

July 31, 2014

Ronnie Lee
Project Manager
NYSDEC
Division of Environmental Remediation, BURB
625 Broadway
Albany, New York 12233-7016

**Re: Site Management Plan- Periodic Review Report
Reporting Period - June 14, 2013 to June 14, 2014
Kips Bay Fuel Terminal Site (BCP # C234014)
626 First Avenue
New York, New York
BCP Index No. A2-0515-0405, Site No. C234014
Langan Project No.: 170234201**

Dear Mr. Lee:

This letter documents ongoing compliance with the September 2011 Site Management Plan (SMP) that was prepared in accordance with the New York State Brownfield Cleanup Program (BCP) for the Former Kips Bay Fuel Terminal site. The site is located at 626 First Avenue in the Midtown East neighborhood of New York, New York. A site location map is provided as Figure 1. The site is also identified on the New York City Tax Map as Tax Block 967, Lots 1 and 2. The site was remediated and a certificate of completion (COC) was issued in December 2011. As the site was not remediated to Track 1 standards, engineering controls and institutional controls (EC/IC) were implemented. The EC/ICs are required to be maintained and monitored in accordance with the SMP.

The site is divided into two parcels along the tax lot boundaries (see Figure 2). The southwestern portion of the site (Block 967, Lot 2) was developed into a new school by the New York City School Construction Authority (SCA). Construction activities are ongoing for the remainder of the site (Block 967, Lot 1).

Site Background

The approximately 68,800-square-foot, rectangular shaped site is bordered to the north by East 36th Street, to the east by the Franklin D. Roosevelt (FDR) Drive, to the south by East 35th Street, and to the west by First Avenue. The site is located in a neighborhood primarily characterized by multi-story commercial and residential developments.

The site operated as a lumber and coal/wood yard prior to 1899. By 1910, the northern portion of the site had been developed with a one-story building and was occupied by the Liquid Carbonic Company. The remainder of the site continued to operate as a lumberyard until circa 1926 when the eastern portion of the site was redeveloped into a steam plant operated by the New York Steam Corporation.

By 1980, the steam plant was owned by the Con Edison Company. Fuel oil underground storage tanks (UST) and transformers were located on the west side of the property. The steam plant was demolished between circa 1987 and circa 1994. The site was then occupied by the Kips Bay Fuel Terminal which stored fuel oil in a 255,000-gallon UST and served as a backup fuel depot for the natural gas-powered steam boilers at Con Edison's Waterside Generating Station.

The site was remediated in accordance with Voluntary Cleanup Order (VCO) Index #D2-001-01-03, which was executed on June 27, 2001. In 2005, 616 First Realty Company LLC acquired the site from Con Edison. Remediation at the site was completed between March 2001 and August 2004. Remediation included:

- Demolition and asbestos abatement of existing site structures
- 255,000-gallon underground storage tank (UST) (No 4/6 fuel oil) and associated petroleum-impacted soil removal
- Pipeline No. 5 (fuel oil supply line) and associated petroleum-impacted soil removal
- Transformer area polychlorinated biphenyl (PCB) soil remediation
- Ash pit excavation
- Pipeline No. 6 (fuel oil supply line) removal
- 475-gallon UST and associated petroleum-impacted soil removal
- Site wide soil remediation

In December 2009, the New York City SCA acquired a portion of the site (Block 967, Lot 2) for construction of a new public school. The 2001 VCO was superseded by Brownfield Cleanup Agreement (BCA) Index # A2-0515-0405, which was executed by the NYSDEC in June 2010. A certificate of completion was issued in December 2011. In February 2013, Block 967, Lot 1 was acquired by 616 First Avenue LLC with the intention of constructing two high rise residential towers.

SMP Compliance- Lot 1

Institutional Control – Lot 1

The institutional control for the site is an environmental easement that contains restrictions and/or prohibitions with respect to disturbances of soil below development depth¹ and usage of groundwater. Construction and ground-intrusive work below the development depth, including earthwork and foundation activities, began in June 2013 and is ongoing. All soil that was disturbed below the development depth has been properly handled and disposed in accordance with all applicable regulations. Groundwater encountered during excavation has been properly treated and discharged into the New York City storm sewer (located on East 35th Street between the FDR Service Road and First Avenue). The following is an update of the status of the requirements of the SMP for the site engineering controls.

Engineering Control – Lot 1

The engineering control for the site is a composite cover system consisting of clean sand and 6 to 12 inches of 1.5-inch crushed stone gravel across Lot 1. The composite cover system was removed for earthwork and foundation construction. Upon completion of construction, the future cover system at the site will include building structures, concrete and asphalt paving and/or a minimum of two feet of cover consisting of clean fill in landscaped areas.

Mobilization to the site for earthwork and foundation activities began in June 2013. Prior to commencement of construction activities, the composite cover system was intact. The support of excavation for the building foundation began in September 2013. A groundwater cutoff wall was constructed spanning the perimeter of the site. The construction of the wall consisted of augured secant piles (overlapping 39-inch diameter shafts drilled into bedrock or native soil) and sheet piles (50-foot steel sheets vibrated into the subsurface) to prevent infiltration of groundwater and to facilitate dewatering. The composite cover system was breached during secant pile and sheet pile installation activities and was completely removed during site-wide excavation.

Langan documented all ground-intrusive work below the development depth in the SMP Operation Report, which is provided as Appendix A. Photographs of ground-intrusive construction activities and current site conditions are provided as Appendix B.

SMP Compliance- Lot 2

There have been no changes or actions in Lot 2 since the last report period of December 14, 2011 to June 2013.

Closing

¹ Development depth is defined as the top of competent bedrock or the mean high water table (-0.4 feet Manhattan Highway Datum), whichever is higher.

The undersigned certifies that the SMP is being implemented in accordance with the schedules discussed above. The completed Institutional and Engineering Controls Certificate Forms for Lots 1 and 2 are provided as Appendix C. The completed site inspection form is included in as Appendix D. Should you have any questions, please contact me at 212-479-5404.

Sincerely,

**Langan Engineering, Environmental, Surveying
and Landscape Architecture, D.P.C.**

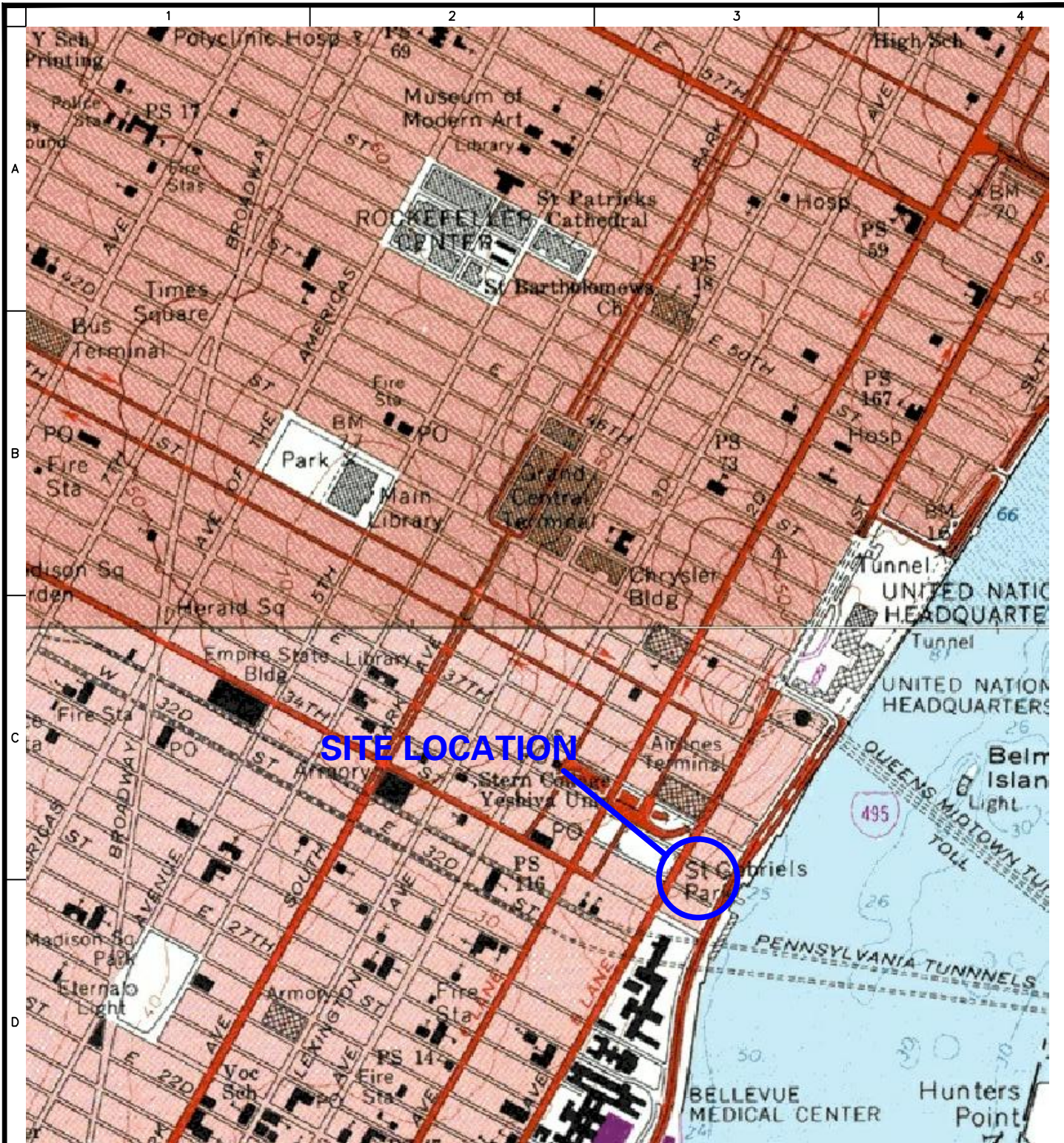


Joel B. Landes, P.E.
Senior Consultant

Enclosure(s): Figure 1- Site Location Map
 Figure 2- Site Layout Map
 Appendix A- SMP Operations Report
 Appendix B- Photographic Documentation
 Appendix C- NYSDEC Certificate Form
 Appendix D- Site Inspection Form

cc:
S. Gavigan, M. Stern- 616 First Ave LLC
A. Rubino- SCA
R. Manderbach, J. Good- Langan

FIGURES



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

LANGAN

21 Penn Plaza, 360 West 31st Street, 8th Floor
New York, NY 10001

T: 212.479.5400 F: 212.479.5444 www.langan.com

Langan Engineering, Environmental, Surveying and
Landscape Architecture, D.P.C.

Langan Engineering and Environmental Services, Inc.
Langan International LLC

Collectively known as Langan

Project

626 1ST AVENUE

NEW YORK

Drawing Title

**SITE LOCATION
MAP**

NEW YORK

Project No.
170234201

Date
05/09/2013

Scale
NTS

Drawn By
JFG

Submission Date
05/09/2013

Drawing No.

1

Sheet 2 of 2



GENERAL NOTES

- 1. BASE PLAN TAKEN FROM THE NEW YORK CITY DEPARTMENT OF FINANCE DIGITAL TAX MAP ON MAY 10, 2013.
- 2. PROPERTY BOUNDARIES ARE APPROXIMATE.

LEGEND:



APPROXIMATE SITE FOOTPRINT

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

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Collectively known as Langan

Project

626 1ST AVENUE

NEW YORK

NEW YORK

Drawing Title

**SITE LAYOUT
PLAN**

Project No.
170234201

Date
01/08/2014

Scale
N.T.S.

Drawn By
SH

Submission Date

Drawing No.

2

Sheet 1 of 2

APPENDIX A- SMP OPERATIONS REPORT

APPENDIX B- PHOTOGRAPHIC DOCUMENTATION



Photograph 1 – Facing south towards 35th Street. 06/14/2013



Photograph 2 – Facing west. View of caisson installation. 06/27/2013



**Photograph 3 – Facing east. View of predrilling at a caisson location with an auger rig.
7/23/2013**



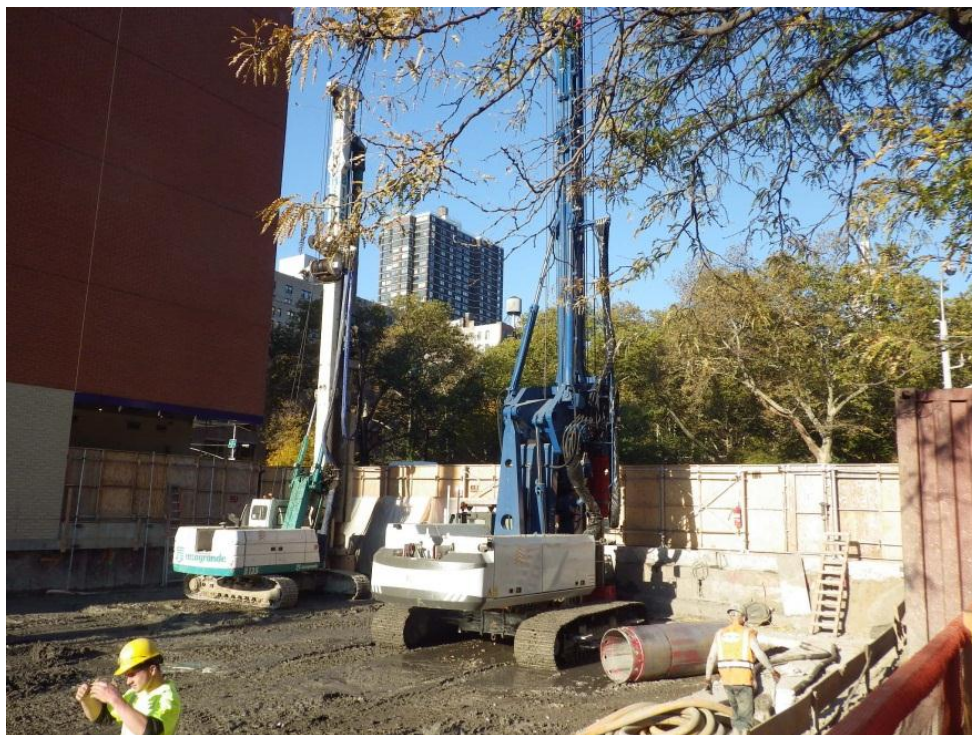
**Photograph 4 – View of SOE excavation along southwest of property in grids 8, 9, and
10. 9/16/2013**



Photograph 5 – Facing west. View of covered stockpiles of excavated material. 9/20/2013



**Photograph 6 – View of EWMI collecting shallow TPH grab samples for waste disposal.
10/01/2013**



Photograph 7 –View of secant pile installation activities in the western portion of the site. 10/22/2013.



Photograph 8 – View of soil excavation and disposal. 10/25/2013



**Photograph 9 – View of truck wash system removing soil from tri-axel dump trucks.
10/25/2013.**



Photograph 10 – View of secant pile installation. 11/18/2013



Photograph 11 – View of soil sampling from an impacted stockpile. 11/18/2013



Photograph 12 – View of soil handling activities. 1/07/2013



Photograph 13 – View of tieback installation. 2/18/2014



Photograph 14 – View of covered stockpile. 2/18/2014



Photograph 15 – Facing south. View of sheeting installation. 2/24/2014



Photograph 16 – View of dewatering well installation. 3/14/2014



Photograph 17 – View of soil excavation in the western portion of the site. 3/26/2014



**Photograph 18 – View of soil excavation and direct loading into tri-axel dump trucks.
4/4/2014**



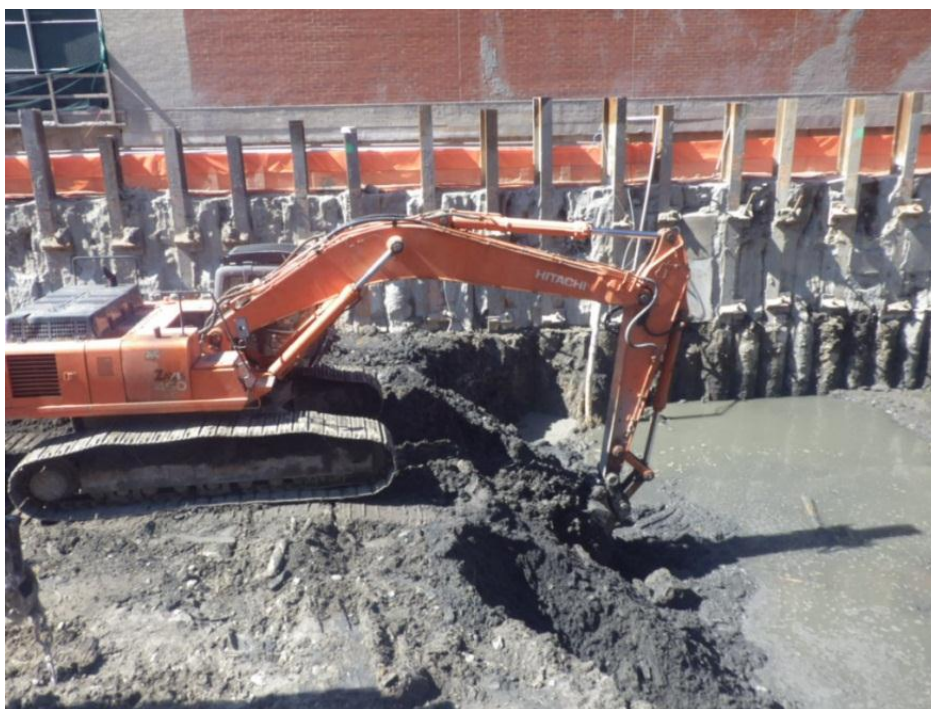
Photograph 19 – View of stockpiling timbers on grid 15. 4/24/2014



Photograph 20 – Facing east. View of excavated area to approximately 12 feet below grade surface. 4/26/2014



Photograph 21 – View of contractor implementing dust suppression. 5/7/2014



**Photograph 22 – View of soil excavation between 12 and 22 feet below grade surface.
5/7/2014**



Photograph 23 – Facing north. View of excavated area to approximately 22 feet below grade surface. 5/27/2014



Photograph 24 – View of dewatering well installation. 5/30/2014



Photograph 25 – View of soil excavation at depths of approximately 22 feet below grade surface. 5/31/2014

APPENDIX C- NYSDEC CERTIFICATE FORM



Enclosure 2
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
Site Management Periodic Review Report Notice
Institutional and Engineering Controls Certification Form



Site Details		Box 1
Site No.	C231014	
Site Name Kips Bay Fuel Terminal (First Ave.prop)		
Site Address: ⁶²⁶ 616 First Avenue and 425 E. 35th St. Zip Code: 10016-		
City/Town: New York		
County: New York		
Site Acreage: 1.6		
Reporting Period: June 14, 2013 to June 14, 2014		
		YES NO
1. Is the information above correct?		<input type="checkbox"/> <input checked="" type="checkbox"/>
If NO, include handwritten above or on a separate sheet.		
2. Has some or all of the site property been sold, subdivided, merged, or undergone a tax map amendment during this Reporting Period?		<input type="checkbox"/> <input checked="" type="checkbox"/>
3. Has there been any change of use at the site during this Reporting Period (see 6NYCRR 375-1.11(d))?		<input type="checkbox"/> <input checked="" type="checkbox"/>
4. Have any federal, state, and/or local permits (e.g., building, discharge) been issued for or at the property during this Reporting Period?		<input checked="" type="checkbox"/> <input type="checkbox"/>
If you answered YES to questions 2 thru 4, include documentation or evidence that documentation has been previously submitted with this certification form. (See Attached)		
5. Is the site currently undergoing development?		<input checked="" type="checkbox"/> <input type="checkbox"/>

		Box 2
		YES NO
6. Is the current site use consistent with the use(s) listed below? Restricted-Residential, Commercial, and Industrial		<input checked="" type="checkbox"/> <input type="checkbox"/>
7. Are all ICs/ECs in place and functioning as designed? (See Attached)		<input type="checkbox"/> <input type="checkbox"/>
IF THE ANSWER TO EITHER QUESTION 6 OR 7 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.		
A Corrective Measures Work Plan must be submitted along with this form to address these issues.		
_____ Signature of Owner, Remedial Party or Designated Representative		_____ Date

Box 2A

YES NO

8. Has any new information revealed that assumptions made in the Qualitative Exposure Assessment regarding offsite contamination are no longer valid?

☐☒

If you answered YES to question 8, include documentation or evidence that documentation has been previously submitted with this certification form.

9. Are the assumptions in the Qualitative Exposure Assessment still valid?
(The Qualitative Exposure Assessment must be certified every five years)

☒☐

If you answered NO to question 9, the Periodic Review Report must include an updated Qualitative Exposure Assessment based on the new assumptions.

SITE NO. C231014**Box 3****Description of Institutional Controls**ParcelOwnerInstitutional Control**967-1**

616 First Avenue LLC

Ground Water Use Restriction
Landuse Restriction
Site Management Plan
IC/EC Plan

1. The Property may only be used for restricted residential and commercial use below the Development Depth provided that the long term Engineering and Institutional Controls included in the Site Management Plan (SMP) are employed. No environmental easements, engineering controls, institutional controls, or any other consents, approvals, or authorizations are required for any activities above the Development Depth.

2. All future activities on the Property that will disturb remaining contaminated material must be conducted in accordance with the SMP; and,

3. The use of the groundwater underlying the Property is prohibited without treatment rendering it safe for intended use.

967-2

NYC School Construction Authority

Ground Water Use Restriction
Landuse Restriction
IC/EC Plan

Site Management Plan

1. The Property may only be used for restricted residential and commercial use below the Development Depth provided that the long term Engineering and Institutional Controls included in the Site Management Plan (SMP) are employed. No environmental easements, engineering controls, institutional controls, or any other consents, approvals, or authorizations are required for any activities above the Development Depth.

2. All future activities on the Property that will disturb remaining contaminated material must be conducted in accordance with the SMP; and,

3. The use of the groundwater underlying the Property is prohibited without treatment rendering it safe for intended use.

Box 4**Description of Engineering Controls**

Parcel
967-1

Engineering Control

Cover System
Fencing/Access Control

The site is covered with with a minimum of two feet and as much as 20 feet of clean sand and 6 to 12 inches of 1.5-inch crushed stone gravel and is surrounded by a security fence. The future cover system at the site will include greater than two feet of cover consisting of building structures, clean fill, landscaping, and concrete and asphalt paving.

967-2

Fencing/Access Control
Cover System

The site was partially backfilled with with a minimum of two feet and as much as 20 feet of clean sand and crushed stone and is surrounded by a security fence.

Box 5

Periodic Review Report (PRR) Certification Statements

1. I certify by checking "YES" below that:

a) the Periodic Review report and all attachments were prepared under the direction of, and reviewed by, the party making the certification;

b) to the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and the information presented is accurate and complete.

YES NO

☒ ☐

2. If this site has an IC/EC Plan (or equivalent as required in the Decision Document), for each Institutional or Engineering control listed in Boxes 3 and/or 4, I certify by checking "YES" below that all of the following statements are true:

(a) the Institutional Control and/or Engineering Control(s) employed at this site is unchanged since the date that the Control was put in-place, or was last approved by the Department;

(b) nothing has occurred that would impair the ability of such Control, to protect public health and the environment;

(c) access to the site will continue to be provided to the Department, to evaluate the remedy, including access to evaluate the continued maintenance of this Control;

(d) nothing has occurred that would constitute a violation or failure to comply with the Site Management Plan for this Control; and

(e) if a financial assurance mechanism is required by the oversight document for the site, the mechanism remains valid and sufficient for its intended purpose established in the document.

YES NO

☒ ☐

**IF THE ANSWER TO QUESTION 2 IS NO, sign and date below and
DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.**

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

IC CERTIFICATIONS
SITE NO. C231014

Box 6

SITE OWNER OR DESIGNATED REPRESENTATIVE SIGNATURE

I certify that all information and statements in Boxes 1, 2, and 3 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I SEAN GAVIGAN at 104 5TH AVE, NY, NY 10011
print name print business address

am certifying as OWNER (Owner or Remedial Party)

for the Site named in the Site Details Section of this form.


Signature of Owner, Remedial Party, or Designated Representative
Rendering Certification

2/31/14
Date

IC/EC CERTIFICATIONS

Box 7

Qualified Environmental Professional Signature

I certify that all information in Boxes 4 and 5 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Joel B Landes at LANGAN ENGINEERING
21 PENN PLAZA, 360 W. 31ST STREET
NEW YORK, NEW YORK 10001
print name print business address

am certifying as a Qualified Environmental Professional for the

(Owner or Remedial Party)



Joel B Landes

Signature of Qualified Environmental Professional, for
the Owner or Remedial Party, Rendering Certification

Stamp
(Required for PE)

7/31/14
Date

Attachment to Enclosure 2
Site Management Periodic Review Report Notice
Institutional and Engineering Controls Certification Form

- A Box 1, Item #4- The New York City School Construction Authority (NYCSCA) obtained building permits to construct a new public school building at the site (Block 967, Lot 1) prior to this reporting period. During this reporting period, additional minor building permits have been obtained by the General Contractor (GC) and the GC's sub-contractors. Construction of the school was completed in September 2013. Block 967, Lot 2 is currently under construction and building permits have been pulled for the site. A list of building permits is included in this appendix.
- B Box 2, Item #7- The site (Block 967, Lot 2) is currently under construction and the cover system has been removed to facilitate development. Intrusive work below the cover system is being performed in accordance with the Site Management Plan as described in Appendix A.


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NYC Department of Buildings
Permits In-Process / Issued by Premises

Page: 1 of 1

Premises: 626 1 AVENUE MANHATTAN

BIN: 1089237 Block: 967 Lot: 1

NUMBER	JOB TYPE	SEQ NO	ISSUED DATE	EXPIRATION DATE	STATUS	APPLICANT NAME
<u>122026048-01-EQ OT</u>	A3 - ALT3	01	06/27/2014	06/27/2015	ISSUED	COEN COLM
<u>122026039-01-EQ OT</u>	A3 - ALT3	01	06/27/2014	06/27/2015	ISSUED	COEN COLM
<u>121639450-01-EW OT</u>	A2 - ALT2	01	06/04/2013	05/10/2014	ISSUED	STERN MICHAEL
<u>121457244-01-EQ FN</u>	A3 - ALT3	03	06/23/2014	06/23/2015	ISSUED	COEN COLM
<u>121331692-01-EW OT</u>	A2 - ALT2	04	07/10/2014	07/10/2015	ISSUED	STERN MICHAEL
<u>121331059-01-FO</u>	NB - NEWB	02	07/10/2014	07/10/2015	ISSUED	STERN MICHAEL
<u>121331059-01-FO EA</u>	NB - NEWB	02	07/10/2014	07/10/2015	ISSUED	STERN MICHAEL

If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.


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NYC Department of Buildings

Job Overview

Page: 1 of 1

Premises: 626 1 AVENUE MANHATTAN

BIN: 1089237 Block: 967 Lot: 1To start overview at new date, select Month: Day: Year: Show All BIS Job Types Show All Filings

APPLY

FILE DATE	JOB #	DOC #	JOB TYPE	JOB STATUS	STATUS DATE	LIC #	APPLICANT	IN AUDIT	ZONING APPROVAL
02/22/2013	<u>121457244</u>	01	A3	R PERMIT-ENTIRE	06/26/2013	0086757 PE	PERDEK		NOT APPLICABLE
INSTALLATION OF PLYWOOD FENCE AS PER DRAWINGS. PLYWOOD FENCE SHALL COMPLY Work on Floor(s): OSP									
04/03/2013	<u>121331059</u>	01	NB	K P/E PARTIAL APRV	07/10/2014	0028599 RA	PASQUARE		<u>GRANTED</u> <u>01/02/2014</u>
FILING FOR APPROVAL OF NEW BUILDING STRUCTURE AS SHOWN ON DRAWINGS FILED Work on Floor(s): CEL,SCL,ROF 001 thru 047									
04/03/2013	<u>121331059</u>	02	NB	P APPROVED	01/08/2014	0057530 PE	MARCUS		<u>GRANTED</u> <u>01/02/2014</u>
FILING FOR STRUCTURAL WORK FOR NEW BUILDING Work on Floor(s): SCL,CEL,ROF 001 thru 047									
04/03/2013	<u>121331059</u>	03	NB	J P/E DISAPPROVED	12/20/2013	0084812 PE	PAPP JR.		<u>GRANTED</u> <u>01/02/2014</u>
FILING FOR SUPPORT EXCAVATION, IN CONJUNCTION WITH NEW BUILDING AS SHOWN O Work on Floor(s): SCL,CEL,ROF 001 thru 047									
04/29/2013	<u>121331585</u>	01	A3	R PERMIT-ENTIRE	06/11/2014	0077251 PE	MALEK		NOT APPLICABLE
FILING FOR APPROVAL OF BPP BUILDERS PAVEMENT PLANS 776.57 LINEAR FEET, IN Work on Floor(s): OSP									
05/09/2013	<u>121331059</u>	04	NB	J P/E DISAPPROVED	12/20/2013	0075451 PE	MCGOUGH		<u>GRANTED</u> <u>01/02/2014</u>
INSTALL MECHANICAL DUCTWORK. INSTALL PLUMBING FIXTURES AND RELATED PIPING Work on Floor(s): CEL,SUB,ROF 001 thru 047									
05/17/2013	<u>121622351</u>	01	A2	P APPROVED	05/17/2013	0075451 PE	MCGOUGH		NOT APPLICABLE
INSTALL NEW TEMPORARY STANDPIPE SYSTEM AIR ALARM AS PER LOCAL LAW 63 & 64 Work on Floor(s): CEL,SUB,ROF 001 thru 047									
05/31/2013	<u>121331692</u>	01	A2	R PERMIT-ENTIRE	07/10/2014	0084812 PE	PAPP JR.		NOT APPLICABLE
FILING FOR SUPPORT EXCAVATION, IN CONJUNCTION WITH NEW BUILDING #121331059 Work on Floor(s): CEL,SCL,ROF 001 thru 047									
06/04/2013	<u>121639450</u>	01	A2	R PERMIT-ENTIRE	06/04/2013	0083095 PE	JUNDI		NOT

APPLICABLE

#7150 - FILING TO DRIVE TEST PILES IN CONJUNCTION WITH NB 121331059. NO C
Work on Floor(s): OSP

08/26/2013 121457244 02 A3 P APPROVED 08/27/2013 PERDEK

NOT
APPLICABLE

POST APPROVAL AMENDMENT FOR 01 INSTALLATION OF PLYWOOD FENCE AS PER DRAWIN
Work on Floor(s): OSP

12/12/2013 121331059 05 NB J P/E DISAPPROVED 12/20/2013 0077251 PE MALEK

GRANTED
01/02/2014

FILING FOR CURB CUT.
Work on Floor(s): SUB,CEL,ROF 001 thru 047

12/23/2013 121331692 02 A2 P APPROVED 12/23/2013 PAPP JR.

NOT
APPLICABLE

POST APPROVAL AMENDMENT FOR 01
Work on Floor(s): CEL,SCL,ROF 001 thru 047

04/09/2014 121457244 03 A3 P APPROVED 04/10/2014 PERDEK

NOT
APPLICABLE

POST APPROVAL AMENDMENT FOR 01
Work on Floor(s): OSP

06/06/2014 122031657 01 A2 J P/E DISAPPROVED 07/17/2014 0075451 PE MCGOUGH

NOT
APPLICABLE

INSTALLATION OF MANUAL AND AUTOMATIC SMOKE/HEAT/CO DETECTION WITH SPRINKLE
Work on Floor(s): SUB,CEL,ROF 001 thru 049

06/06/2014 140208941 01 A2 J P/E DISAPPROVED 06/26/2014 0075451 PE MCGOUGH

NOT
APPLICABLE

INSTALL NEW STANDPIPE SYSTEM. INSTALL SPRINKLER HEADS AND RELATED PIPING A
Work on Floor(s): SUB,CEL,ROF 001 thru 049

06/27/2014 122026048 01 A3 R PERMIT-ENTIRE 06/27/2014 0078402 PE BLINN

NOT
APPLICABLE

INSTALLATION OF A DUAL 7000 LBS CAPACITY PERSONNEL/MATERIAL HOIST DURING N
Work on Floor(s): OSP

06/27/2014 122026039 01 A3 R PERMIT-ENTIRE 06/27/2014 0078402 PE BLINN

NOT
APPLICABLE

INSTALLATION OF A DUAL 7000 LBS CAPACITY PERSONNEL/MATERIAL HOIST DURING N
Work on Floor(s): OSP

If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.


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NYC Department of Buildings
Permits In-Process / Issued by Premises

Page: 1 of 1

Premises: 425 EAST 35 STREET MANHATTAN

BIN: 1089385 Block: 967 Lot: 2

NUMBER	JOB TYPE	SEQ NO	ISSUED DATE	EXPIRATION DATE	STATUS	APPLICANT NAME
121761389-01-EQ OT	A3 - ALT3	02	06/23/2014	06/23/2015	ISSUED	COEN COLM
103890933-01-EW SD	A2 - ALT2	03	04/10/2013	04/10/2014	ISSUED	EDWARDS KEVIN
103890915-01-EQ SF	A3 - ALT3	04	06/25/2013	01/01/2014	ISSUED	EAKIN BARRY
103890906-01-EW OT	A2 - ALT2	01	06/25/2013	01/01/2014	ISSUED	EAKIN BARRY
103890906-01-EW FS	A2 - ALT2	02	07/12/2013	07/12/2014	ISSUED	PICCININNI JACK
103890728-01-EQ SH	A3 - ALT3	04	03/18/2013	03/18/2014	ISSUED	GRODZIAK PETER
103890719-01-EQ FN	A3 - ALT3	04	03/18/2013	03/18/2014	ISSUED	GRODZIAK PETER
103889035-05-PL	NB - NEWB	04	11/04/2013	11/04/2014	ISSUED	BOTTO JOHN
103889035-04-PL	NB - NEWB	02	06/11/2013	06/11/2014	ISSUED	LUNDENBERG ERIC
103889035-03-PL	NB - NEWB	04	11/04/2013	11/04/2014	ISSUED	BOTTO JOHN
103889035-01-NB	NB - NEWB	04	02/28/2014	01/01/2015	ISSUED	BARRETT KEVIN
103889035-01-FO	NB - NEWB	03	02/06/2013	01/01/2014	ISSUED	LABBATE RICHARD
103644576-04-EW OT	A2 - ALT2	02	02/27/2014	01/01/2015	ISSUED	BARRETT KEVIN
103644576-03-EW OT	A2 - ALT2	02	02/27/2014	01/01/2015	ISSUED	BARRETT KEVIN
103644576-02-EW OT	A2 - ALT2	02	02/27/2014	01/01/2015	ISSUED	BARRETT KEVIN
103644576-01-EW OT	A2 - ALT2	02	02/27/2014	01/01/2015	ISSUED	BARRETT KEVIN
103643853-01-EW FP	A2 - ALT2	01	06/18/2013	06/18/2014	ISSUED	MITAROTONDA FRANK
103643595-01-AL	A3 - ALT3	01	08/09/2013	08/09/2014	ISSUED	BOVA JOSEPH
103642514-01-EQ SF	A3 - ALT3	02	06/25/2013	01/01/2014	ISSUED	EAKIN BARRY
103641677-01-EQ OT	A3 - ALT3	02	03/18/2013	03/18/2014	ISSUED	GRODZIAK PETER
103640491-01-EQ FN	A3 - ALT3	03	02/06/2013	01/01/2014	ISSUED	LABBATE RICHARD
103640464-01-EW OT	A2 - ALT2	02	05/10/2012	08/11/2012	ISSUED	CAIAZZO SALVATORE
1PL002898-05-PL PL		01	05/22/2013	05/22/2014	ISSUED	BELLINI THOMAS
1PL002729-06-EW SD		03	08/27/2013	08/27/2014	ISSUED	EDWARDS KEVIN
1PL002728-06-EW SP		03	08/27/2013	08/27/2014	ISSUED	EDWARDS KEVIN

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NYC Department of Buildings

Job Overview

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Premises: 425 EAST 35 STREET MANHATTAN

BIN: 1089385 Block: 967 Lot: 2To start overview at new date, select Month: Day: Year: Show All BIS Job Types Show All Filings

APPLY

FILE DATE	JOB #	DOC #	JOB TYPE	JOB STATUS	STATUS DATE	LIC #	APPLICANT	IN AUDIT	ZONING APPROVAL
01/12/2011	<u>103890728</u>	01	A3	X SIGNED OFF	05/09/2014	0058308 PE	GIUDICE		NOT APPLICABLE
PS 281M - HERewith FILING SIDEWALK SHED APPLICATION IN CONJUNCTION WITH NE Work on Floor(s): OSP									
01/12/2011	<u>103890719</u>	01	A3	X SIGNED OFF	11/22/2013	0058308 PE	GIUDICE		NOT APPLICABLE
PS281 CONSTRUCTION FENCE IN CONJUNCTION W/NB 103889035 TOTAL FENCE LINEAR Work on Floor(s): OSP									
01/19/2011	<u>103889035</u>	01	NB	R PERMIT-ENTIRE	02/28/2014	0012727 RA	BROCHES		<u>GRANTED</u> <u>01/20/2011</u>
PS 281M HERewith FILING FOR A NEW 6 STORY PUBLIC SCHOOL. Work on Floor(s): PEN 001 thru 006									
01/19/2011	<u>103889035</u>	02	NB	R PERMIT-ENTIRE	08/18/2011	0057530 PE	MARCUS		<u>GRANTED</u> <u>01/20/2011</u>
PS281M HERewith FILING FOR STRUCTURAL WORK (STEEL FRAME AND CONCRETE COMPO Work on Floor(s): CEL,ROF 001 thru 006									
01/19/2011	<u>103889035</u>	03	NB	R PERMIT-ENTIRE	08/23/2011	0075087 PE	KATS		<u>GRANTED</u> <u>01/20/2011</u>
PS281M HERewith FILING FOR UNDERGROUND PLUMBING OF A NEW SIX STORY PUBLIC Work on Floor(s): UGD									
01/19/2011	<u>103889035</u>	04	NB	R PERMIT-ENTIRE	08/23/2011	0080697 PE	HODSON		<u>GRANTED</u> <u>01/20/2011</u>
PS281M HERewith FILING FOR EXTERIOR PLUMBING OF A NEW SIX STORY PUBLIC SCH Work on Floor(s): OSP									
01/19/2011	<u>103889035</u>	05	NB	R PERMIT-ENTIRE	08/23/2011	0075087 PE	KATS		<u>GRANTED</u> <u>01/20/2011</u>
PS 281M HERewith FILING FOR MECHANICAL AND MAIN PLUMBING OF A NEW SIX STOR Work on Floor(s): CEL,ROF 001 thru 006									
01/19/2011	<u>103889035</u>	06	NB	R PERMIT-ENTIRE	08/18/2011	0075087 PE	KATS		<u>GRANTED</u> <u>01/20/2011</u>
PS281M HERewith FILING FOR SPRINKLER AND STANDPIPE OF A NEW SIX STORY PUBL Work on Floor(s): CEL,ROF 001 thru 006									
01/19/2011	<u>103889035</u>	07	NB	R PERMIT-ENTIRE	08/18/2011	0075087 PE	KATS		<u>GRANTED</u>

01/20/2011

PS281M HERewith FILING FOR BOILERS OF A NEW SIX STORY PUBLIC SCHOOL BUILDING
Work on Floor(s): PEN,ROF

01/19/2011 103889035 08 NB R PERMIT-ENTIRE 08/18/2011 0080423 PE BURGER

GRANTED
01/20/2011

PS281M HERewith FILING FOR ENVIRONMENTAL OF A NEW SIX STORY PUBLIC SCHOOL
Work on Floor(s): OSP

02/03/2011 103890853 01 A2 R PERMIT-ENTIRE 04/06/2011 0075087 PE KATS

NOT
APPLICABLE

PS 281M HERewith FILING FOR A MANUAL & AUTOMATIC SMOKE/HEAT/ CO DETECTION
Work on Floor(s): PEN 001 thru 006

02/25/2011 103890915 01 A3 X SIGNED OFF 03/18/2014 0055496 PE D'ALESSI

NOT
APPLICABLE

PS 281M - HERE WITH FILING A SCAFFOLD APPLICATION IN CONJUNCTION WITH NEW
Work on Floor(s): OSP

02/25/2011 103890906 01 A2 R PERMIT-ENTIRE 07/12/2013 0075087 PE KATS

NOT
APPLICABLE

PS 281M HERewith FILING FOR A NEW GENERATOR FOR A NEW SIX STORY PUBLIC SCH
Work on Floor(s): PEN

02/28/2011 103890933 01 A2 R PERMIT-ENTIRE 04/10/2013 0070564 PE SEGAL

NOT
APPLICABLE

PS 281M - HERewith FILING A SEPARATE APPLICATION FOR TEMPORARY STANDPIPE D
Work on Floor(s): 001 thru 006

05/04/2011 103889035 09 NB P APPROVED 05/05/2011 BROCHES

GRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 01
Work on Floor(s): 001,006

05/10/2011 103640393 01 PA U COMPLETED 09/24/2013 0012727 RA BROCHES

NOT
APPLICABLE

Work on Floor(s): 004

05/18/2011 103640446 01 PA U COMPLETED 09/24/2013 0012227 RA BROCHES

NOT
APPLICABLE

Work on Floor(s): 001

05/18/2011 103640455 01 PA U COMPLETED 09/24/2013 0012227 RA BROCHES

NOT
APPLICABLE

Work on Floor(s): 006

05/20/2011 103890719 02 A3 P APPROVED 05/20/2011 GIUDICE

NOT
APPLICABLE

POST APPROVAL AMENDMENT FOR 01 PS281 CONSTRUCTION FENCE IN CONJUNCTION W/N
Work on Floor(s): OSP

05/20/2011 103640464 01 A2 R PERMIT-ENTIRE 05/10/2012 0074354 PE WANG

NOT
APPLICABLE

PS 281M - HERE WITH FILING EXCAVATION,SHEETING AND SHORING IN CONJUNCTION
Work on Floor(s): UGD

05/24/2011 103640491 01 A3 X SIGNED OFF 10/18/2013 0074354 PE WANG

NOT
APPLICABLE

PS 281M - HERewith FILING A 3/4" STEEL PLATE LAGGING CONSTRUCTION FENCE AL
Work on Floor(s): OSP

05/24/2011 103889035 10 NB P APPROVED 05/24/2011 BROCHES

GRANTED

01/20/2011

POST APPROVAL AMENDMENT FOR 01

Work on Floor(s): 001,006

06/09/2011 103640614 01 PA U COMPLETED 09/24/2013 0012727 RA BROCHESNOT
APPLICABLE

Work on Floor(s): 002

11/29/2011 103889035 11 NB P APPROVED 11/29/2011 0075087 PE KATSGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 05 PS 281M HEREWITH FILING FOR MECHANICAL AND

Work on Floor(s): CEL,ROF 001 thru 006

04/02/2012 103641677 01 A3 R PERMIT-ENTIRE 03/18/2013 0058308 PE GIUDICENOT
APPLICABLE

INSTALLATION OF 110 LINEAR FEET OF A CHAMPION 6000-1R PERSONNEL/MATERIAL H

Work on Floor(s): OSP

04/23/2012 103641846 01 A3 R PERMIT-ENTIRE 04/23/2012 0080697 PE HODSONNOT
APPLICABLE

PS281M HEREWITH FILING FOR A BUILDER'S PAVEMENT PLAN FOR NEW 6 STORY PUBLI

Work on Floor(s): OSP

08/02/2012 103642514 01 A3 X SIGNED OFF 11/22/2013 0078755 PE NORANOT
APPLICABLE

IS281M/SF SUBMITTING ON BEHALF OF CONTRACTOR FOR THE INSTALLATION OF TEMPO

Work on Floor(s): OSP

01/08/2013 103889035 12 NB P APPROVED 01/08/2013 0075087 PE KATSGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 05

Work on Floor(s): CEL,ROF 001 thru 006

01/09/2013 103889035 13 NB P APPROVED 01/09/2013 0075087 PE KATSGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 05

Work on Floor(s): CEL,ROF 001 thru 006

03/19/2013 103889035 14 NB P APPROVED 03/19/2013 0075087 PE KATSGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 05

Work on Floor(s): CEL,ROF 001 thru 006

04/16/2013 103643595 01 A3 R PERMIT-ENTIRE 08/09/2013 0012727 RA BROCHESNOT
APPLICABLE

PS 281M HEREWITH FILING FOR THE FIRE PROTECTION PLAN FOR A NEW SIX STORY

Work on Floor(s): ROF 001 thru 006

04/26/2013 103643853 01 A2 X SIGNED OFF 12/18/2013 0069352 PE GIBBONSNOT
APPLICABLE

INSTALL KITCHEN FIRE SUPPRESSION SYSTEM ONLY AS SHOWN ON PLANS. FIRE SUPPR

Work on Floor(s): 001

06/17/2013 103889035 15 NB P APPROVED 06/17/2013 0075087 PE KATSGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 05

Work on Floor(s): CEL,ROF 001 thru 006

06/20/2013 103889035 16 NB P APPROVED 06/20/2013 BROCHESGRANTED
01/20/2011

POST APPROVAL AMENDMENT FOR 01

Work on Floor(s): 001,006

07/18/2013	<u>103889035</u>	17	NB	P APPROVED	07/18/2013 0075087 PE KATS	<u>GRANTED</u> <u>01/20/2011</u>
POST APPROVAL AMENDMENT FOR 06 Work on Floor(s): CEL,ROF 001 thru 006						
07/18/2013	<u>103890853</u>	02	A2	P APPROVED	07/18/2013 KATS	NOT APPLICABLE
POST APPROVAL AMENDMENT FOR 01 Work on Floor(s): PEN 001 thru 006						
07/18/2013	<u>103890906</u>	02	A2	P APPROVED	07/18/2013 KATS	NOT APPLICABLE
POST APPROVAL AMENDMENT FOR 01 Work on Floor(s): PEN						
07/24/2013	<u>103641846</u>	02	A3	P APPROVED	07/24/2013 HODSON	NOT APPLICABLE
POST APPROVAL AMENDMENT FOR 01 Work on Floor(s): OSP						
08/02/2013	<u>103889035</u>	18	NB	P APPROVED	08/02/2013 0075087 PE KATS	<u>GRANTED</u> <u>01/20/2011</u>
POST APPROVAL AMENDMENT FOR 06 Work on Floor(s): CEL,ROF 001 thru 006						
08/14/2013	<u>103644576</u>	01	A2	R PERMIT-ENTIRE	02/27/2014 0084735 PE JOERGER	NOT APPLICABLE
PS 281M - SEISMIC HERE WITH FILING FOR DETAILS OF SEISMIC SUPPORT AS IT RE Work on Floor(s): 001,006						

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NYC Department of Buildings
Job Overview

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Premises: 425 EAST 35 STREET MANHATTAN

BIN: 1089385 Block: 967 Lot: 2

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APPLY

FILE DATE	JOB #	DOC #	JOB TYPE	JOB STATUS	STATUS DATE	LIC #	APPLICANT	IN AUDIT	ZONING APPROVAL
08/20/2013	<u>103644576</u>	02	A2	R PERMIT-ENTIRE	09/03/2013	0064188 PE	TAUBY		NOT APPLICABLE
PS 281M - HERewith FILING FOR DETAILS OF SEISMIC SUPPORT AS IT RELATES TO Work on Floor(s): 001,006									
08/20/2013	<u>103644576</u>	03	A2	R PERMIT-ENTIRE	09/03/2013	0086138 PE	GUERIN		NOT APPLICABLE
PS 281M - HERE WITH FILING FOR DETAILS OF SEISMIC SUPPORT AS IT RELATES TO Work on Floor(s): 001,006									
08/20/2013	<u>103644576</u>	04	A2	R PERMIT-ENTIRE	09/03/2013	0053271 PE	KACHELE		NOT APPLICABLE
PS 281M - HERewith FILING FOR DETAILS OF SEISMIC SUPPORT AS IT RELATES TO Work on Floor(s): 001,006									
08/22/2013	<u>103889035</u>	19	NB	P APPROVED	08/22/2013	0075087 PE	KATS		<u>GRANTED</u> <u>01/20/2011</u>
POST APPROVAL AMENDMENT FOR 06 Work on Floor(s): CEL,ROF 001 thru 006									
10/04/2013	<u>103889035</u>	20	NB	P APPROVED	10/04/2013		BROCHES		<u>GRANTED</u> <u>01/20/2011</u>
POST APPROVAL AMENDMENT FOR 01 Work on Floor(s): PEN 001 thru 006									
11/20/2013	<u>121761389</u>	01	A3	R PERMIT-ENTIRE	11/20/2013	0078402 PE	BLINN		NOT APPLICABLE
INSTALLATION OF ROOF PROTECTION DURING NEW BUILDING CONSTRUCTION AT ADJACE Work on Floor(s): OSP									
12/30/2013	<u>103890933</u>	02	A2	P APPROVED	12/30/2013		SEGAL		NOT APPLICABLE
POST APPROVAL AMENDMENT FOR 01 Work on Floor(s): 001 thru 006									

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APPENDIX D- SITE INSPECTION FORM

SITE INSPECTION CHECKLIST

Site Name: Former Kips Bay Fuel Terminal Location: 626 First Ave. NY, NY Project Number: 170234201

Inspector Name: C. Mangieri Date: 06/11/2014 Weather Conditions: Rain/Overcast, Mid 60s

Reason for Inspection (i.e., routine, severe condition, etc.): Annual Inspection

Check one of the following: **Y:** Yes **N:** No **NA:** Not Applicable

		Y	N	NA	Normal Situation	Remarks
General						
1	What are the current site conditions?	--	--	--	--	The majority of the site (Lot 1) has been excavated down to 20 feet below grade for development at the site. There is a truck ramp that extends along the north eastern portion of the site. Numerous dewatering wells are located throughout the site - they run to a treatment system. Lot 2 contains a building with a concrete and asphalt cap.
2	Are all applicable site records (e.g., documentation of construction activity, most current easement, etc.) complete and up to date?	Y			Y	
Easement						
3	Has site use (restricted residential, commercial) remained the same?	Y			Y	
4	Does it appear that all environmental easement restrictions have been followed?	Y			Y	
Impermeable Cap						
5	Are there any indications of a breach in the capping system at the time of this inspection?			NA	N	The site cap was removed to facilitate construction. The cap will be reestablished following construction activities.
6	Are there any cracks in the building slabs?			NA	N	No building in place at time of inspection (Lot 1).
7	Are there any cracks in the building walls?			NA	N	No building in place at time of inspection (Lot 1).
8	Is there any construction activity, or indication of any construction activity within the past certification year (including any tenant improvements), that included the breaching of the capping system, on-site at the time of this inspection?	Y			-	Excavation for development on (Lot 1). Intrusive work below the cap is being performed in accordance with the SMP. Lot 2 cap is in place.
9	If YES to number 8, is there documentation that the Soil Management Plan, HASP, and CAMP for the site was/is being followed?	Y			NA if N to 6/ Y if Y to 8	

*** If the answer to any of the above questions indicate non-compliance with any IC/ECs for the site, additional remarks must be provided and, where applicable, documentation attached to this checklist detailing additional inspection and repair activities.

Additional remarks _____

Minimum Inspection Schedule: Site-wide inspections will be conducted annually, per certification year, at a minimum. Additional inspections will also be conducted at times of severe condition events. All inspection events will utilize this checklist.