
PERIODIC REVIEW REPORT

for

WILLETS POINT DEVELOPMENT NORTHERN PARCEL

Queens, New York
NYSDEC BCP Site No. C241146G

Prepared For:

Queens Development Group, LLC
QDG Hotel Partners, LLC
QDG 126th Street Partners, LLC
QDG Parking Partners, LLC
QDG Retail Partners, LLC
30 Hudson Yards
New York, New York 10001

Prepared By:

Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
368 Ninth Avenue, 8th Floor
New York, New York 10001

May 28, 2026
170197644

LANGAN

TABLE OF CONTENTS

CERTIFICATION	III
1.0 INTRODUCTION AND BACKGROUND	1
2.0 PERIODIC REVIEW REPORT CERTIFICATION	3
2.1 Institutional Controls	3
2.2 Engineering Controls.....	4
2.2.1 Site Cover System	4
2.2.2 Vapor Mitigation System(s).....	4
2.3 Institutional and Engineering Controls Certification	5
3.0 SMP OPERATIONS	6
3.1 Compliance with SMP	6
3.1.1 Construction Health and Safety Plan.....	6
3.1.2 Community Air Monitoring Plan	6
3.1.3 Excavation Work Plan	7
3.1.4 Stormwater Pollution Prevention	7
3.1.5 Deviations from the Site Management Plan.....	7
4.0 POST OPERATION ENGINEERING CONTROL STATUS	8
5.0 ANNUAL INSPECTIONS	9
5.1 Site Inspection	9
6.0 CONCLUSIONS AND RECOMMENDATIONS	10
6.1 Amendments to the SMP	10
6.2 Amendments to the Frequency of PRR Submissions	10
6.3 Proposed Discontinuation of SMP	10
7.0 DIVISION OF ENVIRONMENTAL REMEDIATION GREEN REMEDIATION	
EVALUATION	11

FIGURES

- Figure 1 Site Location Map and Layout Plan
- Figure 2 Future Tax Lot Boundaries
- Figure 3 Institutional Controls Map
- Figure 4 Engineering Controls Map - Site Cover System

APPENDICES

- Appendix A RP-602 Survey
- Appendix B Environmental Easement
- Appendix C IC/EC Certification Form
- Appendix D SMP Work Notification & Documentation
- Appendix E Site Inspection Forms
- Appendix F Photographic Documentation Log

CERTIFICATION

For each Institutional Control (IC) or Engineering Control (EC) identified for the Site, I certify that all of the following statements are true:

- The inspection of the Site to confirm the effectiveness of the IC and EC required by the remedial program was performed under my direction;
- The IC and/or EC employed at this site is unchanged from the date the control was put in place, or last approved by the Department;
- Nothing has occurred that would impair the ability of the control to protect the public health and environment;
- Nothing has occurred that would constitute a violation or failure to comply with any SMP for this control;
- Access to the Site will continue to be provided to the Department to evaluate the remedy, including access to evaluate the continued maintenance of this control;
- Use of the Site is compliant with the environmental easement;
- The EC systems are performing as designed and are effective;
- To the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the Site remedial program and generally accepted engineering practices; and
- The information presented in this report is accurate and complete.

I certify that all information and statements in this certification form are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I, Gerald F. Nicholls, P.E., of Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C, am certifying as Owner's/RP's Designated Site Representative: for the Site.

I certify that the New York State Education Department has granted a Certificate of Authorization to provide Professional Engineering services to the firm that prepared this Periodic Review Report.



NYS Professional Engineer #092433

06/04/2026

Date

Gerry Nicholls

Signature

1.0 INTRODUCTION AND BACKGROUND

Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. (Langan) prepared this Periodic Review Report (PRR) for the Willetts Point Development Phase Northern Parcel Brownfield Cleanup Program (BCP) site located in Queens, New York (the Site). The Site is enrolled as Site No. C241146G in the New York State (NYS) Brownfield Cleanup Program (BCP), which is administered by the New York State Department of Environmental Conservation (NYSDEC). Langan prepared this PRR on behalf of Queens Development Group, LLC, QDG Hotel Partners, LLC, QDG 126th Street Partners, LLC, QDG Parking Partners, LLC, and QDG Retail Partners, LLC (collectively, the Volunteers) in accordance with the NYSDEC-approved October 9, 2024 Site Management Plan (SMP). This PRR documents compliance with the SMP between October 18, 2024 and February 28, 2026 (the reporting period). The Site was remediated pursuant to a December 16, 2013 New York State Department of Environmental Conservation (NYSDEC) Brownfield Cleanup Agreement (BCA) for BCP Site No. C241146G and a Certificate of Completion (COC) was issued by the NYSDEC on October 31, 2024.

The Site comprises about 1.426 acres and is located at 126-30 Northern Boulevard in the Willetts Point neighborhood and occupies Queens Borough Block 1820, Lots 9 and 18. The Site is bound by Northern Boulevard to the north, 126th Place followed by automotive repair shops to the east, 34th Avenue followed by an automotive repair facility and the Willetts Point Development T-Parcel BCP Site to the south, and automotive repair shops to the west.

An RP-602 Application for Mergers and Appointments was submitted to the New York City Department of Finance (NYCDOF) to revise the existing tax lot configuration for Queens Block 1820 on March 12, 2026. After the boundary revisions, Block 1820 will consist of tentative lot "A" (0.33607 acres) for the public open space and tentative lot "B" (2.22802 acres) for the mixed-use residential and commercial redevelopment. An Advance Notification of Site Change of Use (COU) providing details on this lot merger will be submitted to the NYSDEC for review during the next reporting period. A site location and layout plan, including the existing tax lot boundaries are provided as Figure 1. Proposed new tax lot boundaries are shown on Figure 2. The RP-602 survey is included in Appendix A.

The Site was a portion of the former 22.868-acre Willetts Point Development BCP Site and remediated as a part of Operable Unit 2 (OU-2) in accordance with the June 07, 2022 OU-2 Remedial Action Work Plan (RAWP) and June 17, 2022 OU-2 Decision Document. Remediation was performed throughout the Site. The remediation for the Site included excavating soil/fill to between elevation (el.) 13.27 feet and el. 10.69 feet North American Vertical Datum of 1988 (NAVD88) (at least 2 feet below grade surface [bgs]), removal and off-site disposal of one underground storage tank (UST), and the installation of an engineered site cover system consisting of a minimum of 2 feet of clean fill (meeting the lower of Protection of Groundwater [PGW] and Restricted Residential [RR] Soil Cleanup Objectives [SCOs]) or gravel imported from an approved facility/source. In areas of the site cover system, the top 4 inches, minimum, consisted of virgin 0.75-inch crushed quarry stone to serve as dust and vegetation suppression

and mitigate erosion. The remedial activities for the Site were completed as of December 2023, with the exception of vapor mitigation (e.g., vapor barrier, subslab depressurization system, or other acceptable measure), which will be required as part of any future building construction pursuant to the SMP.

After completion of the remedial work, some contamination was left at the Site, which is hereafter referred to as “remaining contamination.” Institutional and Engineering Controls (ICs and ECs) have been incorporated into the Site remedy to control exposure to remaining contamination and to provide protection of public health and the environment. An Environmental Easement (EE) was granted by the NYSDEC and recorded with the New York City Office of the City Register (Appendix B). The EE requires compliance with the October 9, 2024 SMP and all ECs and ICs placed on the Site.

The Site is vacant and is pending redevelopment. During the reporting period, Site activities that required compliance with the October 9, 2024 SMP included the import and temporary stockpiling of NYSDEC-approved clean fill material to be used at Willets Point Development Triangle Parcel BCP site (Site No. C241146E).

2.0 PERIODIC REVIEW REPORT CERTIFICATION

2.1 Institutional Controls

Institutional Controls (IC) to be implemented pursuant to the October 9, 2024 SMP and EE are:

- The property may be used for: restricted-residential use, commercial, and industrial uses, subject to local zoning laws;
- The Site owner or remedial party must complete and submit the NYSDEC a periodic certification of institutional and engineering (ICs and ECs) in accordance with Part 375-1.8(h)3.
- All ECs must be operated and maintained as specified in this SMP;
- All ECs must be inspected at a frequency and in a manner defined in this SMP;
- The use of groundwater underlying the property is prohibited without necessary water quality treatment as determined by the NYSDOH or the NYC DOHMH to render it safe for use as drinking water or for industrial purposes, and the user must first notify and obtain written approval to do so from the Department;
- Compliance with the Department-approved SMP and EE;
- Groundwater and other environmental or public health monitoring must be performed as defined in this SMP;
- Data and information pertinent to site management must be reported at the frequency and in a manner as defined in this SMP;
- All future activities that will disturb remaining contaminated material must be conducted in accordance with this SMP;
- Monitoring to assess the performance and effectiveness of the remedy must be performed as defined in this SMP;
- Operation, maintenance, monitoring, inspection, and reporting of any mechanical or physical component of the remedy shall be performed as defined in this SMP;
- Access to the Site must be provided to agents, employees or other representatives of the State of New York with reasonable prior notice to the property owner to assure compliance with the restrictions identified by the EE;
- Any on-site buildings will be required to have a sub-slab depressurization system, or other acceptable measures, to mitigate the migration of vapors into the building from the subsurface ;
- Vegetable gardens and farming on the Site are prohibited; and

- An evaluation shall be performed to determine the need for further investigation and remediation should large scale redevelopment occur, if any of the existing structures are demolished, or if the subsurface is otherwise made accessible.¹

There have been no changes or actions since the COC requiring modification to the EE or ICs listed above. The extents of the Site to which institutional controls apply are shown on Figure 3.

2.2 Engineering Controls

After completing the remedial action, soil samples from beneath the demarcation layer contained localized volatile organic compounds (VOCs), semivolatile organic compounds (SVOCs), metals, and per- and polyfluoroalkyl substances (PFAS) above the lower of the Title 6 New York Codes, Rules, and Regulations (6 NYCRR) PGW and RR SCOs in at least one documentation sample. ECs were implemented to manage the remaining contamination and to protect human health and the environment.

ECs include a site cover system and vapor mitigation system(s). The site cover system was installed after completing the remedial action and will continue to be maintained in accordance with the SMP. ECs are also required to mitigate the potential for soil vapor intrusion in future building development. ECs to mitigate the potential for soil vapor intrusion may include, but are not limited to, sub-slab depressurization systems (SSDS) or other applicable measures to mitigate the potential for soil vapor intrusion into buildings constructed on the Site. Details regarding these ECs are summarized in Sections 2.2.1 and 2.2.2.

2.2.1 Site Cover System

The site cover system consisted of a minimum of 2 feet of clean fill or gravel imported from an approved facility/source. The top 4 inches, minimum, of the soil cover, consisted of virgin 0.75-inch crushed stone to serve as dust and vegetation suppression and mitigate erosion. Imported soil (i.e., clean fill) met the lower of PGW and RR SCOs. A physical demarcation layer consisting of orange snow fencing was placed below the soil cover system as a visual reference layer. The final day of installation of the site cover system was December 1, 2023. The extents of the site cover system are shown on Figure 4.

2.2.2 Vapor Mitigation System(s)

Any on-site buildings constructed at the Site are required to have an SSDS, or other acceptable measures, to mitigate the migration of vapors into the building from the subsurface. While remedial construction has been completed at the Site, building and infrastructure redevelopment has not. Building development plans are not yet finalized. ECs to be incorporated into the planned building to be constructed on the Site will include an SSDS or other applicable measures to mitigate the potential for soil vapor intrusion into buildings constructed on the Site. Any on-site

¹ This IC does not apply to the redevelopment planned as of the date of this SMP.

buildings constructed below groundwater will include vapor mitigation other than an SSDS. For vapor mitigation other than an SSDS, a soil vapor intrusion evaluation will be completed to determine if the system is an acceptable vapor mitigation measure. For vapor mitigation other than an SSDS, a soil vapor intrusion evaluation will be completed to determine if the system is an acceptable vapor mitigation measure and documented in the subsequent PRR.

If an SSDS is installed, procedures for operating and maintaining the SSDS will be documented in the Operation and Maintenance (O&M) Plan (Section 5.0 of the SMP) in a future SMP revision.

2.3 Institutional and Engineering Controls Certification

The certification period covered by this PRR is October 18, 2024 through February 28, 2026. SMP operations, as described in Sections 3.0 and 4.0, and annual inspections and sampling, as described in Section 5.0, were completed in accordance with the requirements of the BCP and certified by the Site owner and Professional Engineer in the EC/IC Certificate Form. The completed and signed IC/EC Certification Forms are provided as Appendix C.

3.0 SMP OPERATIONS

Site redevelopment has not commenced at the Site. One activity occurred during the reporting period that required SMP compliance and is detailed in the following sub section. An SMP work notification was submitted to NYSDEC via email on February 5, 2025. The SMP work notification is provided in Appendix D.

3.1 Compliance with SMP

SMP compliance activities completed during the reporting period included:

- Stockpiling of Soil/Fill: One temporary stockpile of imported clean fill material was staged on the eastern part of the Site pursuant to the SMP work notification submitted to NYSDEC for the Willetts Point Development Northern Parcel BCP Site on February 5, 2025 (Appendix D). The stockpile consists of certified-clean fill that meets NYSDEC-approved cover soil quality objectives, the lower of the RR or PGW SCOs and was sampled prior to import in accordance with NYSDEC Soil Cleanup Guidance CP-51 to be used as backfill at the Willetts Point Development Triangle Parcel (BCP Site No. C241146E). The stockpile is temporary and import and storage activities did not penetrate the site cover system.

Pursuant to the February 5, 2025 SMP work notification, Langan documented the import of 150 cubic yards (CY) of clean fill material from Earth Tech Recycling Inc. (Earth Tech), located at 495 Oceanside, New York in Nassau County on September 15, 2025. Stockpiling conformed to the Excavation Work Plan, Section C-3, Appendix C of the SMP, and NYSDEC approval for material stockpiling was approved in advance of import. Because the fill is temporarily stockpiled on the Site pending placement at the Willetts Point Development Triangle Parcel (BCP Site No. C241146E), final documentation of the fill quantity and placement will be memorialized in the Triangle Parcel PRR. Documentation of the import and stockpiling of clean fill material including daily field reports, import tickets, and material import approval are provided in Appendix D for reference.

3.1.1 Construction Health and Safety Plan

Fill import, stockpiling, and management were in compliance with the Construction Health and Safety Plan (CHASP) and applicable laws and regulations. The health and safety program personnel are listed in the CHASP, appended to the October 9, 2024 SMP.

3.1.2 Community Air Monitoring Plan

During clean fill import in September 2025, CAMP was not implemented in accordance with Section C-13 of the Excavation Work Plan (EWP) as work fully penetrating the clean cap did not occur. No dust or odors were observed migrating from the property.

3.1.3 Excavation Work Plan

The Excavation Work Plan (EWP) provides detailed plans for managing soils/materials at the Site, including excavation, material handling, stockpile management, transport and disposal. The (EWP) includes controls to guide effective remedial activity in compliance with applicable laws and regulations. Stockpiling activities at the site complied with the EWP. Additional detail of soils/material handling at the site is provided in Section 3.1.

3.1.4 Stormwater Pollution Prevention

The site was inspected by the project civil engineer in accordance with the Stormwater Pollution Prevention Plan (SWPPP). The SWPPP and erosion and sediment controls conformed to the New York State Guidelines for Urban Erosion and Sediment Control.

3.1.5 Deviations from the Site Management Plan

No deviations from the SMP were identified during post-COC work.

4.0 POST OPERATION ENGINEERING CONTROL STATUS

Engineering Control Status:

- Site Cover System – ***Intact***

Ground intrusive construction activities were not conducted at the Site during the reporting period. At completion of the SMP operation, the site cover system remained intact. The completed and signed IC/EC Certification Forms are provided as Appendix C.

5.0 ANNUAL INSPECTIONS

Langan completed an annual site inspection in accordance with the SMP and for the current PRR reporting period. The annual inspection is described in the following sections.

5.1 Site Inspection

Langan conducted an annual site inspection of the site composite cover on February 19, 2026, which included observation of the quality and integrity of the site cover system. The Site is currently used for the staging of construction materials and equipment in accordance with the February 5, 2025 SMP Notification provided to NYSDEC. Three Conex boxes are staged in the western part of the Site, one tri-axle transport flat bed in the northwestern part, and an additional two tri-axle truck beds and one approximately 2,000-gallon tanker truck used for transporting water are parked in the southeastern part of the Site.

One stockpile of NYSDEC-approved imported clean fill material is staged in the eastern part of the Site. Two empty 55-gallon drums of concrete curing resin and eight empty 5-gallon cans of diesel fuel are staged on southwestern part of the Site. The chemical storage containers appear to be in good condition with no obvious cracks or punctures. Evidence of leaks or spills from chemical storage containers were not observed during the Site inspection.

The site cover system was observed to be intact across the Site. Completed site cover system inspection forms are included as Appendix E. A photographic documentation log is included in Appendix F. Notification and documentation of the import and staging of clean fill material on the Site is included as Appendix D.

6.0 CONCLUSIONS AND RECOMMENDATIONS

6.1 Amendments to the SMP

No amendments are proposed for the SMP or site cover system engineering control at this time.

6.2 Amendments to the Frequency of PRR Submissions

No changes in the frequency of PRR submissions are recommended at this time.

6.3 Proposed Discontinuation of SMP

Discontinuation of the SMP is not recommended at this time.

7.0 DIVISION OF ENVIRONMENTAL REMEDIATION GREEN REMEDIATION EVALUATION

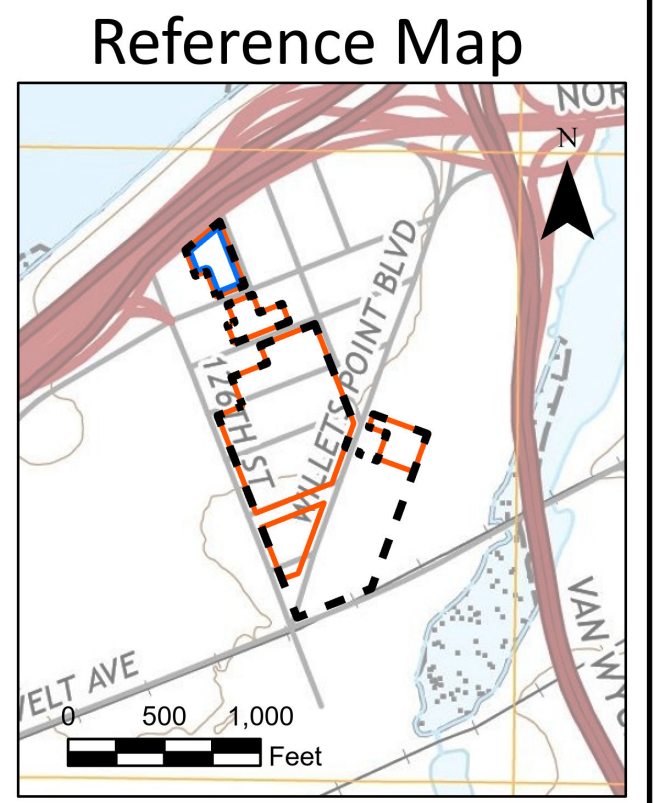
The NYSDEC Division of Environmental Remediation (DER) Green Remediation Policy (DER-31) requires that green remediation concepts and techniques be considered during all stages of the remedial program, including site management, with the goal of improving the sustainability of the cleanup and summarizing the net environmental benefit of any implemented green technology. A summary of green remediation metrics for site management during the reporting period is included in Appendix E. Goals for the project to incorporate green remediation principles and techniques during the next reporting period include use of public transit by personnel, when possible, during site visits.

Langan will continue to evaluate green remediation concepts and techniques for inclusion in site management, as applicable.

FIGURES



- Legend**
- Approximate BCP Site Boundary
 - Former Willets Point Development BCP Site Boundary
 - Former OU-2 Boundary
 - Tax Lot



- Notes:**
1. Light Gray Canvas basemap provided through Langan's Esri and ArcGIS software licensing and ArcGIS Online.
 2. Topographic basemap adapted from United States Geological Survey (USGS) 7.5-Minute Series Topographical Maps, Flushing, New York, Quadrangle.
 3. Tax parcel data provided by the New York City Department of City Planning, MapPLUTO 23v2, and a survey prepared by Langan, July 28, 2023.
 4. BCP - Brownfield Cleanup Program



LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 368 Ninth Avenue, 8th Floor
 New York, NY 10001
 T: 212.479.5400 F: 212.479.5444 www.langan.com

Project **WILLETS POINT DEVELOPMENT NORTHERN PARCEL**
 BCP SITE NO. C241146G
 QUEENS NEW YORK

Figure Title **SITE LOCATION AND LAYOUT PLAN**

Project No. 170197601	Figure No.
Date 3/25/2026	1
Scale 1"=250'	
Drawn By GS	Figure 1 of 4



- Approximate BCP Site Boundary
- Current Tax Parcel
- Proposed New Tax Lot "A" Boundary
- Proposed New Tax Lot "B" Boundary

- Notes:
1. Topographic basemap is provided through Langan's Esri and ArcGIS software licensing and ArcGIS online.
 2. Parcel data provided by the New York Department of City Planning.
 3. BCP = Brownfield Cleanup Program

WARNING: It is a violation of the NYS Education Law Article 145 for any person, unless acting under the direction of a licensed professional engineer, land surveyor or geologist, to alter this item in any way.



Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 368 Ninth Avenue, 8th Floor New York, NY 10001 T: 212.479.5400 F: 212.479.5444 www.langan.com	Project WILLETS POINT DEVELOPMENT NORTHERN PARCEL BCP SITE NO. C241146G NEW YORK	Figure Title FUTURE TAX LOT BOUNDARIES	Project No. 170930901 Date 3/26/2026 Scale 1"=100' Drawn By MG	Figure No. 2 Figure 2 of 4
	NEW YORK			



- Legend**
- Approximate BCP Site Boundary
 - Approximate Extents of Institutional Controls Boundary
 - Tax Parcel
 - Tax Block

Notes:

1. Imagery provided through Langan's subscription to Nearmap.com. Flown on 07/03/2025.
2. Tax parcel data provided by the New York City Department of City Planning, MapPLUTO 23v2, and a survey prepared by Langan, July 28, 2023.
3. BCP - Brownfield Cleanup Program



LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 368 Ninth Avenue, 8th Floor
 New York, NY 10001
 T: 212.479.5400 F: 212.479.5444 www.langan.com

Project **WILLETS POINT DEVELOPMENT
 NORTHERN PARCEL**
 BCP SITE NO. C241146G
 QUEENS NEW YORK

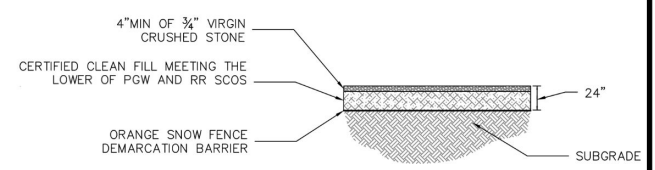
Figure Title **INSTITUTIONAL
 CONTROLS BOUNDARY**

Project No. 170197601	3
Date 3/26/2026	
Scale 1"=80'	
Drawn By GS	Figure 3 of 4



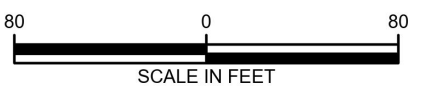
Legend

- Approximate BCP Site Boundary
- Tax Parcel
- Approximate Extents of minimum 2-foot thick site cover system consisting of about 20 inches of imported clean fill and 4 inches of imported virgin quarry stone



Detail 1:
Typical Clean Fill Cap (Not to Scale)

- Notes:**
1. Imagery provided through Langan's subscription to Nearmap.com. Flown on 05/28/2023.
 2. Tax parcel data provided by the New York City Department of City Planning, MapPLUTO 23v2, and a survey prepared by Langan, July 28, 2023.
 3. BCP - Brownfield Cleanup Program
 4. PGW - Protection of Groundwater
 5. RR SCOs - Restricted Use Restricted-Residential Soil Cleanup Objectives



LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
368 Ninth Avenue, 8th Floor
New York, NY 10001
T: 212.479.5400 F: 212.479.5444 www.langan.com

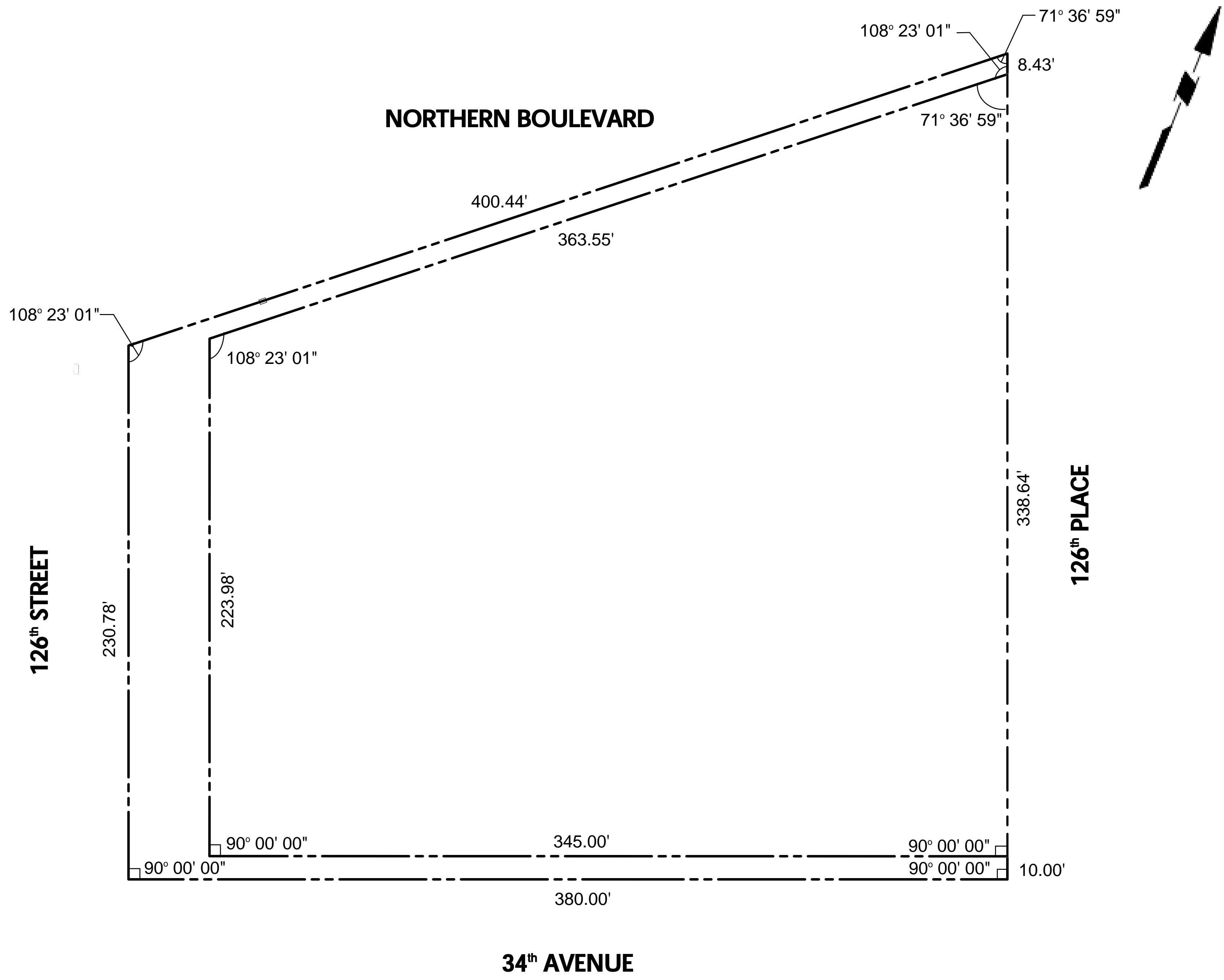
Project **WILLETS POINT DEVELOPMENT NORTHERN PARCEL**
BCP SITE NO. C241146G
QUEENS NEW YORK

Figure Title **ENGINEERING CONTROLS: SITE COVER SYSTEM EXTENTS**

Project No. 170197601	4
Date 3/25/2026	
Scale 1"=80'	
Drawn By GS	Figure 4 of 4

APPENDIX A

LOT REAPPORTIONMENT DIAGRAM

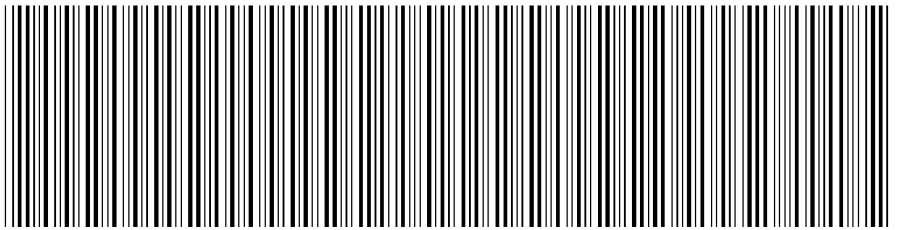


APPENDIX B

ENVIRONMENTAL EASEMENT

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2024092400844002003EA396

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 10

Document ID: 2024092400844002

Document Date: 09-19-2023

Preparation Date: 09-26-2024

Document Type: EASEMENT

Document Page Count: 9

PRESENTER:

ROYAL REGISTERED PROPERTY REPORTS (FILE#)
125 PARK AVENUE, SUITE 1610
NEW YORK, NY 10017
212-376-0900
MBASALATAN@ROYALABSTRACT.COM

RETURN TO:

ROYAL REGISTERED PROPERTY REPORTS (FILE#)
125 PARK AVENUE, SUITE 1610
NEW YORK, NY 10017
212-376-0900
MBASALATAN@ROYALABSTRACT.COM

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1820	9	Entire Lot	126-30 NORTHERN BL SR SOUTH

Property Type: RESIDENTIAL VACANT LAND

Borough	Block	Lot	Unit	Address
QUEENS	1820	18	Entire Lot	126-40 NORTHERN BL SR SOUTH

Property Type: NON-RESIDENTIAL VACANT LAND

CROSS REFERENCE DATA

CRFN _____ or DocumentID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

THE CITY OF NEW YORK
CITY HALL
NEW YORK, NY 10007

GRANTEE/BUYER:

NYS DEPARTMENT OF ENVIRONMENTAL
CONSERVATION
625 BROADWAY
ALBANY, NY 12233

FEES AND TAXES

Mortgage :

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 85.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 0.00

NYS Real Estate Transfer Tax:

\$ 0.00

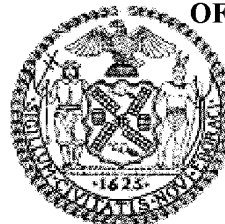
**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE**

CITY OF NEW YORK

Recorded/Filed 09-26-2024 10:43

City Register File No.(CRFN):

2024000252006



Colette McChia-Jacques

City Register Official Signature

ENVIRONMENTAL EASEMENT GRANTED PURSUANT TO ARTICLE 71, TITLE 36
OF THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW

THIS INDENTURE made ^{as of} this 19th day of September, 2024, between Owner, The City of New York, having an office at City Hall, New York, NY 10007, (the "Grantor"), and The People of the State of New York (the "Grantee"), acting through their Commissioner of the Department of Environmental Conservation (the "Commissioner", or "NYSDEC" or "Department" as the context requires) with its headquarters located at 625 Broadway, Albany, New York 12233,

WHEREAS, the Legislature of the State of New York has declared that it is in the public interest to encourage the remediation of abandoned and likely contaminated properties ("sites") that threaten the health and vitality of the communities they burden while at the same time ensuring the protection of public health and the environment; and

WHEREAS, the Legislature of the State of New York has declared that it is in the public interest to establish within the Department a statutory environmental remediation program that includes the use of Environmental Easements as an enforceable means of ensuring the performance of operation, maintenance, and/or monitoring requirements and the restriction of future uses of the land, when an environmental remediation project leaves residual contamination at levels that have been determined to be safe for a specific use, but not all uses, or which includes engineered structures that must be maintained or protected against damage to perform properly and be effective, or which requires groundwater use or soil management restrictions; and

WHEREAS, the Legislature of the State of New York has declared that Environmental Easement shall mean an interest in real property, created under and subject to the provisions of Article 71, Title 36 of the New York State Environmental Conservation Law ("ECL") which contains a use restriction and/or a prohibition on the use of land in a manner inconsistent with engineering controls which are intended to ensure the long term effectiveness of a site remedial program or eliminate potential exposure pathways to hazardous waste or petroleum; and

WHEREAS, Grantor, is the owner of the following real property located at 126-30 Northern Boulevard in the City of New York, County of Queens and State of New York, known and designated on the tax map of the New York City Department of Finance as tax map parcel number: Block 1820, Lots 9 and 18 being the same as that property conveyed to Grantor by:

1. Deed dated as of 3/25/2009 and recorded 4/14/2009 as CRFN 2009000109029.
2. Deed dated as of 9/25/2009 and recorded 9/30/2009 as CRFN 2009000316243.

The property subject to this Environmental Easement (the "Controlled Property") comprises approximately 1.426 +/- acres, and is hereinafter more fully described in the Land Title Survey dated February 20, 2024, prepared by Paul Fisher (License No.050784-1), Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C., which will be attached to the Site Management Plan. The Controlled Property description is set forth in and attached hereto as Schedule A; and

WHEREAS, the Department accepts this Environmental Easement in order to ensure the protection of public health and the environment and to achieve the requirements for remediation established for the Controlled Property until such time as this Environmental Easement is extinguished pursuant to F.C.L Article 71, Title 36; and

NOW THEREFORE, in consideration of the mutual covenants contained herein and the terms and conditions of Brownfield Cleanup Agreement Index Number: C241146G-09-23, Grantor conveys to Grantee a permanent Environmental Easement pursuant to ECL Article 71, Title 36 in, on, over, under, and upon the Controlled Property as more fully described herein ("Environmental Easement").

1. Purposes. Grantor and Grantee acknowledge that the Purposes of this Environmental Easement are: to convey to Grantee real property rights and interests that will run with the land in perpetuity in order to provide an effective and enforceable means of encouraging the reuse and redevelopment of this Controlled Property at a level that has been determined to be safe for a specific use while ensuring the performance of operation, maintenance, and/or monitoring requirements; and to ensure the restriction of future uses of the land that are inconsistent with the above-stated purpose.

2. Institutional and Engineering Controls. The controls and requirements listed in the Department approved Site Management Plan ("SMP") including any and all Department approved amendments to the SMP are incorporated into and made part of this Environmental Easement. These controls and requirements apply to the use of the Controlled Property, run with the land, are binding on the Grantor and the Grantor's successors and assigns, and are enforceable in law or equity against any owner of the Controlled Property, any lessees and any person using the Controlled Property.

A. (1) The Controlled Property may be used for:

**Restricted Residential as described in 6 NYCRR Part 375-1.8(g)(2)(ii),
Commercial as described in 6 NYCRR Part 375-1.8(g)(2)(iii) and Industrial
as described in 6 NYCRR Part 375-1.8(g)(2)(iv)**

(2) All Engineering Controls must be operated and maintained as specified in the Site Management Plan (SMP);

(3) All Engineering Controls must be inspected at a frequency and in a manner defined in the SMP;

(4) The use of groundwater underlying the property is prohibited without necessary water quality treatment as determined by the NYSDOH or the New York City Department of Health and Mental Hygiene to render it safe for use as drinking water or for industrial purposes, and the user must first notify and obtain written approval to do so from the Department;

(5) Groundwater and other environmental or public health monitoring must be performed as defined in the SMP;

(6) Data and information pertinent to Site Management of the Controlled Property must be reported at the frequency and in a manner defined in the SMP;

(7) All future activities on the property that will disturb remaining contaminated material must be conducted in accordance with the SMP;

(8) Monitoring to assess the performance and effectiveness of the remedy must be performed as defined in the SMP;

(9) Operation, maintenance, monitoring, inspection, and reporting of any mechanical or physical components of the remedy shall be performed as defined in the SMP;

(10) Access to the site must be provided to agents, employees or other representatives of the State of New York with reasonable prior notice to the property owner to assure compliance with the restrictions identified by this Environmental Easement.

B. The Controlled Property shall not be used for Residential purposes as defined in 6NYCRR 375-1.8(g)(2)(i), and the above-stated engineering controls may not be discontinued without an amendment or extinguishment of this Environmental Easement.

C. The SMP describes obligations that the Grantor assumes on behalf of Grantor, its successors and assigns. The Grantor's assumption of the obligations contained in the SMP which may include sampling, monitoring, and/or operating a treatment system, and providing certified reports to the NYSDEC, is and remains a fundamental element of the Department's determination that the Controlled Property is safe for a specific use, but not all uses. The SMP may be modified in accordance with the Department's statutory and regulatory authority. The Grantor and all successors and assigns, assume the burden of complying with the SMP and obtaining an up-to-date version of the SMP from:

Site Control Section
Division of Environmental Remediation
NYSDEC
625 Broadway
Albany, New York 12233
Phone: (518) 402-9553

D. Grantor must provide all persons who acquire any interest in the Controlled Property a true and complete copy of the SMP that the Department approves for the Controlled Property and all Department-approved amendments to that SMP.

E. Grantor covenants and agrees that until such time as the Environmental Easement is extinguished in accordance with the requirements of ECL Article 71, Title 36 of the ECL, the property deed and all subsequent instruments of conveyance relating to the Controlled Property shall state in at least fifteen-point bold-faced type:

This property is subject to an Environmental Easement held

by the New York State Department of Environmental Conservation pursuant to Title 36 of Article 71 of the Environmental Conservation Law.

F. Grantor covenants and agrees that this Environmental Easement shall be incorporated in full or by reference in any leases, licenses, or other instruments granting a right to use the Controlled Property.

G. Grantor covenants and agrees that it shall, at such time as NYSDEC may require, submit to NYSDEC a written statement by an expert the NYSDEC may find acceptable certifying under penalty of perjury, in such form and manner as the Department may require, that:

(1) the inspection of the site to confirm the effectiveness of the institutional and engineering controls required by the remedial program was performed under the direction of the individual set forth at 6 NYCRR Part 375-1.8(h)(3).

(2) the institutional controls and/or engineering controls employed at such site:
(i) are in-place;
(ii) are unchanged from the previous certification, or that any identified changes to the controls employed were approved by the NYSDEC and that all controls are in the Department-approved format; and

(iii) that nothing has occurred that would impair the ability of such control to protect the public health and environment;

(3) the owner will continue to allow access to such real property to evaluate the continued maintenance of such controls;

(4) nothing has occurred that would constitute a violation or failure to comply with any site management plan for such controls;

(5) the report and all attachments were prepared under the direction of, and reviewed by, the party making the certification;

(6) to the best of his/her knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and

(7) the information presented is accurate and complete.

3. Right to Enter and Inspect. Grantee, its agents, employees, or other representatives of the State may enter and inspect the Controlled Property in a reasonable manner and at reasonable times to assure compliance with the above-stated restrictions.

4. Reserved Grantor's Rights. Grantor reserves for itself, its assigns, representatives, and successors in interest with respect to the Property, all rights as fee owner of the Property, including:

A. Use of the Controlled Property for all purposes not inconsistent with, or limited by the terms of this Environmental Easement;

B. The right to give, sell, assign, or otherwise transfer part or all of the underlying fee interest to the Controlled Property, subject and subordinate to this Environmental Easement;

5. Enforcement

A. This Environmental Easement is enforceable in law or equity in perpetuity by Grantor, Grantee, or any affected local government, as defined in ECL Section 71-3603, against the owner of the Property, any lessees, and any person using the land. Enforcement shall not be defeated because of any subsequent adverse possession, laches, estoppel, or waiver. It is not a defense in any action to enforce this Environmental Easement that: it is not appurtenant to an interest in real property; it is not of a character that has been recognized traditionally at common law; it imposes a negative burden; it imposes affirmative obligations upon the owner of any interest in the burdened property; the benefit does not touch or concern real property; there is no privity of estate or of contract; or it imposes an unreasonable restraint on alienation.

B. If any person violates this Environmental Easement, the Grantee may revoke the Certificate of Completion with respect to the Controlled Property.

C. Grantee shall notify Grantor of a breach or suspected breach of any of the terms of this Environmental Easement. Such notice shall set forth how Grantor can cure such breach or suspected breach and give Grantor a reasonable amount of time from the date of receipt of notice in which to cure. At the expiration of such period of time to cure, or any extensions granted by Grantee, the Grantee shall notify Grantor of any failure to adequately cure the breach or suspected breach, and Grantee may take any other appropriate action reasonably necessary to remedy any breach of this Environmental Easement, including the commencement of any proceedings in accordance with applicable law.

D. The failure of Grantee to enforce any of the terms contained herein shall not be deemed a waiver of any such term nor bar any enforcement rights.

6. Notice. Whenever notice to the Grantee (other than the annual certification) or approval from the Grantee is required, the Party providing such notice or seeking such approval shall identify the Controlled Property by referencing the following information:

County, NYSDEC Site Number, NYSDEC Brownfield Cleanup Agreement, State Assistance Contract or Order Number, and the County tax map number or the Liber and Page or computerized system identification number.

Parties shall address correspondence to: Site Number: C241146G
Office of General Counsel
NYSDEC
625 Broadway
Albany New York 12233-5500

With a copy to: Site Control Section
Division of Environmental Remediation
NYSDEC
625 Broadway
Albany, NY 12233

All notices and correspondence shall be delivered by hand, by registered mail or by Certified mail and return receipt requested. The Parties may provide for other means of receiving and

communicating notices and responses to requests for approval.

7. Recordation. Grantor shall record this instrument, within thirty (30) days of execution of this instrument by the Commissioner or her/his authorized representative in the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

8. Amendment. Any amendment to this Environmental Easement may only be executed by the Commissioner of the New York State Department of Environmental Conservation or the Commissioner's Designee, and filed with the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

9. Extinguishment. This Environmental Easement may be extinguished only by a release by the Commissioner of the New York State Department of Environmental Conservation, or the Commissioner's Designee, and filed with the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

10. Joint Obligation. If there are two or more parties identified as Grantor herein, the obligations imposed by this instrument upon them shall be joint and several.

11. Consistency with the SMP. To the extent there is any conflict or inconsistency between the terms of this Environmental Easement and the SMP, regarding matters specifically addressed by the SMP, the terms of the SMP will control.

Remainder of Page Intentionally Left Blank

IN WITNESS WHEREOF, Grantor has caused this instrument to be signed in its name.

The City of New York

By: _____

Print Name: Maria Torres - Springer

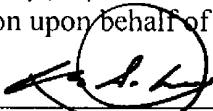
Deputy Mayor for Housing

Title: Economic Development Date: 9/5/2024
and Work force

Grantor's Acknowledgment

STATE OF NEW YORK)
) ss:
COUNTY OF New York)

On the 5th day of September, in the year 2024, before me, the undersigned, personally appeared Maria Torres - Springer personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



Notary Public - State of New York

Carlos A. Guerra
Notary Public, State of New York
No. 01GU6292830
Qualified in New York County
Commission Expires 11/12/2025

SCHEDULE "A" PROPERTY DESCRIPTION

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING BEING IN THE BOROUGH AND COUNTY OF QUEENS, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERLY SIDE OF 126TH PLACE (60 FEET WIDE) WITH THE NORTHERLY SIDE OF 34TH AVENUE (KNOWN AS ALLEN STREET) (60 FEET WIDE), AND RUNNING THENCE;

WESTERLY, ALONG SAID NORTHERLY SIDE OF 34TH AVENUE, A DISTANCE OF 160.00 FEET TO A POINT, THENCE;

NORTHERLY, FORMING AN INTERIOR ANGLE OF 90°00'00" WITH THE PREVIOUS COURSE, A DISTANCE OF 140.00 FEET TO A POINT, THENCE;

WESTERLY, FORMING AN INTERIOR ANGLE OF 270°00'00" WITH THE PREVIOUS COURSE, A DISTANCE OF 60.00 FEET TO A POINT, THENCE;

NORTHERLY, FORMING AN INTERIOR ANGLE OF 90°00'00" WITH THE PREVIOUS COURSE, A DISTANCE OF 143.96 FEET TO A POINT ON THE SOUTHERLY SIDE OF NORTHERN BOULEVARD (KNOWN AS JACKSON BOULEVARD) (150 FEET WIDE), THENCE;

NORTHEASTERLY, ALONG SAID SOUTHERLY SIDE OF NORTHERN BOULEVARD, FORMING AN INTERIOR ANGLE OF 108°23'01" WITH THE PREVIOUS COURSE, A DISTANCE OF 231.83 FEET TO THE POINT FORMED BY THE INTERSECTION OF SAID SOUTHERLY SIDE OF NORTHERN BOULEVARD WITH SAID WESTERLY SIDE OF 126TH PLACE, THENCE;

SOUTHERLY, ALONG SAID WESTERLY SIDE OF 126TH PLACE, FORMING AN INTERIOR ANGLE OF 71°36'59" WITH THE PREVIOUS COURSE, A DISTANCE OF 357.07 FEET TO THE POINT OR PLACE OF BEGINNING.

ENCOMPASSING AN AREA OF 62,113 SQUARE FEET OR 1.426 ACRES, MORE OR LESS.

APPENDIX C

IC/EC CERTIFICATION FORM

Box 2A

YES NO

8. Has any new information revealed that assumptions made in the Qualitative Exposure Assessment regarding offsite contamination are no longer valid?

If you answered YES to question 8, include documentation or evidence that documentation has been previously submitted with this certification form.

9. Are the assumptions in the Qualitative Exposure Assessment still valid?
(The Qualitative Exposure Assessment must be certified every five years)

If you answered NO to question 9, the Periodic Review Report must include an updated Qualitative Exposure Assessment based on the new assumptions.

SITE NO. C241146G

Box 3

Description of Institutional Controls

Parcel

1820-18

Owner

City of New York c/o NYC Econ. Dev. Corp

Institutional Control

Ground Water Use Restriction
Soil Management Plan
Landuse Restriction
Monitoring Plan
Site Management Plan
O&M Plan
IC/EC Plan

Ground Water Use Restriction
Soil Management Plan
Landuse Restriction
Monitoring Plan
Site Management Plan
O&M Plan
IC/EC Plan

Imposition of an institutional control in the form of environmental easement for the controlled property which will:

- require the remedial party or site owner to complete and submit to the Department a periodic certification of institutional and engineering controls in accordance with Part 375-1.8 (h)(3);
- allow the use and development of the controlled property for restricted-residential use as defined by Part 375-1.8(g), although land use is subject to local zoning laws;
- restrict the use of groundwater as a source of potable or process water, without necessary water quality treatment as determined by the NYSDOH or NYCDOH; and
- monitoring to assess the performance and effectiveness of the remedy in compliance with the Department approved Site Management Plan.

1820-9

City of New York c/o NYC Econ. Dev. Corp

Ground Water Use Restriction
Soil Management Plan
Landuse Restriction
Monitoring Plan
Site Management Plan
O&M Plan
IC/EC Plan

Imposition of an institutional control in the form of environmental easement for the controlled property which will:

- require the remedial party or site owner to complete and submit to the Department a periodic certification of institutional and engineering controls in accordance with Part 375-1.8 (h)(3);
- allow the use and development of the controlled property for restricted-residential use as defined by Part 375-1.8(g), although land use is subject to local zoning laws;
- restrict the use of groundwater as a source of potable or process water, without necessary water quality treatment as determined by the NYSDOH or NYCDOH; and
- monitoring to assess the performance and effectiveness of the remedy in compliance with the Department approved Site Management Plan.

Box 4

Description of Engineering Controls

Parcel

1820-18

Engineering Control

Vapor Mitigation
Cover System
Vapor Mitigation
Cover System

A site cover will be required to allow for restricted-residential use of the site in areas where the upper two feet of exposed surface soil will exceed the restricted-residential soil cleanup objectives (SCOs). Where a soil cover is to be used it will be a minimum of two feet of soil placed over a demarcation

Parcel

Engineering Control

layer, with the upper six inches of soil of sufficient quality to maintain a vegetative layer. Soil cover material, including any fill material brought to the site, will meet the SCOs for cover material for the use of the site as set forth in 6 NYCRR Part 375-6.7(d). Substitution of other materials and components may be allowed where such components already exist or are a component of the tangible property to be placed as part of site redevelopment. Such components may include, but are not necessarily limited to: pavement, concrete, paved surface parking areas, sidewalks, building foundations and building slabs.

Any on-site buildings will be required to have a sub-slab depressurization system, or other acceptable measures, to mitigate the migration of vapors into the building from groundwater.

1820-9

Vapor Mitigation
Cover System

A site cover will be required to allow for restricted-residential use of the site in areas where the upper two feet of exposed surface soil will exceed the restricted-residential soil cleanup objectives (SCOs). Where a soil cover is to be used it will be a minimum of two feet of soil placed over a demarcation layer, with the upper six inches of soil of sufficient quality to maintain a vegetative layer. Soil cover material, including any fill material brought to the site, will meet the SCOs for cover material for the use of the site as set forth in 6 NYCRR Part 375-6.7(d). Substitution of other materials and components may be allowed where such components already exist or are a component of the tangible property to be placed as part of site redevelopment. Such components may include, but are not necessarily limited to: pavement, concrete, paved surface parking areas, sidewalks, building foundations and building slabs.

Any on-site buildings will be required to have a sub-slab depressurization system, or other acceptable measures, to mitigate the migration of vapors into the building from groundwater.

Periodic Review Report (PRR) Certification Statements

1. I certify by checking "YES" below that:

a) the Periodic Review report and all attachments were prepared under the direction of, and reviewed by, the party making the Engineering Control certification;

b) to the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and the information presented is accurate and complete.

YES NO

2. For each Engineering control listed in Box 4, I certify by checking "YES" below that all of the following statements are true:

(a) The Engineering Control(s) employed at this site is unchanged since the date that the Control was put in-place, or was last approved by the Department;

(b) nothing has occurred that would impair the ability of such Control, to protect public health and the environment;

(c) access to the site will continue to be provided to the Department, to evaluate the remedy, including access to evaluate the continued maintenance of this Control;

(d) nothing has occurred that would constitute a violation or failure to comply with the Site Management Plan for this Control; and

(e) if a financial assurance mechanism is required by the oversight document for the site, the mechanism remains valid and sufficient for its intended purpose established in the document.

YES NO

IF THE ANSWER TO QUESTION 2 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.

A Corrective Measures Work Plan must be submitted along with this form to address these issues.

Signature of Owner, Remedial Party or Designated Representative

Date

IC CERTIFICATIONS
SITE NO. C241146G

Box 6

SITE OWNER OR DESIGNATED REPRESENTATIVE SIGNATURE

I certify that all information and statements in Boxes 1,2, and 3 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Glenn Goldstein, Scott Wilpon at 30 Hudson yards, 72nd Floor New York, NY 10001,
print name print business address

am certifying as Remedial Party (Owner or Remedial Party)

for the Site named in the Site Details Section of this form.



Glenn Goldstein
box SIGN 1R6LK55P-4ZYQ298K

Scott Wilpon
box SIGN 46ZLPY98-4ZYQ298K

Jun 2, 2026

Signature of Owner, Remedial Party, or Designated Representative
Rendering Certification

Date

EC CERTIFICATIONS

Box 7

Professional Engineer Signature

I certify that all information in Boxes 4 and 5 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Gerald Nicholls at 368 Ninth Ave, Floor 8, New York, NY 10001,
print name print business address

I am certifying as a Professional Engineer for the Remedial Party
(Owner or Remedial Party)



Gerry Nicholls
Signature of Professional Engineer, for the Owner or
Remedial Party, Rendering Certification

Stamp
(Required for PE)

06/04/2026
Date

APPENDIX D

SMP WORK NOTIFICATION & DOCUMENTATION

Loagan Clements

From: Elizabeth Burgess <eburgess@langan.com>
Sent: Monday, February 10, 2025 4:57 PM
To: James Strobel
Cc: Lipman, Aaron; Hutton, Tom; eric.saretsky@sterl.com; Fay, Declan; Santos, Steve; Michele O'Connor; Gerald Nicholls; Nicholas Palumbo; Eric Greene
Subject: FW: Willets Point Development Northern Parcel BCP Site (C241146G) - SMP Work Notification

Jim,

NYSDEC took no exception to the proposed stockpiles of clean fill at the Northern Parcel to support the Triangle Parcel development. The notification is provided below – if there are any proposed deviations for this scope please let us know as soon as possible so we can notify DEC.

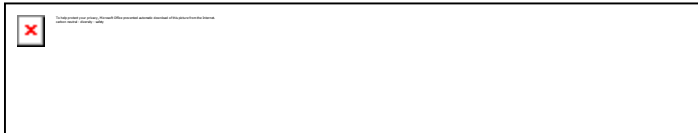
Thank you,
Beth

Elizabeth Burgess, PE
Project Engineer

LANGAN

Direct: 212.479.5499 x5631
Mobile: 203.710.7157
[File Sharing Link](#)
www.langan.com

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA VIRGINIA WASHINGTON, DC
OHIO ILLINOIS NORTH CAROLINA TENNESSEE FLORIDA TEXAS ARIZONA COLORADO UTAH WASHINGTON CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA



From: Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>
Sent: Thursday, February 6, 2025 2:53 PM
To: Elizabeth Burgess <eburgess@langan.com>
Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; Hood, Harolyn L (HEALTH) <Harolyn.Hood@health.ny.gov>; Gerald Nicholls <gnicholls@Langan.com>; Nicholas Palumbo <npalumbo@langan.com>; Ellie Seery <Eseery@langan.com>; Harrison Bluestone <hbluestone@langan.com>; Ali Reach <Areach@langan.com>
Subject: RE: Willets Point Development Northern Parcel BCP Site (C241146G) - SMP Work Notification

Hi Elizabeth,

We have no objections to this work. Please proceed.

Thanks,

Wendi Zheng
New York State Department of Environmental Conservation
P: (718) 482-7541 | wendi.zheng@dec.ny.gov

From: Elizabeth Burgess <eburgess@langan.com>
Sent: Wednesday, February 5, 2025 11:19 AM
To: Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>
Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; Hood, Harolyn L (HEALTH) <Harolyn.Hood@health.ny.gov>; gnicholls@langan.com; Nicholas Palumbo <npalumbo@langan.com>; Ellie Seery <Eseery@langan.com>; Harrison Bluestone <hbluestone@langan.com>; Ali Reach <Areach@langan.com>
Subject: Willets Point Development Northern Parcel BCP Site (C241146G) - SMP Work Notification

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Hi Wendi,

Please let this email serve as notification prior to the start of field activity at the Willets Point Development Northern Parcel BCP Site (C241146G). The planned work complies with the approved October 9, 2024 Site Management Plan (SMP) and does not anticipate ground-intrusive work or breaching the composite cover system. Please see below for details:

- Summary of work to be performed:
 - Staging for Triangle Parcel Development Support:
 - Temporary stockpiling of NYSDEC-approved imported clean fill and stone, pending placement on the Triangle Parcel (BCP Site No. C241146E).
 - Temporary stockpiling of previously imported clean fill to Triangle Parcel: clean composite material from the Triangle parcel to be properly segregated, temporarily stockpiled on the Northern Parcel, and returned to the Triangle Parcel for replacement following platform construction. A reuse request form will be submitted to NYSDEC separately.
 - Stockpiling of contaminated material from beneath the cap on Triangle parcel is not proposed at the Northern Parcel. Contaminated material from beneath the composite cover system will be properly handled on the site from which it originated.
 - Staging of construction materials in laydown area to support the surrounding Willets Point Development projects.
 - At the completion of the work, the composite cover system will be repaired, as needed. Any disturbed areas of the cap will be replaced in-kind with NYSDEC-approved material.
 - Excavation or disturbance of the existing cap and underlying contaminated soil is not anticipated.
 - Groundwater is not anticipated to be encountered.
 - Community Air Monitoring Program (CAMP) implementation is not anticipated in accordance with Section C-13 of the EWP, as work fully penetrating the site cap is not anticipated. Clean fill stockpiles will be properly managed and covered as required by the SWPPP and Section C-3 of the EWP.

- Environmental conditions anticipated to be encountered in the work areas include previously imported clean fill.
 - Excavated composite cover material from the Triangle Parcel will be temporarily stockpiled on polyethylene sheeting above the existing Northern Parcel composite cover system
 - Composite cover system – At least two feet of certified-clean fill (i.e., soil/fill meeting the lower of Protection of Groundwater and Restricted Residential Soil Cleanup Objectives), and top 4 inches consisting of ¾-inch virgin crushed stone
- Schedule: Import and temporary stockpiling of NYSDEC-approved clean fill is anticipated to begin in April 2025. Temporary stockpiling of excavated clean composite cover material from Triangle Parcel is expected to begin as early as April 15, 2025. Use of the site for stockpiling material is expected to continue through 2026.
- The work will be performed in accordance with the October 9, 2024 SMP, Excavation Work Plan (EWP), and 29 CFR 1910.120.
- Applicable components of the EWP include sections C-1 through C-16.

Future import and/or reuse requests will be forwarded to NYSDEC for record/approval as required by the SMP.

Please let us know if you have any questions.

Thank you,
Beth

Elizabeth Burgess, PE
Project Engineer

LANGAN

Direct: 212.479.5499 x5631

Mobile: 203.710.7157

[File Sharing Link](#)

www.langan.com

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA VIRGINIA WASHINGTON, DC
OHIO ILLINOIS NORTH CAROLINA TENNESSEE FLORIDA TEXAS ARIZONA COLORADO UTAH WASHINGTON CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA



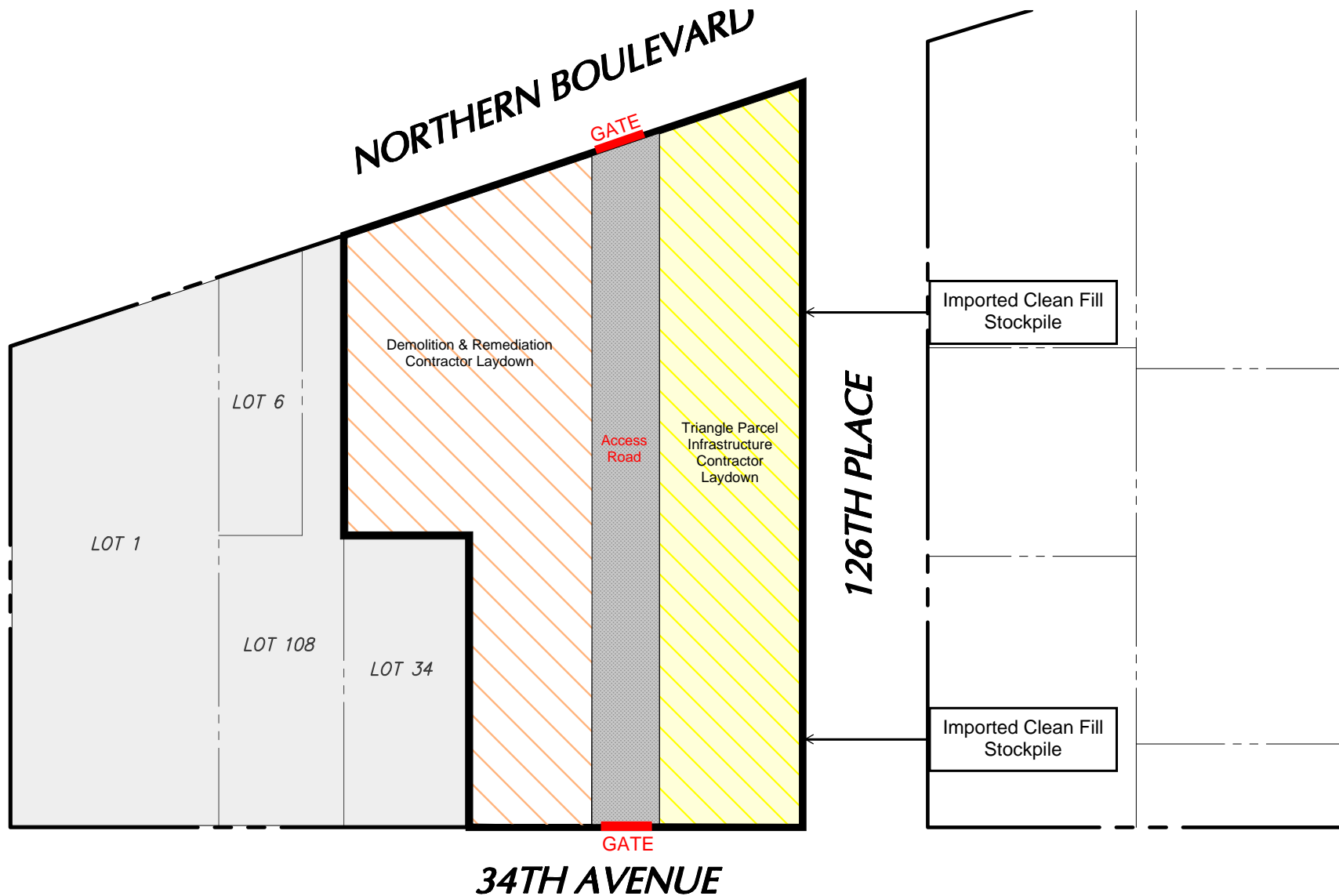
This message may contain confidential, proprietary, or privileged information. Confidentiality or privilege is not intended to be waived or lost by erroneous transmission of this message. If you receive this message in error, please notify the sender immediately by return email and delete this message from your system. Disclosure, use, distribution, or copying of a message or any of its attachments by anyone other than the intended recipient is strictly prohibited.

This message may contain confidential, proprietary, or privileged information. Confidentiality or privilege is not intended to be waived or lost by erroneous transmission of this message. If you receive this message in error, please notify the sender immediately by return email and delete this message from

your system. Disclosure, use, distribution, or copying of a message or any of its attachments by anyone other than the intended recipient is strictly prohibited.

Work Notification Northern Parcel

1. Northern Parcel to be utilized for stockpiling imported clean fill for Triangle Parcel Open Space



SITE OBSERVATION REPORT

B /PROJECT NO.: 170197645	CLIENT: Queens Development Group II (QDG II)	DATE: Monday, September 15, 2025
PROJECT: Willets Point – Open Space Triangle (OSTR)		WEATHER: Sunny, 60-78°F
LOCATION: Queens, NY		TIME: 6:00 a.m. – 3:00 p.m.
CONTRACTOR: Triumph Construction (Triumph), ECD NY Inc. (ECD)		OBSERVER: Max Ringold, John McBrien, P.E.
CONTRACTOR'S EQUIPMENT: Hand Tools, Komatsu WA380, CAT 335 Excavator, ABI Mobilram TM26, Delmag RH30 Drill Rig, Bauer Mat CMS 45 Grout Pump, Bauer BG45 Drill Rig with drill-displacement tool, Liebherr 140 D-K grout pump, Komatsu WA380 excavator		PRESENT AT SITE: Day 64 Max Ringold, John McBrien, P.E. – Langan Patrick Elias – AECOM Andrew McDonald – ECD Jairo Galarza, Josh Ricca – Triumph Felix Ajakaye – Twin Peaks
PROJECT SUMMARY Langan was on-site to document: <ol style="list-style-type: none">1. Implementation of the New York Department of Environmental Conservation (NYSDEC)-approved August 30, 2024 Site Management Plan (SMP) for Brownfield Cleanup Program (BCP) Site No. C241146E during Phase 2 of the OSTR development.2. Installation of soil mix wall.3. Deep Foundations in accordance with NYCBC Section 1704.8 and the contract documents. All elevations are referenced to the North American Vertical Datum of 1988 (NAVD88). Depths and elevations are approximate.		
SITE ACTIVITY <ul style="list-style-type: none">- Triumph continued installing displacement piles in the eastern part of the site.- Triumph excavated an area measuring 10 feet wide by 25 feet long and 4 feet deep in the northeastern part of the site. Removed material was added to the northern clean fill stockpile.- Triumph excavated an area measuring 4 feet wide by 4 feet long and 6 feet deep in the southern part of site. Removed material was stockpiled immediately to the south of the excavation.- Triumph imported stone and clean fill to the site.		
ENVIRONMENTAL OBSERVATIONS		
Impacts Observed <ul style="list-style-type: none">- None		
Sampling <ul style="list-style-type: none">- None		
Material Tracking <ul style="list-style-type: none">- Triumph imported 2 loads of #57 stone from Callanan Industries, Inc. in Monticello, NY.- Triumph imported 9 loads of clean fill from Earth Tech Recycling Inc. in Oceanside, NY.		
Cc: Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By: Max Ringold, John McBrien, P.E.	
File Path: \\langan.com\data\NYC\data6\170197670\Construction\SOR\OSTR - Open Space Triangle\2025-09\2025-09-15\2025-09-15 SOR Willets Point Triangle Parcel Open Space Day 64.docx Template Revision Date: 3 Jan 2019		

SITE OBSERVATION REPORT

Materials Import Summary*				
Facility Name	Callanan Industries, Inc.		Earth Tech Recycling Inc.	
Location	Monticello, NY		Oceanside, NY	
Material	#57 Stone		Clean Fill	
	Trucks	CY	Trucks	CY
Today	2	40	9	180
Total	15	300	9	180

Materials Export Summary – C&D*				
Facility Name	Westbury Recycling Inc.		Durante Brothers Construction Corp.	
Location	Westbury, NY		Flushing, NY	
Material	Concrete		Concrete	
	Trucks	CY	Trucks	CY
Today	0	0	0	0
Total	25	500	2	40

Materials Export Summary – Soil*				
Facility Name	Bayshore Soil Management		Willets Point Development Phase 1 Senior Housing	
Location	Keasbey, NJ		Queens, NY	
Material	Soil		Clean Fill	
	Trucks	CY	Trucks	CY
Today	0	0	0	0
Total	104	2,080	43	860

* The volume per load is estimated to be 20 cubic yards.

Community Air Monitoring Plan Activities

- Langan performed community air monitoring at the perimeter of the work area at one upwind and two downwind locations during intrusive work. Implementation of the Community Air Monitoring Plan (CAMP) included air monitoring for particulate matter for particulates less than 10 µm in diameter (PM10) and volatile organic compounds (VOC).
- No fugitive dust or odors associated with site activities were observed migrating from the site.

GEOTECHNICAL OBSERVATIONS

Support of Excavation

- Soil mix wall installation has reached completion.
- Of the remaining beams, only six at the north will be installed. Triumph will perform a test pit in the area, backfill, and then push the beams down to their required depths.

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
------------	--	------------	---------------------------------

SITE OBSERVATION REPORT

Production Pile

- Triumph and ECD continued installation of drilled displacement piles. See Figure 3 for more information.
- A total of ten production piles (P-258, P-255, P-252, P-248, P-243, P-237, P-256, P-251, P-247, and P-242) were installed today.
- The reinforcement, consisting of a 120-foot-long 1-#9 rebar, was installed down to 120 feet below grade (tip at approx. el. -111±) at each of the above piles.
- A representative from Twin Peaks was on site for grout inspection for the production piles.
- Pile completion should not be construed as pile approval. Approval of completed piles are pending review of pile rig logs. Nonconformances are tracked and distributed separately.

CONSTRUCTION TRACKING

Soil Mix Wall Summary

- Primary/secondary columns completed to date: 100%
- SOE beams installed: 0 of 6 (0%)

Production Pile Summary

- Piles completed today: 10
- Piles completed to date: 311 of 416 (74.7%)
- Piles approved to date: 189 of 416 (45.4%)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT

FIGURE 1: Support of Excavation Plan, Site Features



Cc: Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)

By: Max Ringold, John McBrien, P.E.

SITE OBSERVATION REPORT



Figure 2A – Soil Mix Wall (taken from drawing: SOE coordinate part plan 1, dated 06/09/2025)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT

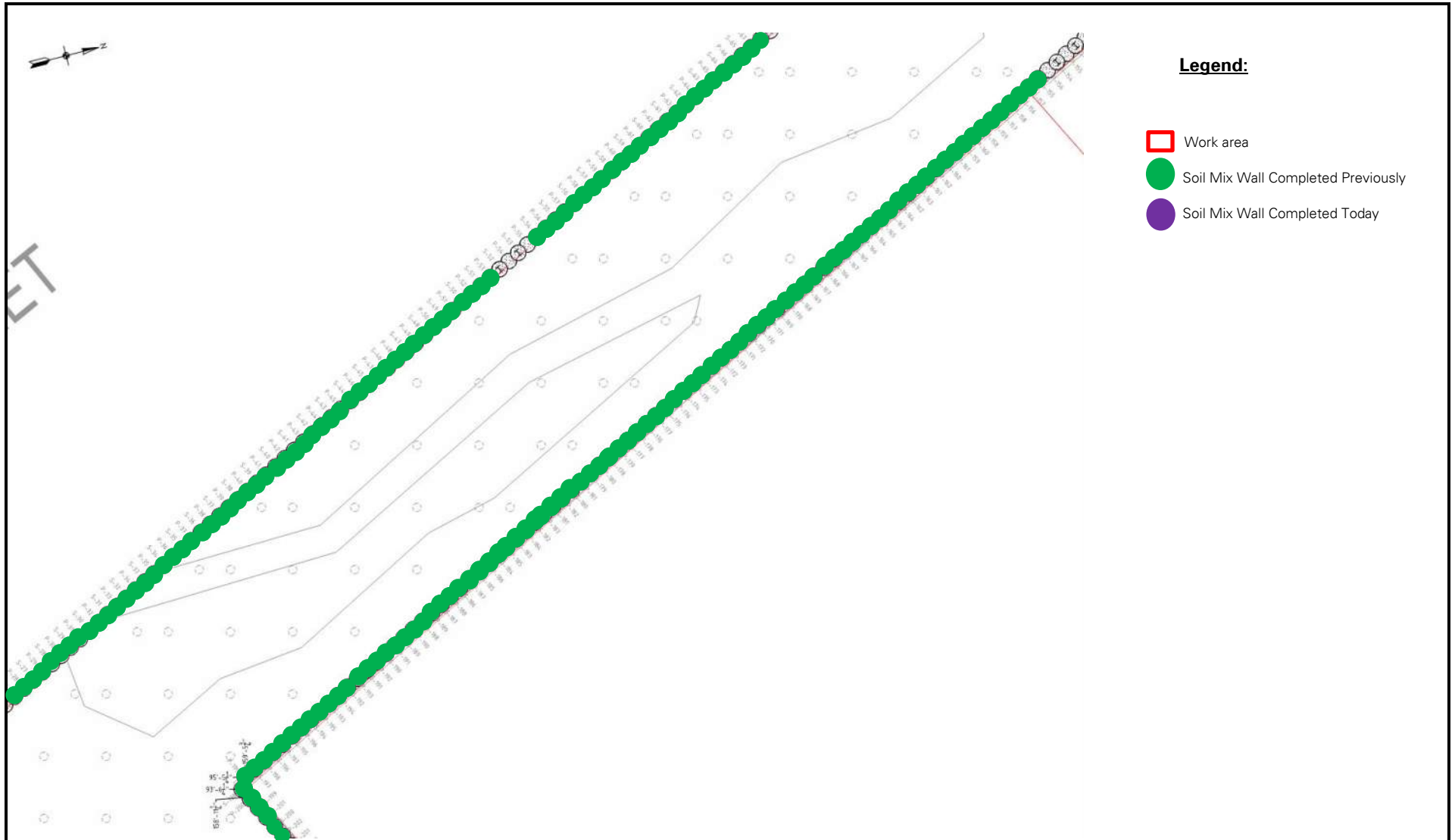


Figure 2B – Soil Mix Wall (taken from drawing: *SOE coordinate part plan 2, dated 06/09/2025*)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT



Figure 2C – Soil Mix Wall (taken from drawing: *SOE coordinate part plan 1, dated 06/09/2025*)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT

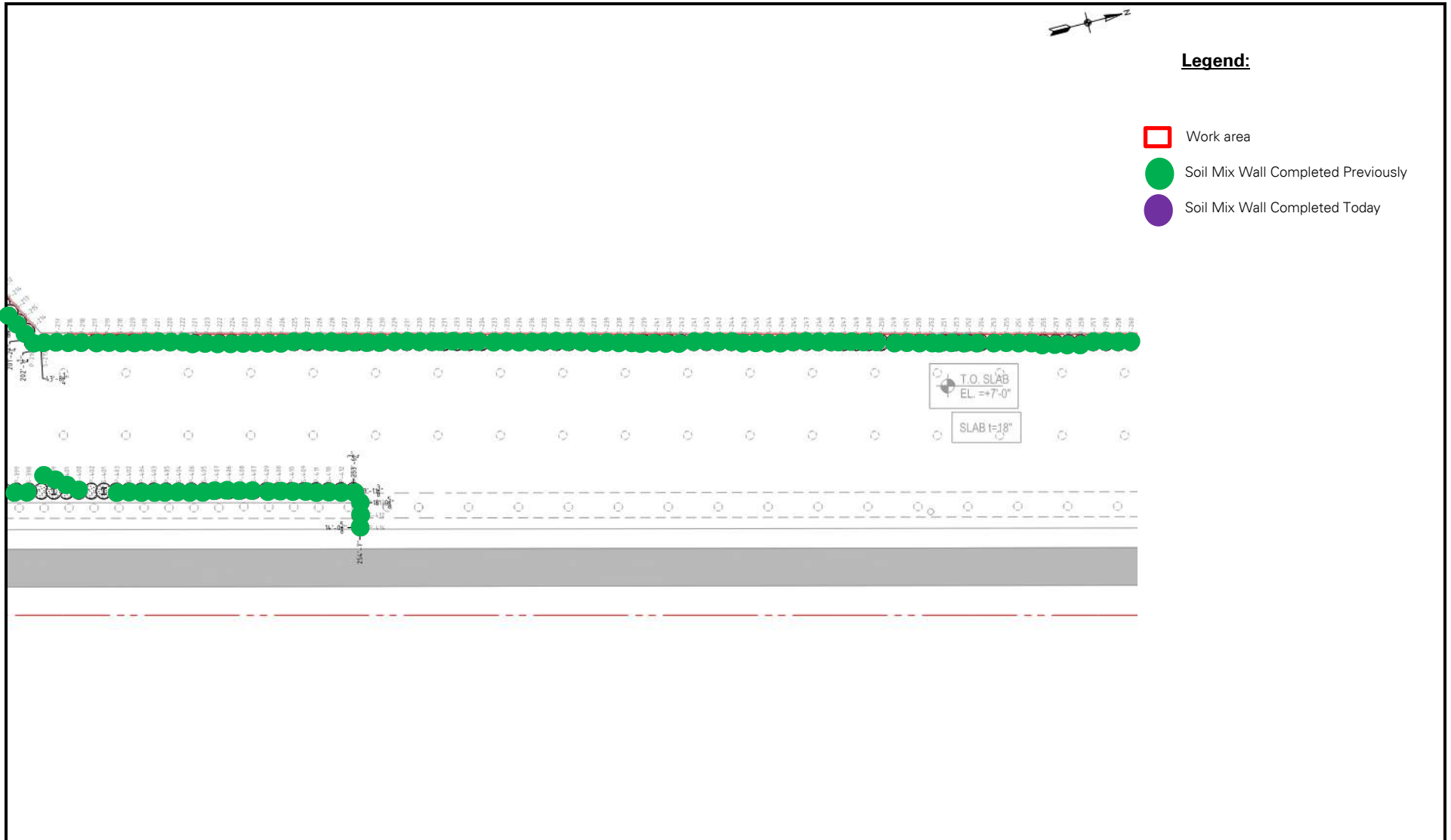


Figure 2D – Soil Mix Wall (taken from drawing: SOE coordinate part plan 1, dated 06/09/2025)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT

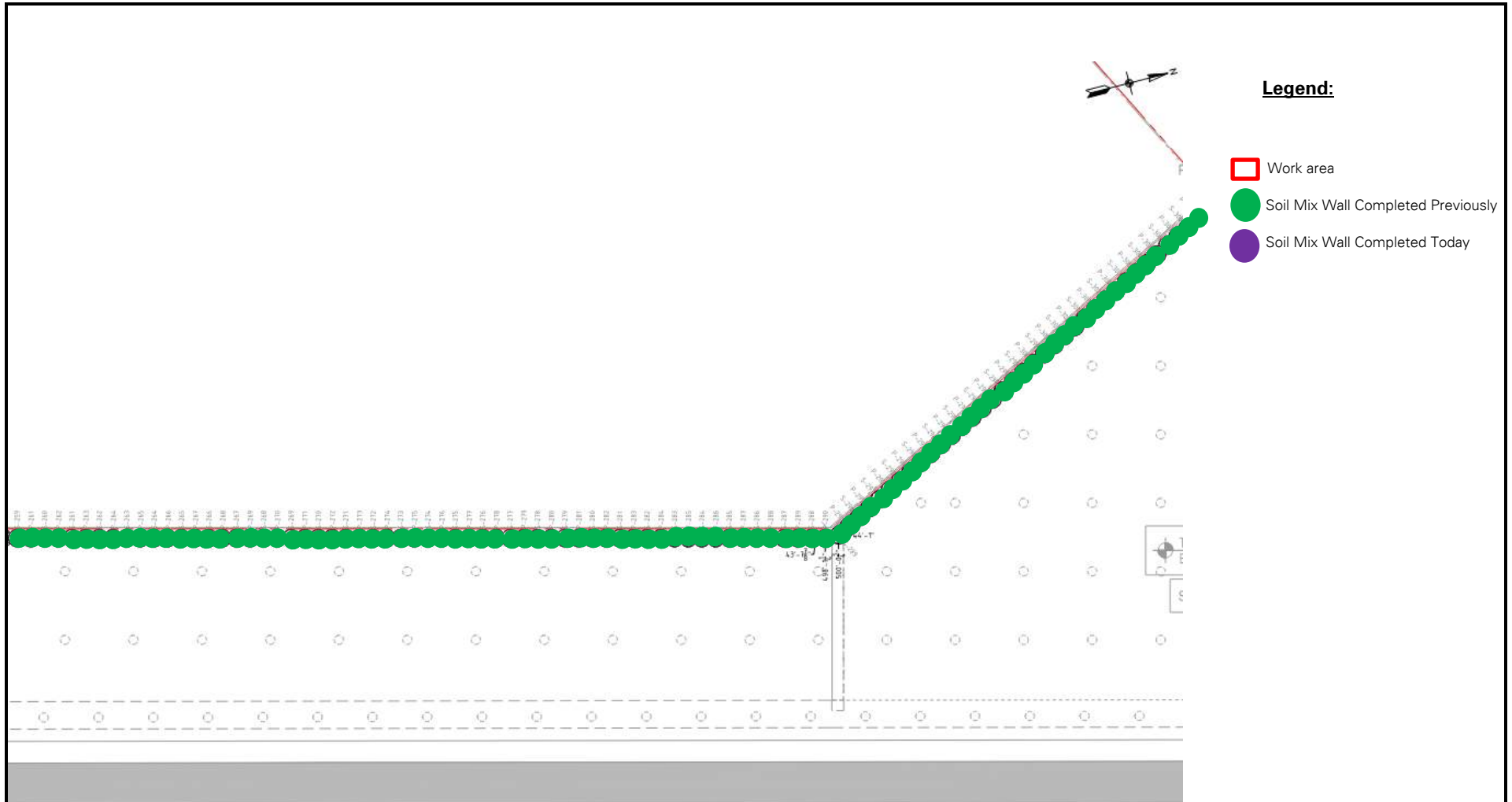


Figure 2E – Soil Mix Wall (taken from drawing: *SOE coordinate part plan 1, dated 06/09/2025*)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

SITE OBSERVATION REPORT

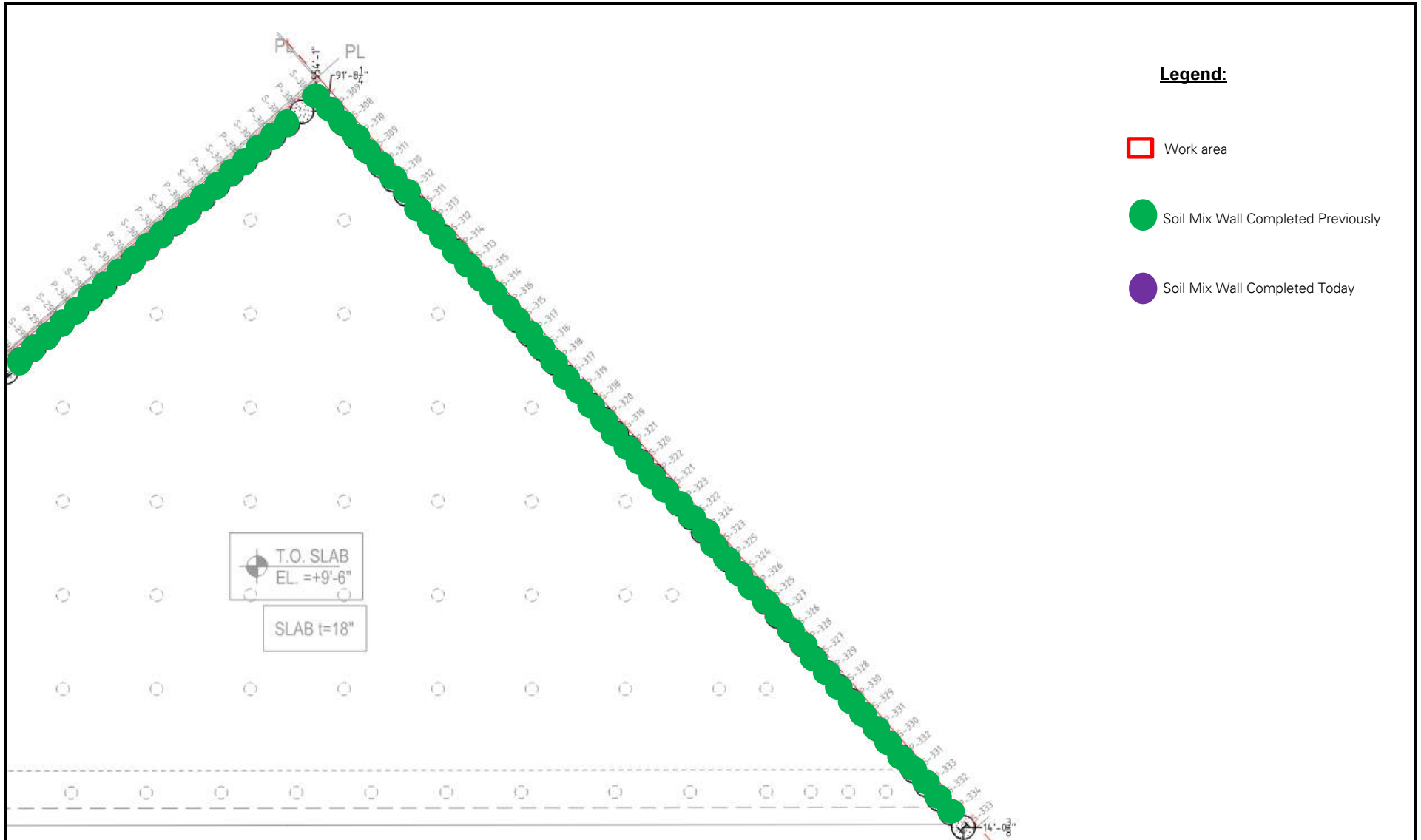
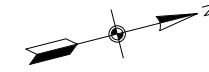


Figure 2F – Soil Mix Wall (taken from drawing: *SOE coordinate part plan 1, dated 06/09/2025*)

Cc:	Vijay Veluchamy, Tasos Papathanasiou, (Langan), Scott Fehmel (QDG)	By:	Max Ringold, John McBrien, P.E.
-----	--	-----	---------------------------------

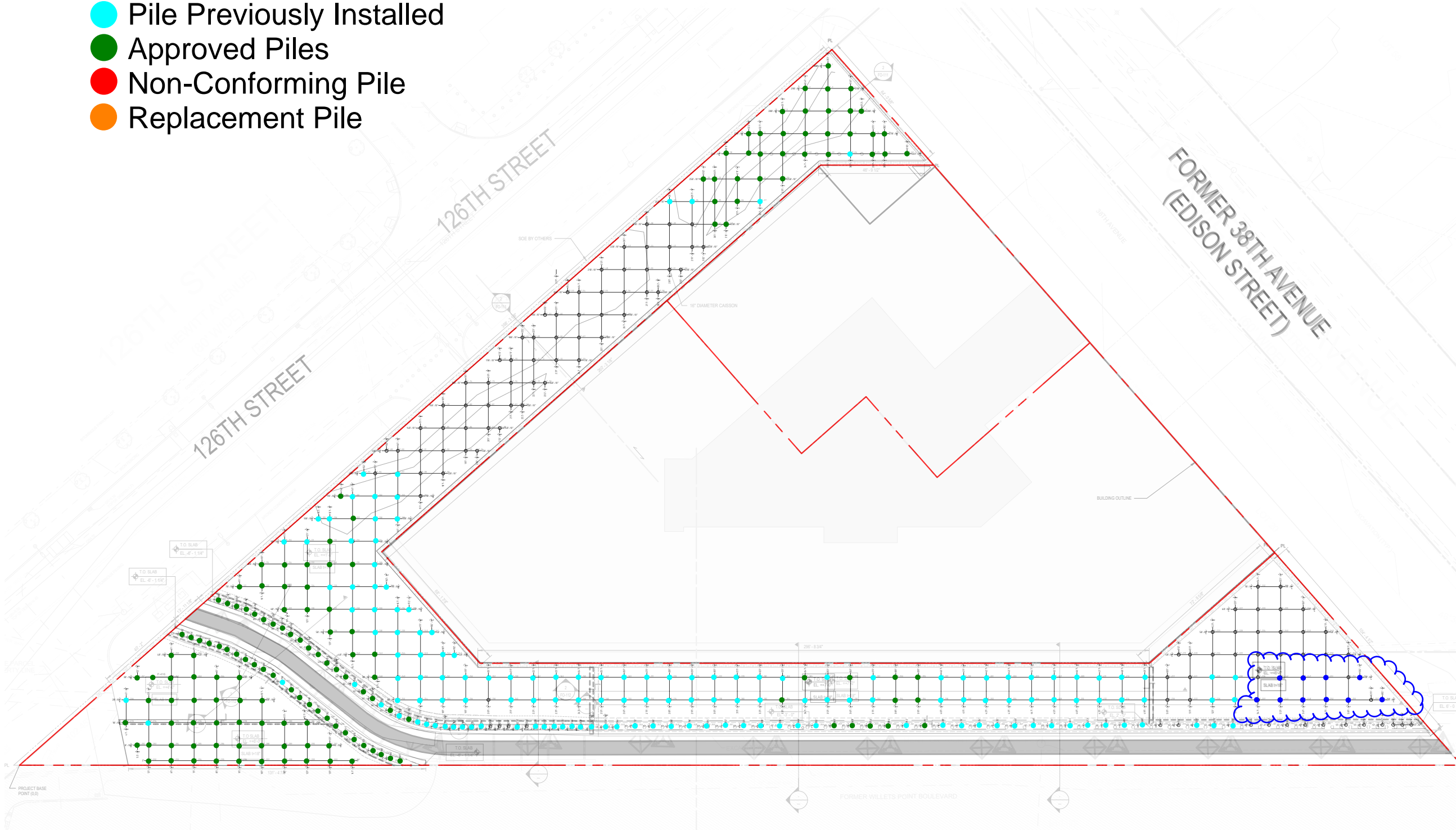
Figure 3 – Pile Location Plan - Submittal #10, dated 6/2/2025



Legend:

- Pile Installed Today
- Pile Previously Installed
- Approved Piles
- Non-Conforming Pile
- Replacement Pile

NOTES:
 DENOTES 16" DIAMETER PILE WITH 150 TON COMPRESSION CAPACITY



FORMER WILLETS POINT BOULEVARD

CLIENT:
 RELATED COMPANIES
 30 Hudson Yards
 New York, NY 10001

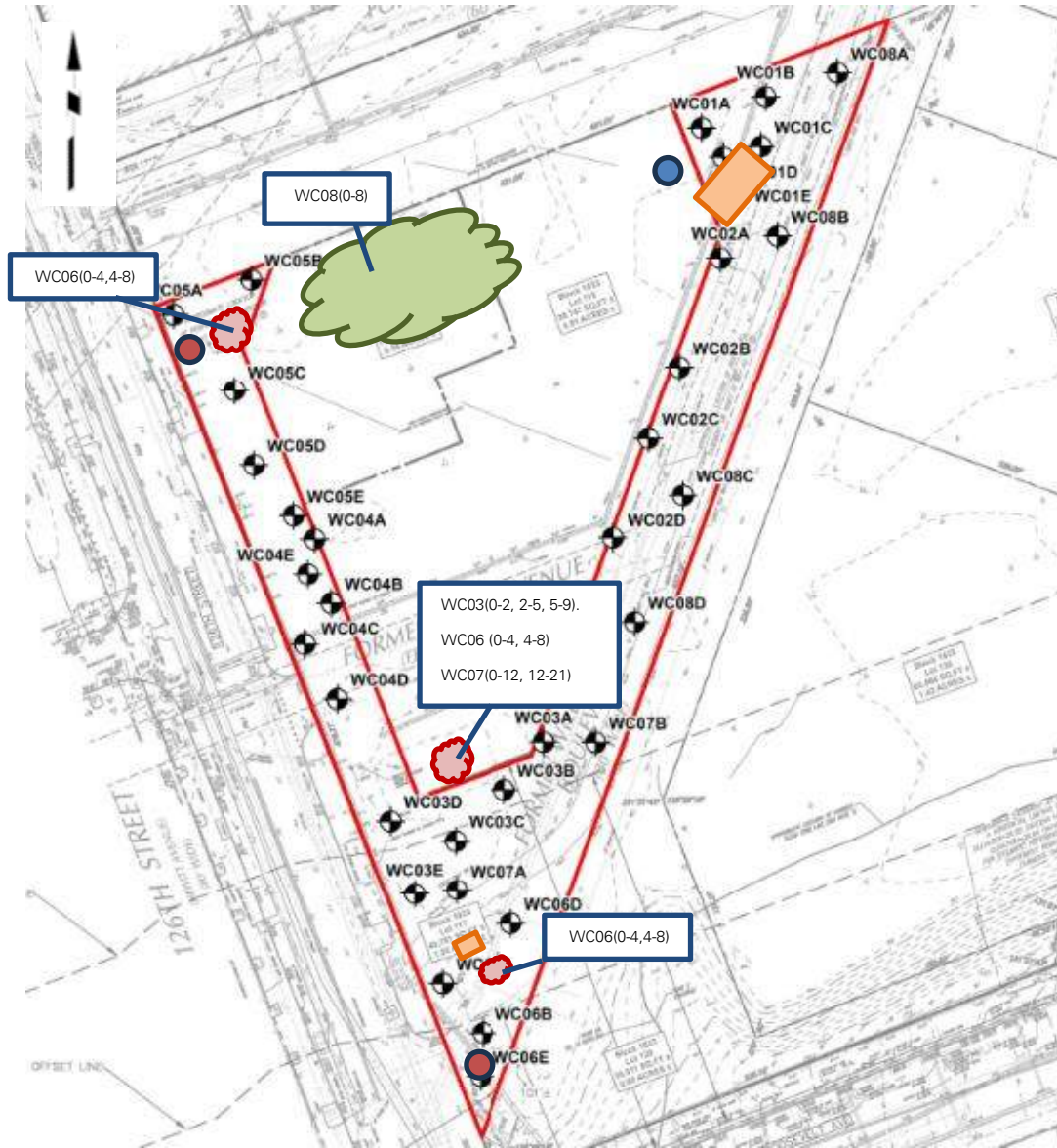
REVISION SUBMISSION		
REV.	DATE	DETAILS

PROJECT:
 WILLETS POINT - TRIANGLE PARCEL
 QUEENS, NEW YORK

TITLE: PILE COORDINATE PLAN	
DATE: 06/02/2025	SCALE: N.T.S.
DESIGNED BY: -	DRAWING #: CDP-001
DRAWN BY: PF	PAGE #: 1 of 7

SITE OBSERVATION REPORT

FIGURE 4: Soil Excavation and Backfill Location Map

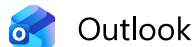


Legend:

- Downwind CAMP Station
- Upwind CAMP Station
- Non-Native Fill Stockpile
- Clean Fill Stockpile
- Excavation

Cc: Vijay Veluchamy, Tasos Papathanasiou, (Langan),
 Scott Fehmel (QDG)

By: Max Ringold, John McBrien, P.E.



RE: Willets Point Triangle Parcel (C241146E) - Earth Tech Recycling Inc. Clean Fill #1

From Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>

Date Tue 9/9/2025 9:55 AM

To Nicholas Palumbo <npalumbo@langan.com>

Cc O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; Gerald Nicholls <gnicholls@Langan.com>; Elizabeth Burgess <eburgess@langan.com>; PJ Dinardo <pdinardo@langan.com>

Nick,

The Department has reviewed the request dated September 5, 2025 to import approximately 10,000 cubic yards of general fill material from Earth Tech Recycling Inc. (6 NYCRR Part 360 Registration ID Nos. 30C60155 and 30C10155) located at 495 Wood Street in New York. The material will be used for backfill above the demarcation layer between the forthcoming pile-supported platform slab and open-space hardscape/landscape. Based on the information provided, the request is hereby approved.

The proposed fill material meets the lower of the Restricted Residential or Groundwater Protection soil cleanup objectives (SCOs) as provided in Appendix 5 of DER-10 and the guidance document "Sampling, Analysis and Assessment of Per- and Polyfluoroalkyl Substances (PFAS) Under NYSDEC's Part 375 Remedial Programs. Therefore, this material may be placed above the demarcation layer.

Testing in accordance with DER-10, the Site Management Plan and approval by the Department is required for any additional material imported from this source. Should you have any questions, please contact me.

Thank you,

Wendi Zheng

New York State Department of Environmental Conservation

P: (718) 482-7541 | wendi.zheng@dec.ny.gov

From: Nicholas Palumbo <npalumbo@langan.com>

Sent: Friday, September 5, 2025 5:38 PM

To: Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>

Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; gnicholls@langan.com; Elizabeth Burgess <eburgess@langan.com>; PJ Dinardo <pdinardo@langan.com>

Subject: RE: Willets Point Triangle Parcel (C241146E) - Earth Tech Recycling Inc. Clean Fill #1

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Hi Wendi,

The contractor completed the additional PFAS sampling to meet the full suite and frequency specified in DER-10. Please find the complete import request at the link below for 10,000 cubic yards of Clean Fill from Earth Tech Recycling Inc., located at 495 Wood Street, Oceanside, New York in Nassau County.

The proposed use of the material is to fill above the demarcation layer between the forthcoming pile-supported platform slab and open-space hardscape/landscape. Please let us know if DEC takes any

exception to the proposed import and placement of this material.

<https://clients.langan.com/Sharing/filesharing/ViewPosted?transactionHash=1646551685>

Name	Type	Size
Request to Import - Earth Tech Recycling Clean Fill #1	.pdf	19.77 MB

Sincerely,
Nick

Nick Palumbo
Project Engineer

LANGAN

Direct: 212.479.5435
Mobile: 917.301.1896
[File Sharing Link](#)
www.langan.com

Technical Excellence • Practical Experience • Client Responsiveness

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA VIRGINIA WASHINGTON, DC
OHIO ILLINOIS NORTH
CAROLINA TENNESSEE FLORIDA TEXAS ARIZONA COLORADO UTAH WASHINGTON OREGON NEVADA CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA

From: Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>
Sent: Friday, August 15, 2025 10:28 AM
To: Nicholas Palumbo <npalumbo@langan.com>
Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; Gerald Nicholls <gnicholls@Langan.com>; Elizabeth Burgess <eburgess@langan.com>; PJ Dinardo <pdinardo@langan.com>
Subject: RE: Willets Point Triangle Parcel (C241146E) - Earth Tech Recycling Inc. Clean Fill #1

Hi Nick,

We require all imported soil to be sampled in accordance with DER-10 for full suite parameters. Please submit a full request to import form for tis material.

Thanks,

Wendi Zheng
New York State Department of Environmental Conservation
P: (718) 482-7541 | wendi.zheng@dec.ny.gov

NYSDEC has a new File Transfer System. We no longer accept third-party links. You can send large files to me here:
<https://mysend.ny.gov:443/nys/send/to/user/wendizhengdecnygov>

From: Nicholas Palumbo <npalumbo@langan.com>
Sent: Thursday, August 14, 2025 10:09 AM

To: Zheng, Wendi Y (DEC) <Wendi.Zheng@dec.ny.gov>

Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; gnycholls@langan.com; Elizabeth Burgess <eburgess@langan.com>; PJ Dinardo <pdinardo@langan.com>

Subject: RE: Willets Point Triangle Parcel (C241146E) - Earth Tech Recycling Inc. Clean Fill #1

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Hi Wendi,

Attached are the results for the rushed PFAS composite sample. The data meets the Restricted-Residential and Protection of Groundwater SCOs.

Sincerely,
Nick

Nick Palumbo
Project Engineer

LANGAN

Direct: 212.479.5435

Mobile: 917.301.1896

[File Sharing Link](#)

www.langan.com

Technical Excellence • Practical Experience • Client Responsiveness

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA VIRGINIA WASHINGTON, DC

OHIO ILLINOIS NORTH

CAROLINA TENNESSEE FLORIDA TEXAS ARIZONA COLORADO UTAH WASHINGTON OREGON NEVADA CALIFORNIA

ATHENS CALGARY DUBAI LONDON PANAMA

From: Nicholas Palumbo

Sent: Thursday, August 7, 2025 11:30 AM

To: Zheng, Wendi Y (DEC) <wendi.zheng@dec.ny.gov>

Cc: O'Connell, Jane H (DEC) <jane.oconnell@dec.ny.gov>; Obligado, Andre A (DEC) <andre.obligado@dec.ny.gov>; Gerald Nicholls <gnycholls@Langan.com>; Elizabeth Burgess <eburgess@langan.com>; PJ Dinardo <pdinardo@langan.com>

Subject: Willets Point Triangle Parcel (C241146E) - Earth Tech Recycling Inc. Clean Fill #1

Hi Wendi,

As discussed earlier this week, the contractor at Willets Point Triangle Parcel (Triumph Construction) is proposing to import 10,000 cubic yards of Clean Fill from Earth Tech Recycling Inc., a Part 360-registered facility located at 495 Wood Street, Oceanside, New York in Nassau County. The contractor is proposing a reduced sampling frequency for PFAS (4 of the 11 required composite soil samples) and provided the attached submittal which includes two letters from the Professional Geologist who performed the soil sampling (Taylor Environmental), a sieve analysis, the Facility's Part 360 registration, a sample location map, and laboratory analytical data and reports.

Langan reviewed the attached submittal and with the exception of PFAS analysis, the sampling frequency and analytical parameters are in accordance with DER-10, the NYSDEC-approved August 30, 2024 Site Management Plan, and the analytical results meet the lower of the Restricted-Residential and Protection of Groundwater SCOs. The August 5, 2025 Letter from Taylord Environmental requests PFAS sample analysis at 4 of the 11 composite sample locations (ET-Comp1, ET-Comp3, ET-Comp7, ET-Comp11) and states that *soil and rock that enter the facility are generated by residential sites in Nassau and Suffolk Counties and that PFAS are not a contaminant of concern for this recycling facility, based on the inbound origins.*

Please let us know if DEC would accept this reduced PFAS sampling frequency.

Sincerely,
Nick

Nick Palumbo
Project Engineer

LANGAN

Direct: 212.479.5435
Mobile: 917.301.1896
[File Sharing Link](#)

Phone: 212.479.5400 Fax: 212.479.5444
368 Ninth Avenue
8th Floor
New York, NY 10001-2727
www.langan.com

Technical Excellence • Practical Experience • Client Responsiveness

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA VIRGINIA WASHINGTON, DC
OHIO ILLINOIS NORTH
CAROLINA TENNESSEE FLORIDA TEXAS ARIZONA COLORADO UTAH WASHINGTON OREGON NEVADA CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA



This message may contain confidential, proprietary, or privileged information. Confidentiality or privilege is not intended to be waived or lost by erroneous transmission of this message. If you receive this message in error, please notify the sender immediately by return email and delete this message from your system. Disclosure, use, distribution, or copying of a message or any of its attachments by anyone other than the intended recipient is strictly prohibited.

This message may contain confidential, proprietary, or privileged information. Confidentiality or privilege is not intended to be waived or lost by erroneous transmission of this message. If you receive this message in error, please notify the sender immediately by return email and delete this message from your system. Disclosure, use, distribution, or copying of a message or any of its attachments by anyone other than the intended recipient is strictly prohibited.



TYPE OF C&D DEBRIS: Limited-Use Fill Restricted-Use Fill Contaminated Fill Fill Material - Unknown
 General Fill Residue Construction Waste Demolition Waste
 Other (specify): _____

WASTE QUANTITY: _____ Tons 25 Cubic Yards Check box to indicate quantity is estimated:

LOCATION WHERE WASTE WAS PICKED UP:
 Source Name: Earth Tech Recycling
 Address: 495 Wood Street
 City: Oceanside State: NY Zip Code: 11572

GENERATOR: Name: Earth Tech Recycling DEC Permit/Reg. No. (if applicable): _____
 Address: 495 Wood Street City: Oceanside State: NY Zip: 11572
 Authorized Representative of Generator: _____ Phone: _____
 Transporter Name: _____
 Receiving Facility Name: Triumph Construction Chosen by Transporter
 Address: 126-2 Northern Blvd City: Corona, Queens State: NY Zip: _____

I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Signature: [Signature] Date: 9-15-25

TRANSPORTER: *To be completed by Transporter* DEC Permit/Registration No.: 1A-1592
 Transporter Company Name: Shoreline Trucking

Describe all Discrepancies in type or quantity of waste: _____

Driver Name (print): August Swabe Phone: _____ Plate No.: 215738
 Signature: _____ Date: 9-15-25

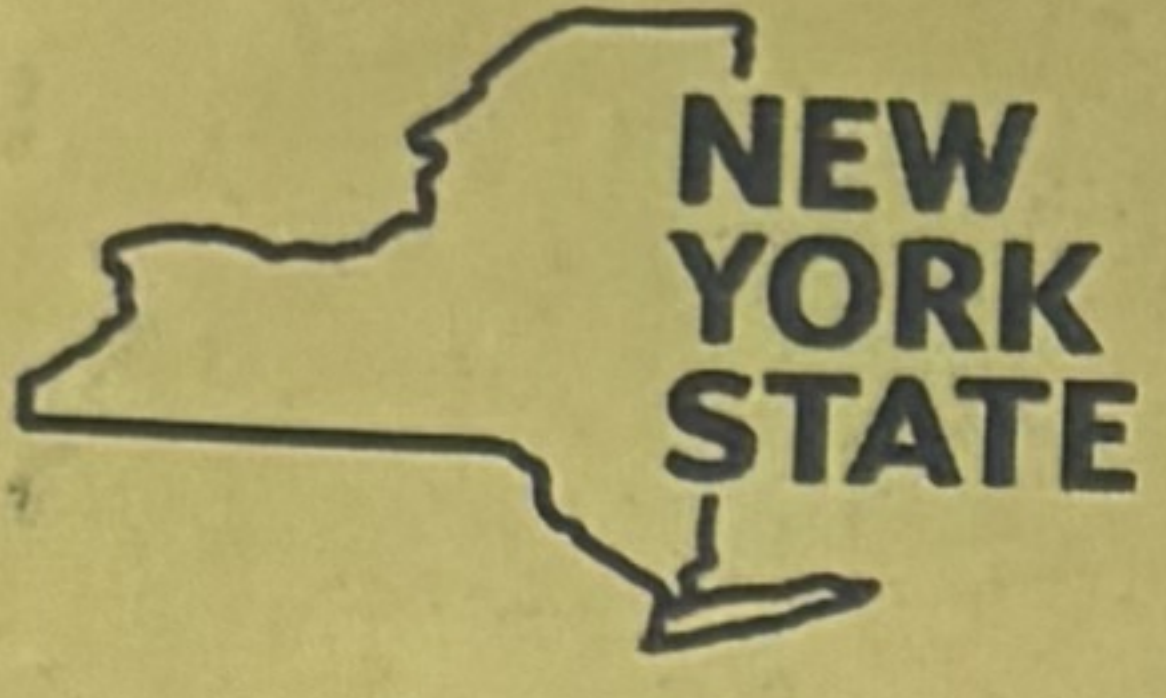
RECEIVING FACILITY: *To be completed by Receiving site* DEC Permit/Reg. No. (if applicable): _____
 Name: Triumph Construction Address: 126-2 Northern Blvd
 City: Corona, Queens State: NY Zip: _____ Put [X] for: interim processor, or final site

Describe all Discrepancies in type or quantity of waste: #25-0007 CC#080

I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Print Name: _____ Phone: _____
 Signature: _____ Date: _____

The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill, and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be provided to NYS DEC within 15 days of waste delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]



Department of Environmental Conservation

Part 360 Series Waste Tracking Document - Construction & Demolition Debris
This form may be used to satisfy the tracking document requirements of both section 361-5.6 and section 364-5.1 for the transport of C&D Debris

1066

TYPE OF C&D DEBRIS:
[] Limited-Use Fill [] Restricted-Use Fill [] Contaminated Fill [] Fill Material - Unknown
[] General Fill [] Residue [] Construction Waste [] Demolition Waste
[] Other (specify):

WASTE QUANTITY:
Tons 25 Cubic Yards
Check box to indicate quantity is estimated: []

LOCATION WHERE WASTE WAS PICKED UP:
Source Name: Earth Tech Recycling
Address: 495 Wood Street
City: Oceanside State: NY Zip Code: 11572

GENERATOR: Name: Earth Tech Recycling DEC Permit/Reg. No. (if applicable):
Address: 495 Wood Street City: Oceanside State: NY Zip: 11572
Authorized Representative of Generator: Phone:
Transporter Name:

Receiving Facility Name: Triumph Construction [] Chosen by Transporter
Address: 126-2 Northern Blvd City: Corona, Queens State: NY Zip:

I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.
Signature: Date: 9-15-25

TRANSPORTER: To be completed by Transporter DEC Permit/Registration No.: 1A-1592
Transporter Company Name: Shoreline Trucking

Describe all Discrepancies in type or quantity of waste:

Driver Name (print): PATRICK THOMAS Phone: Plate No.: 2002881L
Signature: Date: 9-15-25

RECEIVING FACILITY: To be completed by Receiving site DEC Permit/Reg. No. (if applicable):
Name: Triumph Construction Address: 126-2 Northern Blvd
City: Corona, Queens State: NY Zip: Put [X] for: [] interim processor, or [] final site

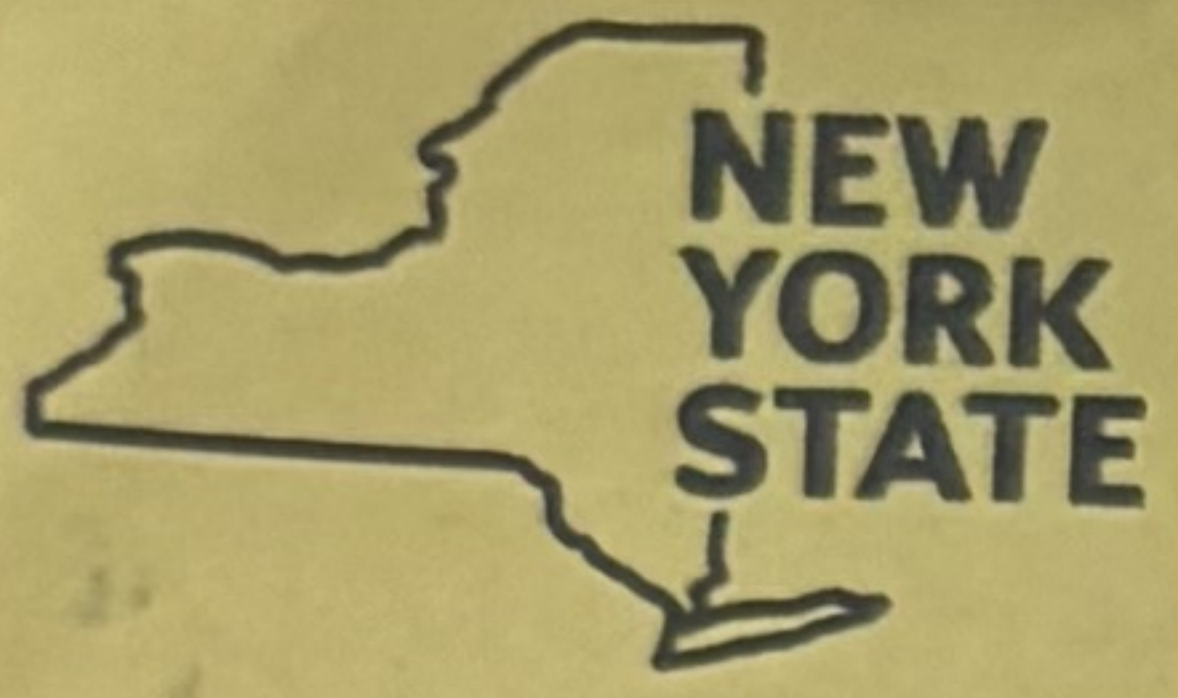
Describe all Discrepancies in type or quantity of waste:
A 25-0007 CC#0000

I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Print Name: Phone:
Signature: Date:

The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill, and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be provided to NYS DEC within 15 days of waste delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]

Signature



Department of Environmental Conservation

Part 360 Series Waste Tracking Document - Construction & Demolition Debris
This form may be used to satisfy the tracking document requirements of both section 361-5.6 and section 364-5.1 for the transport of C&D Debris

1035

TYPE OF C&D DEBRIS:
[] Limited-Use Fill [] Restricted-Use Fill [] Contaminated Fill [] Fill Material - Unknown
[] General Fill [] Residue [] Construction Waste [] Demolition Waste
[] Other (specify):

WASTE QUANTITY:
Tons 25 Cubic Yards
Check box to indicate quantity is estimated: []

LOCATION WHERE WASTE WAS PICKED UP:
Source Name: Earth Tech Recycling
Address: 495 Wood Street
City: Oceanside State: NY Zip Code: 11572

GENERATOR: Name: Earth Tech Recycling DEC Permit/Reg. No. (if applicable):

Address: 495 Wood Street City: Oceanside State: NY Zip: 11572

Authorized Representative of Generator: Phone:

Transporter Name:

Receiving Facility Name: Triumph Construction [] Chosen by Transporter

Address: 126-2 Northern Blvd City: Corona, Queens State: NY Zip:

I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Signature: Date: 9-15-25

TRANSPORTER: To be completed by Transporter DEC Permit/Registration No.: 1A-926

Transporter Company Name: D Best Equipment Corp

Describe all Discrepancies in type or quantity of waste:

Driver Name (print): Jose Perez Phone: Plate No.: 12371

Signature: Date: 9/15/25

RECEIVING FACILITY: To be completed by Receiving site DEC Permit/Reg. No. (if applicable):

Name: Triumph Construction Address: 126-2 Northern Blvd

City: Corona, Queens State: NY Zip: Put [X] for: [] interim processor, or [] final site

Describe all Discrepancies in type or quantity of waste: 25-0007 CC#0000

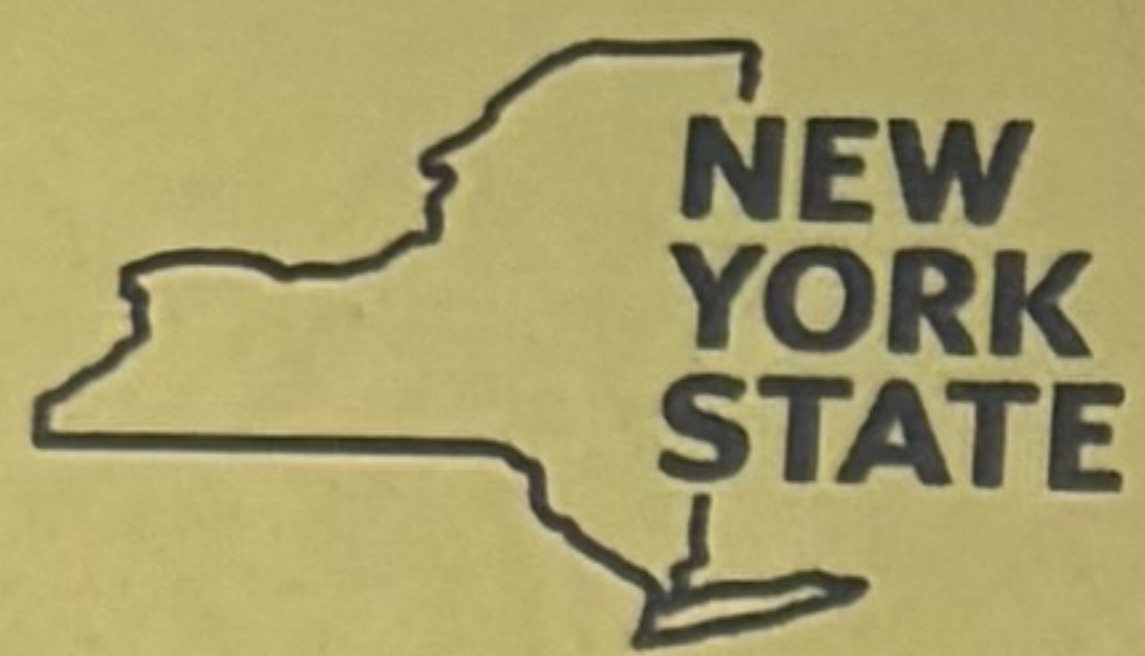
I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Print Name: Phone:

Signature: Date:

The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill, and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be provided to NYS DEC within 15 days of waste delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]

Handwritten notes on the right side of the page, including 'Name (Print)', 'Jose M...', and 'Ben - 2pm'.



Department of Environmental Conservation

Part 360 Series Waste Tracking Document - Construction & Demolition Debris

1036

TYPE OF C&D DEBRIS:
[] Limited-Use Fill [] Restricted-Use Fill [] Contaminated Fill [] Fill Material - Unknown
[] General Fill [] Residue [] Construction Waste [] Demolition Waste
[] Other (specify):

WASTE QUANTITY:
_____ Tons 25 _____ Cubic Yards
Check box to indicate quantity is estimated: []

LOCATION WHERE WASTE WAS PICKED UP:
Source Name: Earth Tech Recycling
Address: 495 Wood Street
City: Oceanside State: NY Zip Code: 11572

GENERATOR: Name: Earth Tech Recycling DEC Permit/Reg. No. (if applicable):
Address: 495 Wood Street City: Oceanside State: NY Zip: 11572
Authorized Representative of Generator: Phone:

Transporter Name:
Receiving Facility Name: Triumph Construction [] Chosen by Transporter
Address: 126-2 Northern Blvd City: Corona, Queens State: NY Zip:

I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Signature: Date:

TRANSPORTER: To be completed by Transporter DEC Permit/Registration No.: 1A-926
Transporter Company Name: D Best Equipment Corp
Describe all Discrepancies in type or quantity of waste:

Driver Name (print): Phone: Plate No.:
Signature: Date:

RECEIVING FACILITY: To be completed by Receiving site DEC Permit/Reg. No. (if applicable):
Name: Triumph Construction Address: 126-2 Northern Blvd
City: Corona, Queens State: NY Zip: Put [X] for: [] interim processor, or [] final site

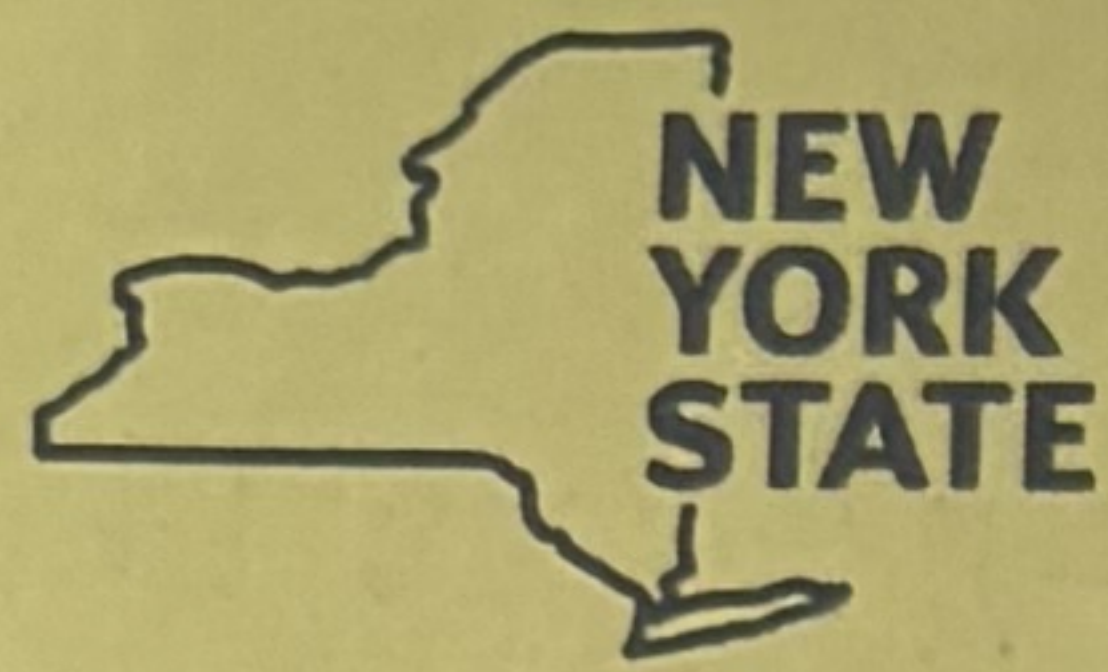
Describe all Discrepancies in type or quantity of waste:
25-0007 16 080

I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Print Name: Phone:
Signature: Date:

The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill, and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be provided to NYS DEC within 15 days of waste delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]

Signature



Department of Environmental Conservation

Part 360 Series Waste Tracking Document - Construction & Demolition Debris

1037

TYPE OF C&D DEBRIS:	<input type="checkbox"/> Limited-Use Fill <input type="checkbox"/> Restricted-Use Fill <input type="checkbox"/> Contaminated Fill <input type="checkbox"/> Fill Material - Unknown <input checked="" type="checkbox"/> General Fill <input type="checkbox"/> Residue <input type="checkbox"/> Construction Waste <input type="checkbox"/> Demolition Waste <input type="checkbox"/> Other (specify): _____
WASTE QUANTITY:	_____ Tons <u>25</u> _____ Cubic Yards Check box to indicate quantity is estimated: <input type="checkbox"/>
LOCATION WHERE WASTE WAS PICKED UP:	Source Name: <u>Earth Tech Recycling</u> Address: <u>495 Wood Street</u> City: <u>Oceanside</u> State: <u>NY</u> Zip Code: <u>11572</u>
GENERATOR: Name: <u>Earth Tech Recycling</u> DEC Permit/Reg. No. (if applicable): _____ Address: <u>495 Wood Street</u> City: <u>Oceanside</u> State: <u>NY</u> Zip: <u>11572</u> Authorized Representative of Generator: <u>[Signature]</u> Phone: _____ Transporter Name: <u>D-Best</u> Receiving Facility Name: <u>Triumph Construction</u> <input type="checkbox"/> Chosen by Transporter Address: <u>126-2 Northern Blvd</u> City: <u>Corona, Queens</u> State: <u>NY</u> Zip: _____ <small>I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.</small> Signature: _____ Date: _____	
TRANSPORTER: <i>To be completed by Transporter</i> DEC Permit/Registration No.: <u>1A-926</u> Transporter Company Name: <u>D Best Equipment Corp</u> Describe all Discrepancies in type or quantity of waste: _____ Driver Name (print): <u>[Signature]</u> Phone: _____ Plate No.: <u>11321B</u> Signature: _____ Date: <u>9/15/25</u>	
RECEIVING FACILITY: <i>To be completed by Receiving site</i> DEC Permit/Reg. No. (if applicable): _____ Name: <u>Triumph Construction</u> Address: <u>126-2 Northern Blvd</u> City: <u>Corona, Queens</u> State: <u>NY</u> Zip: _____ Put [X] for: <input type="checkbox"/> interim processor, or <input type="checkbox"/> final site Describe all Discrepancies in type or quantity of waste: <u>25-0007 #088</u>	
<small>I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.</small> Print Name: _____ Phone: _____ Signature: _____ Date: _____	
<p>The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill, and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be provided to NYS DEC within 15 days of waste delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]</p>	

Signature



Department of Environmental Conservation

Part 360 Series Waste Tracking Document - Construction & Demolition Debris
This form may be used to satisfy the tracking document requirements of both section 361-5.6 and section 364-5.1 for the transport of C&D Debris.

Danny

1033

TYPE OF C&D DEBRIS: Limited-Use Fill Restricted-Use Fill Contaminated Fill Fill Material - Unknown
 General Fill Residue Construction Waste Demolition Waste
 Other (specify): _____

WASTE QUANTITY: _____ Tons 25 Cubic Yards Check box to indicate quantity is estimated:

LOCATION WHERE WASTE WAS PICKED UP:
 Source Name: Earth Tech Recycling
 Address: 495 Wood Street
 City: Oceanside State: NY Zip Code: 11572

GENERATOR: Name: Earth Tech Recycling DEC Permit/Reg. No. (if applicable): _____
 Address: 495 Wood Street City: Oceanside State: NY Zip: 11572
 Authorized Representative of Generator: _____ Phone: _____

Transporter Name: _____
 Receiving Facility Name: Triumph Construction Chosen by Transporter
 Address: 126-2 Northern Blvd City: Corona, Queens State: NY Zip: _____

I have completed this tracking document describing the waste and identifying the transporter and receiving facility. I certify, under penalty of law, that the information provided in this waste tracking document has been prepared under my direction and supervision and further certify that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Signature: [Signature] Date: 9-15-25

TRANSPORTER: To be completed by Transporter DEC Permit/Registration No.: 1A-926
 Transporter Company Name: D Best Equipment Corp
 Describe all Discrepancies in type or quantity of waste: _____

Driver Name (print): Danny Phone: _____ Plate No.: 17933OR
 Signature: [Signature] Date: 9-15-25

RECEIVING FACILITY: To be completed by Receiving site DEC Permit/Reg. No. (if applicable): _____
 Name: Triumph Construction Address: 126-2 Northern Blvd
 City: Corona, Queens State: NY Zip: _____ Put [X] for: interim processor, or final site

Describe all Discrepancies in type or quantity of waste: _____

I certify, under penalty of law, that the information contained herein is true and accurate. I am aware that any false statement made on this document is punishable pursuant to Section 210.45 of the Penal Law.

Print Name: _____ Phone: _____
 Signature: _____ Date: _____

The completed tracking document for all waste types must be returned to the Generator within two weeks of receipt of the waste. Statewide for restricted-use fill, limited-use fill and contaminated fill and for all waste types, except residue, generated in the City of New York, a copy of the completed tracking document must also be returned to NYS DEC within 15 days of the delivery to the receiving facility. [ref: 6 NYCRR 364-5.1(b)(5)]

Northern parcel

APPENDIX E

SITE INSPECTION FORMS

COMPOSITE COVER SYSTEM INSPECTION CHECKLIST

Site Name: Willets Point Development Northern Parcel Location: Queens, New York Project Number: 170197646

Inspector Name: Loagan Clements Date: 2/19/2026 Weather Conditions: Overcast, 39°F

Reason for Inspection (i.e., routine, severe condition, etc.): Routine

Check one of the following:
(Y: Yes N: No N/A: Not Applicable)

		Y	N	N/A	Normal Situation	Remarks
	General					
1	What are the current site conditions?	-	-	-	Y	The Site is currently used for the storage and staging of construction materials/equipment.
	Impermeable Cap					
2	Are there any indications of a breach in the capping system at the time of this inspection?		✓		Y	
3	Is there any construction activity, or indication of any construction activity within the past certification year (including any tenant improvements), that included the breaching of the capping system, on-site at the time of this inspection?		✓		Y	
4	If YES to number 3, is there documentation that the Soil Management Plan, HASP, and CAMP for the site was/is being followed?			✓	N/A	

***** If the answer to any of the above questions indicate non-compliance with ECs for the site, additional remarks must be provided and, where applicable, documentation attached to this checklist detailing additional inspection and repair activities.**

Additional remarks: No indications that the site composite cover had been breached during the reporting period were observed during the site inspection.

Minimum Inspection Schedule:

- Site-wide inspections will be conducted annually, per certification year, at a minimum.
- Additional inspections will also be conducted at times of severe weather condition events.
- All inspection events will use this checklist.

SITE INSPECTION CHECKLIST

Site Name: Willetts Point Development Northern Parcel Location: Queens, New York Project Number: 170197646

Inspector Name: Loagan Clements Date: 2/19/2026 Weather Conditions: Overcast, 39°F

Reason for Inspection (i.e., routine, severe condition, etc.): Routine

Check one of the following:
(Y: Yes N: No N/A: Not Applicable)

		Y	N	N/A	Normal Situation	Remarks
General						
1	What are the current site conditions?	-	-	-	Y	The Site is currently used for the storage and staging of construction materials/equipment and stockpiling imported clean fill for use in other areas of the larger Willetts Point Development area.
2	Are all applicable site records (e.g., documentation of construction activity, SMD system maintenance and repair, most current easement, etc.) complete and up to date?	<input checked="" type="checkbox"/>			Y	No construction activities occurred at the Site.
Environmental Easement						
3	Has site use (restricted residential) remained the same?	<input checked="" type="checkbox"/>			Y	
4	Does it appear that all environmental easement restrictions have been followed?	<input checked="" type="checkbox"/>			Y	
Impermeable Cap						
5	Are there any indications of a breach in the capping system at the time of this inspection?		<input checked="" type="checkbox"/>		Y	
6	Are there any cracks in the building slabs?			<input checked="" type="checkbox"/>	N/A	No building present at the Site.
7	Are there any cracks in the building walls?			<input checked="" type="checkbox"/>	N/A	No building present at the Site.
8	Is there any construction activity, or indication of any construction activity within the past certification year (including any tenant improvements), that included the breaching of the capping system, on-site at the time of this inspection?		<input checked="" type="checkbox"/>		Y	
9	If YES to number 7, is there documentation that the Soil Management Plan, HASP, and CAMP for the site was/is being followed?			<input checked="" type="checkbox"/>	N/A	

***** If the answer to any of the above questions indicate non-compliance with any IC/ECs for the site, additional remarks must be provided and, where applicable, documentation attached to this checklist detailing additional inspection and repair activities.**

Additional remarks: No indications that the site composite cover had been breached during the reporting period were observed during the site inspection. Site use is within compliant with environmental easement restrictions.

Minimum Inspection Schedule:

- Site-wide inspections will be conducted annually, per certification year, at a minimum.
- Additional inspections will also be conducted at times of severe weather condition events.
- All inspection events will use this checklist.

Summary of Green Remediation Metrics for Site Management

Site Name: Willets Point Development Northern Parcel Site Code: C241146G

Address: 126-30 Northern Boulevard

City: Queens State: NY Zip Code: 11368 County: Queens

Initial Report Period (Start Date of period covered by the Initial Report submittal)

Start Date: October 18, 2024

Current Reporting Period

Reporting Period From: October 18, 2024 To: February 28, 2026

Contact Information

Preparer's Name: Loagan Clements Phone No.: (332) 279-9166

Preparer's Affiliation: Langan

I. Energy Usage: Quantify the amount of energy used directly on-site and the portion of that derived from renewable energy sources.

	Current Reporting Period	Total to Date
Fuel Type 1 (e.g. natural gas (cf))	N/A	N/A
Fuel Type 2 (e.g. fuel oil, propane (gals))	N/A	N/A
Electricity (kWh)	N/A	N/A
Of that Electric usage, provide quantity:		
Derived from renewable sources (e.g. solar, wind)	N/A	N/A
Other energy sources (e.g. geothermal, solar thermal (Btu))	N/A	N/A

Provide a description of all energy usage reduction programs for the site in the space provided on Page 5.

II. Solid Waste Generation: Quantify the management of solid waste generated on-site.

	Current Reporting Period (tons)	Total to Date (tons)
Total waste generated on-site		
OM&M generated waste	N/A	N/A
Of that total amount, provide quantity:		
Transported off-site to landfills	N/A	N/A
Transported off-site to other disposal facilities	N/A	N/A
Transported off-site for recycling/reuse	N/A	N/A
Reused on-site	N/A	N/A

Provide a description of any implemented waste reduction programs for the site in the space provided on Page 5.

III. Transportation/Shipping: Quantify the distances travelled for delivery of supplies, shipping of laboratory samples, and the removal of waste.

	Current Reporting Period (miles)	Total to Date (miles)
Standby Engineer/Contractor	23	23
Laboratory Courier/Delivery Service	N/A	N/A
Waste Removal/Hauling	N/A	N/A

Provide a description of all mileage reduction programs for the site in the space provided on Page 5. Include specifically any local vendor/services utilized that are within 50 miles of the site.

IV. Water Usage: Quantify the volume of water used on-site from various sources.

	Current Reporting Period (gallons)	Total to Date (gallons)
Total quantity of water used on-site	N/A	N/A
Of that total amount, provide quantity:		
Public potable water supply usage	N/A	N/A
Surface water usage	N/A	N/A
On-site groundwater usage	N/A	N/A
Collected or diverted storm water usage	N/A	N/A

Provide a description of any implemented water consumption reduction programs for the site in the space provided on Page 5.

V. Land Use and Ecosystems: Quantify the amount of land and/or ecosystems disturbed and the area of land and/or ecosystems restored to a pre-development condition (i.e. Green Infrastructure).

	Current Reporting Period (acres)	Total to Date (acres)
Land disturbed	N/A	N/A
Land restored	N/A	N/A

Provide a description of any implemented land restoration/green infrastructure programs for the site in the space provided on Page 5.

Description of green remediation programs reported above

(Attach additional sheets if needed)

Energy Usage:

The site is vacant with no on-site structures consuming energy. No construction, remediation, monitoring, or sampling activities occurred during the reporting period that required energy consumption.

Waste Generation:

No construction, remediation, monitoring or sampling activities occurred during the reporting period that generated waste.

Transportation/Shipping:

One field engineer traveled a total of 23 miles to the site by public transportation to conduct the annual site inspection.

Water usage:

No construction, remediation, monitoring or sampling activities occurred during the reporting period that consumed water.

Land Use and Ecosystems:

No construction, remediation, monitoring or sampling activities occurred during the reporting period that disturbed the ground surface or required restoration of the ground surface.

Other:

N/A

APPENDIX F

PHOTOGRAPHIC DOCUMENTATION LOG



Photo 1: View of northern site entrance on Northern Boulevard, facing north (2/19/2026)



Photo 2: View of southern site entrance on 34th Avenue, facing southeast (2/19/2026)



Photo 3: View of composite cover condition, fencing, and construction materials staged along the southwestern side of the site, facing south (2/19/2026)



Photo 4: View of composite cover condition, fencing, and construction materials staged in the northeastern part of the site, facing northeast(2/19/2026)



Photo 5: View of composite cover condition in the central part of the site, facing north (2/19/2026)



Photo 6: View of composite cover condition, Conex boxes, and construction materials staged on the southwestern part of the site, facing southwest (2/19/2026)



Photo 7: View of composite cover condition and construction materials staged on the northern part of the site, facing east (2/19/2026)



Photo 8: View of imported clean fill material stockpiled on the eastern part of the site, facing northeast (2/19/2026)



Photo 9: View of empty diesel fuel cans staged on the southern part of the site, facing southeast (2/19/2026)



Photo 10: View Conex boxes and snow pile staged on the western part of the site, facing northeast (2/19/2026)