

BROWNFIELD APPLICATION FORM

43-25 & 43-27 52nd Street, Woodside, NY 11377

Block 1321, Lots 7 and 10

Brownfield Cleanup Program Site ID: C241269

Submitted to:



BROWNFIELD CLEANUP PROGRAM

Chief, Site Control Section

New York State Department of Environmental Conservation

Division of Environmental Remediation

625 Broadway, 11th Floor

Albany, New York 12233-7020

Prepared for:

43-25 52 LLC

46-02 70th Street

Woodside, NY 11377

Prepared by:

YU & Associates Engineers, P.C.

611 River Drive, 3rd Floor

Elmwood Park, NJ 07407

February 1, 2023

February 1, 2023

Chief, Site Control Section
New York State Department of Environmental Conservation
Division of Environmental Remediation
625 Broadway, 11th Floor
Albany, NY 12233-7020

Subject: 43-25 & 43-27 52nd Street, Woodside, NY
Brownfield Cleanup Program Site ID: C241269
Brownfield Cleanup Application Submission

Dear Chief of Site Control Section,

YU & Associates Engineers, P.C. (YU & Associates) is submitting the revised Brownfield Cleanup Program (BCP) Application with associated attachments for 43-25 52nd Street including the following:

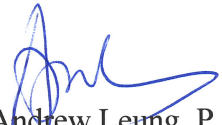
BCP Application Form

Attachment A – Property Information
Attachment B – Project Description
Attachment C – Land Use Factor
Attachment D – Property's Environmental History
Attachment E – Requestor Information
Attachment F – Requestor Eligibility Information
Attachment G – Contact List Information

Please don't hesitate to contact me with any questions. We look forward to work with NYSDEC on this project.

Sincerely,

YU & Associates Engineers, P.C.



Andrew Leung, P.E.
Principal

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ATTACHMENT

Attachment A - Property Information

- Figure 1 – Site Location Map
- Figure 2 – Tax Map
- Figure 3 – Survey Map
- Figure 4 – En-Zone Area
- Figure 5 – Disadvantaged Communities
- Figure 6 – NYC Brownfield Opportunity Area

Attachment B – Project Description

Attachment C – Land Use Factor

- Figure 7 – Land Use Map
- Figure 8 – NYC Waterfront Revitalization Area
Redevelopment Plan

Attachment D – Property’s Environmental History

- Phase I Report
- Phase II report
- Lab Report
- Figures from the Phase II report
- Deed

Attachment E – Requestor Information

- Requestor Certificates
- Certificate of Professional Engineer and Engineering Form

Attachment F – Requestor Eligibility Information

Attachment G – Contact List Information



BROWNFIELD CLEANUP PROGRAM (BCP) APPLICATION FORM

Is this an application to amend an existing BCA with a major modification? Please refer to the application instructions for further guidance related to BCA amendments. **Yes** **No**

If yes, provide existing site number: _____

Is this a revised submission of an incomplete application? **Yes** **No**

If yes, provide existing site number: _____

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SECTION I: Property Information

PROPOSED SITE NAME

ADDRESS/LOCATION

CITY/TOWN

ZIP CODE

MUNICIPALITY (LIST ALL IF MORE THAN ONE)

COUNTY

SITE SIZE (ACRES)

LATITUDE

LONGITUDE

Provide tax map information for all tax parcels included within the proposed site boundary below. If a portion of any lot is to be included, please indicate as such by inserting "p/o" in front of the lot number in the appropriate box below, and only include the acreage for that portion of the tax parcel in the corresponding acreage column.

ATTACH REQUIRED TAX MAPS PER THE APPLICATION INSTRUCTIONS.

Parcel Address	Section	Block	Lot	Acreage

1. Do the proposed site boundaries correspond to tax map metes and bounds? If no, please attach an accurate map of the proposed site including a metes and bounds description. <i>See Fig. 1-3 in Attachment A</i>	Y	N
2. Is the required property map provided in electronic format with the application? (Application will not be processed without a map) <i>See Fig. 1-3 in Attachment A</i>		
3. Is the property within a designated Environmental Zone (En-zone) pursuant to Tax Law 21(b)(6)? (See DEC's website for more information) If yes, identify census tract: _____ Percentage of property in En-zone (check one): 0% 1-49% 50-99% 100% <i>See Fig. 4 in Attachment A</i>		
4. Is the project located within a disadvantaged community? See application instructions for additional information. <i>See Fig. 5 in Attachment A</i>		
5. Is the project located within a NYS Department of State (NYS DOS) Brownfield Opportunity Area (BOA)? See application instructions for additional information. <i>See Fig. 6 in Attachment A</i>		

6. Is this application one of multiple applications for a large development project, where the development spans more than 25 acres (see additional criteria in application instructions)? If yes, identify names of properties and site numbers, if available, in related BCP applications: _____	Y	N
7. Is the contamination from groundwater or soil vapor solely emanating from property other than the site subject to the present application?		
8. Has the property previously been remediated pursuant to Titles 9, 13 or 14 of ECL Article 27, Title 5 of ECL Article 56, or Article 12 of Navigation Law? If yes, attach relevant supporting documentation.		
9. Are there any lands under water? If yes, these lands should be clearly delineated on the site map.		
10. Has the property been the subject of or included in a previous BCP application? If yes, please provide the DEC site number: _____		
11. Is the site currently listed on the Registry of Inactive Hazardous Waste Disposal Sites (Class 2, 3, or 4) or identified as a Potential Site (Class P)? If yes, please provide the DEC site number: _____ Class: _____		
12. Are there any easements or existing rights-of-way that would preclude remediation in these areas? If yes, identify each here and attach appropriate information. <div style="display: flex; justify-content: space-between;"> <div><u>Easement/Right-of-Way Holder</u></div> <div><u>Description</u></div> </div>		
13. List of permits issued by the DEC or USEPA relating to the proposed site (describe below or attach appropriate information): <div style="display: flex; justify-content: space-between;"> <div><u>Type</u></div> <div><u>Issuing Agency</u></div> <div><u>Description</u></div> </div>		
14. Property Description and Environmental Assessment – please refer to the application instructions for the proper format of each narrative requested. Are the Property Description and Environmental Assessment narratives included in the prescribed format? See Attachment A		
Note: Questions 15 through 17 below pertain ONLY to proposed sites located within the five counties comprising New York City.		
15. Is the Requestor seeking a determination that the site is eligible for tangible property tax credits? See Attachment A If yes, Requestor must answer the Supplemental Questions for Sites Seeking Tangible Property Credits Located in New York City ONLY on pages 11-13 of this form.	Y	N
16. Is the Requestor now, or will the Requestor in the future, seek a determination that the property is Upside Down?		
17. If you have answered YES to Question 16 above, is an independent appraisal of the value of the property, as of the date of application, prepared under the hypothetical condition that the property is not contaminated, included with the application?		
NOTE: If a tangible property tax credit determination is not being requested at the time of application, the applicant may seek this determination at any time before issuance of a Certificate of Completion by using the BCP Amendment Application, except for sites seeking eligibility under the underutilized category.		
If any changes to Section I are required prior to application approval, a new page, initialed by each Requestor, must be submitted with the application revisions. Initials of each Requestor: <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div>_____</div> <div>_____</div> <div>_____</div> <div>_____</div> <div>_____</div> <div>_____</div> </div>		

SECTION II: Project Description			
1. The project will be starting at:	Investigation	Remediation	
NOTE: If the project is proposed to start at the remediation stage, at a minimum, a Remedial Investigation Report (RIR) must be included, resulting in a 30-day public comment period. If an Alternatives Analysis and Remedial Action Work Plan (RAWP) are also included (see DER-10, Technical Guidance for Site Investigation and Remediation for further guidance), then a 45-day public comment period is required.			
2. If a final RIR is included, does it meet the requirements in ECL Article 27-1415(2)?	Yes	No	N/A
3. Have any draft work plans been submitted with the application (select all that apply)?	RIWP	RAWP	IRM No
4. Please provide a short description of the overall project development, including the date that the remedial program is to begin, and the date by which a Certificate of Completion is expected to be issued.			
Is this information attached?	Yes	No	See Attachment B

SECTION III: Land Use Factors			
1. What is the property's current municipal zoning designation? _____	See Fig. 7 in Attachment C		
2. What uses are allowed by the property's current zoning (select all that apply)?	Residential	Commercial	Industrial
3. Current use (select all that apply):	Residential	Commercial	Industrial Recreational Vacant
4. Please provide a summary of current business operations or uses, with an emphasis on identifying possible contaminant source areas. If operations or uses have ceased, provide the date by which the site became vacant. Is this summary included with the application? See Attachment C	Y	N	
5. Reasonably anticipated post-remediation use (check all that apply): Residential Commercial Industrial If residential, does it qualify as single-family housing? N/A			
6. Please provide a statement detailing the specific proposed post-remediation use. Is this summary attached? See Attachment C			
7. Is the proposed post-remediation use a renewable energy facility? See application instructions for additional information.			
8. Do current and/or recent development patterns support the proposed use? See Attachment C			
9. Is the proposed use consistent with applicable zoning laws/maps? See Attachment C Please provide a brief explanation and additional documentation if necessary.			
10. Is the proposed use consistent with applicable comprehensive community master plans, local waterfront revitalization plans, or other adopted land use plans? See Fig. 8 in attachment C Please provide a brief explanation and additional documentation if necessary.			

SECTION IV: Property's Environmental History

All applications **must include** an Investigation Report (per ECL 27-1407(1)). The report must be sufficient to establish that contamination of environmental media exists on the site above applicable Standards, Criteria and Guidance (SCGs) based on the reasonably anticipated use of the site property and that the site requires remediation. To the extent that existing information/studies/reports are available to the requestor, please attach the following (***please submit information requested in this section in electronic format ONLY***):

1. **Reports:** an example of an Investigation Report is a Phase II Environmental Site Assessment report prepared in accordance with the latest American Society for Testing and Materials standard ([ASTM E1903](#)). **Please submit a separate electronic copy of each report in Portable Document Format (PDF). Please do NOT submit paper copies of ANY supporting documents.**

2. **SAMPLING DATA: INDICATE (BY SELECTING THE OPTIONS BELOW) KNOWN CONTAMINANTS AND THE MEDIA WHICH ARE KNOWN TO HAVE BEEN AFFECTED. DATA SUMMARY TABLES SHOULD BE INCLUDED AS AN ATTACHMENT, WITH LABORATORY REPORTS REFERENCED AND INCLUDED.** See Attachment D

CONTAMINANT CATEGORY	SOIL	GROUNDWATER	SOIL GAS
Petroleum			
Chlorinated Solvents			
Other VOCs			
SVOCs			
Metals			
Pesticides			
PCBs			
PFAS			
1,4-dioxane			
Other – indicated below			

*Please describe other known contaminants and the media affected:

3. For each impacted medium above, include a site drawing indicating:

- Sample location See Attachment D
- Date of sampling event
- Key contaminants and concentration detected
- For soil, highlight exceedances of reasonably anticipated use
- For groundwater, highlight exceedances of 6 NYCRR part 703.5
- For soil gas/soil vapor/indoor air, refer to the NYS Department of Health matrix and highlight exceedances that require mitigation

These drawings are to be representative of all data being relied upon to determine if the site requires remediation under the BCP. Drawings should be no larger than 11"x17" and should only be provided electronically. These drawings should be prepared in accordance with any guidance provided.

Are the required drawings included with this application? YES ☐ NO ☐

4. Indicate Past Land Uses (check all that apply): See table 1-2 in Attachment D

Coal Gas Manufacturing	Manufacturing	Agricultural Co-Op	Dry Cleaner
Salvage Yard	Bulk Plant	Pipeline	Service Station
Landfill	Tannery	Electroplating	Unknown

Other: Auto Repair Facility

SECTION V: Requestor Information			
NAME			
ADDRESS			
CITY/TOWN		ZIP CODE	
PHONE		EMAIL	
1. Is the requestor authorized to conduct business in New York State (NYS)? <i>See attachment E</i>			Y
2. If the requestor is a Corporation, LLC, LLP or other entity requiring authorization from the NYS DOS to conduct business in NYS, the requestor's name must appear, exactly as given above, in the NYS Department of State's Corporation & Business Entity Database . A print-out of entity information from the database must be submitted with this application to document that that requestor is authorized to conduct business in NYS. Is this attached? <i>See Attachment E</i>			N
3. If the requestor is an LLC, the names of the members/owners need to be provided on a separate attachment. Is this attached? <i>See Attachment E</i>			
4. Individuals that will be certifying BCP documents, as well as their employers, must meet the requirements of Section 1.5 of DER-10: Technical Guidance for Site Investigation and Remediation and Article 145 of New York State Education Law. Do all individuals that will be certifying documents meet these requirements? <i>See attachment E</i> Documents that are not properly certified will not be approved under the BCP.			

SECTION VI: Requestor Eligibility		
If answering "yes" to any of the following questions, please provide appropriate explanation and/or documentation as an attachment.		
	Y	N
1. Are any enforcement actions pending against the requestor regarding this site?		
2. Is the requestor subject to an existing order for the investigation, removal or remediation of contamination at the site?		
3. Is the requestor subject to an outstanding claim by the Spill Fund for this site? Any questions regarding whether a party is subject to a spill claim should be discussed with the Spill Fund Administrator.		
4. Has the requestor been determined in an administrative, civil or criminal proceeding to be in violation of (i) any provision of the ECL Article 27; (ii) any order or determination; (iii) any regulation implementing Title 14; or (iv) any similar statute or regulation of the State or Federal government?		
5. Has the requestor previously been denied entry to the BCP? If so, please provide the site name, address, assigned DEC site number, the reason for denial, and any other relevant information regarding the denied application.		
6. Has the requestor been found in a civil proceeding to have committed a negligent or intentionally tortious act involving the handling, storing, treating, disposing or transporting of contaminants?		

SECTION VI: Requestor Eligibility (CONTINUED)

7. Has the requestor been convicted of a criminal offence (i) involving the handling, storing, treating, disposing or transporting or contaminants; or (ii) that involved a violent felony, fraud, bribery, perjury, theft or offense against public administration (as that term is used in Article 195 of the Penal Law) under Federal law or the laws of any state?	Y	N
8. Has the requestor knowingly falsified statements or concealed material facts in any matter within the jurisdiction of DEC, or submitted a false statement or made use of a false statement in connection with any document or application submitted to DEC?		
9. Is the requestor an individual or entity of the type set forth in ECL 27-1407.9(f) that committed an act or failed to act, and such act or failure to act could be the basis for denial of a BCP application?		
10. Was the requestor's participation in any remedial program under DEC's oversight terminated by DEC or by a court for failure to substantially comply with an agreement or order?		
11. Are there any unregistered bulk storage tanks on-site which require registration?		
12. THE REQUESTOR MUST CERTIFY THAT HE/SHE IS EITHER A PARTICIPANT OR VOLUNTEER IN ACCORDANCE WITH ECL 27-1405(1) BY CHECKING ONE OF THE BOXES BELOW:		
PARTICIPANT A requestor who either (1) was the owner of the site at the time of the disposal of hazardous waste or discharge of petroleum, or (2) is otherwise a person responsible for the contamination, unless the liability arises solely as a result of ownership, operation of, or involvement with the site subsequent to the disposal of hazardous waste or discharge of petroleum.	VOLUNTEER A requestor other than a participant, including a requestor whose liability arises solely as a result of ownership, operation of or involvement with the site subsequent to the disposal of hazardous waste or discharge of petroleum. NOTE: By selecting this option, a requestor whose liability arises solely as a result of ownership, operation of or involvement with the site certifies that he/she has exercised appropriate care with respect to the hazardous waste found at the facility by taking reasonable steps to: (i) stop any continuing discharge; (ii) prevent any threatened future release; and, (iii) prevent or limit human, environmental or natural resource exposure to any previously released hazardous waste. If a requestor whose liability arises solely as a result of ownership, operation of, or involvement with the site, submit a statement describing why you should be considered a volunteer – be specific as to the appropriate care taken.	
13. If the requestor is a volunteer, is a statement describing why the requestor should be considered a volunteer attached?		
Yes	No	N/A
See attachment F		

SECTION VI: Requestor Eligibility (CONTINUED)

14. Requestor relationship to the property (check one; if multiple applicants, check all that apply):

Previous Owner Current Owner Potential/Future Purchaser Other: _____

If the requestor is not the current owner, **proof of site access sufficient to complete remediation must be provided.** Proof must show that the requestor will have access to the property before signing the BCA and throughout the BCP project, including the ability to place an environmental easement on the site.

Is this proof attached? Yes No

Note: A purchase contract or lease agreement does not suffice as proof of site access.

SECTION VII: Requestor Contact Information

REQUESTOR'S REPRESENTATIVE

ADDRESS

CITY

ZIP CODE

PHONE

EMAIL

REQUESTOR'S CONSULTANT (CONTACT NAME)

COMPANY

ADDRESS

CITY

ZIP CODE

PHONE

EMAIL

REQUESTOR'S ATTORNEY (CONTACT NAME)

COMPANY

ADDRESS

CITY

ZIP CODE

PHONE

EMAIL

SECTION VIII: Program Fee

Upon submission of an executed Brownfield Cleanup Agreement to the Department, the requestor is required to pay a non-refundable program fee of \$50,000. Requestors may apply for a fee waiver based on demonstration of financial hardship.

	Y	N
1. Is the requestor applying for a fee waiver based on demonstration of financial hardship?		
2. If yes, appropriate documentation to demonstrate financial hardship must be provided with the application. See application instructions for additional information. Is the appropriate documentation included with this application?		

SECTION IX: Current Property Owner and Operator Information

CURRENT OWNER		
CONTACT NAME		
ADDRESS		
CITY		ZIP CODE
PHONE	EMAIL	
OWNERSHIP START DATE		
CURRENT OPERATOR		
CONTACT NAME		
ADDRESS		
CITY		ZIP CODE
PHONE	EMAIL	
OPERATION START DATE		

SECTION X: Property Eligibility Information

	Y	N
1. Is/was the property, or any portion of the property, listed on the National Priorities List? If yes, please provide additional information.		
2. Is/was the property, or any portion of the property, listed on the NYS Registry of Inactive Hazardous Waste Disposal Site pursuant to ECL 27-1305? If yes, please provide the DEC site number: _____ Class: _____		

SECTION X: Property Eligibility Information (continued)

	Y	N
3. Is/was the property subject to a permit under ECL Article 27, Title 9, other than an Interim Status facility? If yes, please provide: Permit Type: _____ EPA ID Number: _____ Date Permit Issued: _____ Permit Expiration Date: _____		
4. If the answer to question 2 or 3 above is YES , is the site owned by a volunteer as defined under ECL 27-1405(1)(b), or under contract to be transferred to a volunteer? If yes, attach any available information related to previous owners or operators of the facility or property and their financial viability, including any bankruptcy filings and corporate dissolution documents. <div style="text-align: right;">N/A</div>		
5. Is the property subject to a cleanup order under Navigation Law Article 12 or ECL Article 17 Title 10? If yes, please provide the order number: _____		
6. Is the property subject to a state or federal enforcement action related to hazardous waste or petroleum? If yes, please provide additional information.		

SECTION XI: Site Contact List

To be considered complete, the application must include the Brownfield Site Contact List in accordance with *DER-23: Citizen Participation Handbook for Remedial Programs*. Please attach, at a minimum, the names and mailing addresses of the following:

- The chief executive officer and planning board chairperson of each county, city, town and village in which the property is located.
- Residents, owners, and occupants of the property and adjacent properties. See attachment G
- Local news media from which the community typically obtains information.
- The public water supplier which services the area in which the property is located.
- Any person who has requested to be placed on the contact list.
- The administrator of any school or day care facility located on or near the property.
- The location of a document repository for the project (e.g., local library). **If the site is located in a city with a population of one million or more, add the appropriate community board as an additional document repository.** In addition, attach a copy of an acknowledgement from each repository indicating that it agrees to act as the document repository for the site.

SECTION XII: Statement of Certification and Signatures

(By requestor who is an individual)

If this application is approved, I hereby acknowledge and agree: (1) to execute a Brownfield Cleanup Agreement (BCA) within 60 days of the date of DEC's approval letter; (2) to the general terms and conditions set forth in the [DER-32, Brownfield Cleanup Program Applications and Agreements](#); and (3) that in the event of a conflict between the general terms and conditions of participation and terms contained in a site-specific BCA, the terms in the site-specific BCA shall control. Further, I hereby affirm that information provided on this form and its attachments is true and complete to the best of my knowledge and belief. I am aware that any false statement made herein is punishable as a Class A misdemeanor pursuant to section 210.45 of the Penal Law.

Date: _____

Signature: _____

Print Name: _____

(By a requestor other than an individual)

I hereby affirm that I am **Member** (title) of **43-25 52 LLC** (entity); that I am authorized by that entity to make this application and execute a Brownfield Cleanup Agreement (BCA) and all subsequent documents; that this application was prepared by me or under my supervision and direction. If this application is approved, I hereby acknowledge and agree: (1) to execute a Brownfield Cleanup Agreement (BCA) within 60 days of the date of DEC's approval letter; (2) to the general terms and conditions set forth in the [DER-32, Brownfield Cleanup Program Applications and Agreements](#); and (3) that in the event of a conflict between the general terms and conditions of participation and terms contained in a site-specific BCA, the terms in the site-specific BCA shall control. Further, I hereby affirm that information provided on this form and its attachments is true and complete to the best of my knowledge and belief. I am aware that any false statement made herein is punishable as a Class A misdemeanor pursuant to section 210.45 of the Penal Law.

Date: **2/1/2023**

Signature: _____

Print Name: **XIAO KE TANG**

SUBMITTAL INFORMATION

- Two (2) copies, one unbound paper copy of the application form with original signatures and table of contents, and one complete electronic copy in final, non-fillable Portable Document Format (PDF), must be sent to:

Chief, Site Control Section
New York State Department of Environmental Conservation
Division of Environmental Remediation
625 Broadway, 11th Floor
Albany, NY 12233-7020

PLEASE DO NOT SUBMIT PAPER COPIES OF SUPPORTING DOCUMENTS. Please provide a hard copy of ONLY the application form and a table of contents.

FOR DEC USE ONLY

BCP SITE T&A CODE: _____

LEAD OFFICE: _____

FOR SITES SEEKING TANGIBLE PROPERTY CREDITS IN NEW YORK CITY ONLY

Sufficient information to demonstrate that the site meets one or more of the criteria identified in ECL 27-1407(1-a) must be submitted if requestor is seeking this determination.

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Please respond to the questions below and provide additional information and/or documentation as required. See attachment A	Y	N
1. Is the property located in Bronx, Kings, New York, Queens or Richmond County?		
2. Is the requestor seeking a determination that the site is eligible for the tangible property credit component of the brownfield redevelopment tax credit?		
3. Is at least 50% of the site area located within an environmental zone pursuant to NYS Tax Law 21(b)(6)?		
4. Is the property upside down or underutilized as defined below?		
Upside down		
Underutilized		
<p>From ECL 27-1405(31): “Upside down” shall mean a property where the projected and incurred cost of the investigation and remediation which is protective for the anticipated use of the property equals or exceeds seventy-five percent of its independent appraised value, as of the date of submission of the application for participation in the brownfield cleanup program, developed under the hypothetical condition that the property is not contaminated.</p> <p>From 6 NYCRR 375-3.2(I) as of August 12, 2016 (Please note: Eligibility determination for the underutilized category can only be made at the time of application): 375-3.2: (I) “Underutilized” means, as of the date of application, real property on which no more than fifty percent of the permissible floor area of the building or buildings is certified by the applicant to have been used under the applicable base zoning for at least three years prior to the application, which zoning has been in effect for at least three years; and (1) the proposed use is at least 75 percent for industrial uses; or (2) at which: (i) the proposed use is at least 75 percent for commercial or commercial and industrial uses; (ii) the proposed development could not take place without substantial government assistance, as certified by the municipality in which the site is located; and (iii) one or more of the following conditions exists, as certified by the applicant: (a) property tax payments have been in arrears for at least five years immediately prior to the application; (b) a building is presently condemned, or presently exhibits documented structural deficiencies, as certified by a professional engineer, which present a public health or safety hazard; or (c) there are no structures.</p> <p>“Substantial government assistance” shall mean a substantial loan, grant, land purchase subsidy, land purchase cost exemption or waiver, or tax credit, or some combination thereof, from a governmental entity.</p>		

FOR SITES SEEKING TANGIBLE PROPERTY CREDITS IN NEW YORK CITY ONLY (continued)

5. If you are seeking a formal determination as to whether your project is eligible for Tangible Property Tax Credits based in whole or in part on its status as an affordable housing project (defined below), you must attach the regulatory agreement with the appropriate housing agency (typically, these would be with the *New York City Department of Housing, Preservation and Development*; the *New York State Housing Trust Fund Corporation*; the *New York State Department of Housing and Community Renewal*; or the *New York State Housing Finance Agency*, though other entities may be acceptable pending Department review).

Check appropriate box below:

Project is an Affordable Housing Project – regulatory agreement attached

Project is planned as Affordable Housing, but agreement is not yet available*

*Selecting this option will result in a “pending” status. The regulatory agreement will need to be provided to the Department and the Brownfield Cleanup Agreement will need to be amended prior to issuance of the CoC in order for a positive determination to be made.

This is not an Affordable Housing Project

From 6 NYCRR 375-3.2(a) as of August 12, 2016:

- (a) “Affordable housing project” means, for purposes of this part, title fourteen of article twenty-seven of the environmental conservation law and section twenty-one of the tax law only, a project that is developed for residential use or mixed residential use that must include affordable residential rental units and/or affordable home ownership units.
- (1) Affordable residential rental projects under this subdivision must be subject to a federal, state, or local government housing agency’s affordable housing program, or a local government’s regulatory agreement or legally binding restriction, which defines (i) a percentage of the residential rental units in the affordable housing project to be dedicated to (ii) tenants at a defined maximum percentage of the area median income based on the occupants’ household’s annual gross income.
- (2) Affordable home ownership projects under this subdivision must be subject to a federal, state, or local government housing agency’s affordable housing program, or a local government’s regulatory agreement or legally binding restriction, which sets affordable units aside for homeowners at a defined maximum percentage of the area median income.
- (3) “Area median income” means, for purposes of this subdivision, the area median income for the primary metropolitan statistical area, or for the county if located outside a metropolitan statistical area, as determined by the United States department of housing and urban development, or its successor, for a family of four, as adjusted for family size.

FOR SITES SEEKING TANGIBLE PROPERTY CREDITS IN NEW YORK CITY ONLY (continued)

6. Is the site a planned renewable energy facility site as defined below?

Yes – planned renewable energy facility site

No – not a planned renewable energy facility site

If yes, please provide any documentation available to demonstrate that the property is planned to be developed as a renewable energy facility site.

From ECL 27-1405(33) as of April 9, 2022:

"Renewable energy facility site" shall mean real property (a) this is used for a renewable energy system, as defined in section sixty-six-p of the public service law; or (b) any co-located system storing energy generated from such a renewable energy system prior to delivering it to the bulk transmission, sub-transmission, or distribution system.

From Public Service Law Article 4 Section 66-p as of April 23, 2021:

(b) "renewable energy systems" means systems that generate electricity or thermal energy through use of the following technologies: solar thermal, photovoltaics, on land and offshore wind, hydroelectric, geothermal electric, geothermal ground source heat, tidal energy, wave energy, ocean thermal, and fuel cells which do not utilize a fossil fuel resource in the process of generating electricity.

7. Is the site located within a disadvantaged community, within a designated Brownfield Opportunity Area, and meets the conformance determinations pursuant to subdivision ten of section nine-hundred-seventy-r of the general municipal law?

Yes

No

From ECL 75-0111 as of April 9, 2022:

(5) "Disadvantaged communities" means communities that bear the burdens of negative public health effects, environmental pollution, impacts of climate change, and possess certain socioeconomic criteria, or comprise high-concentrations of low- and moderate-income households, as identified pursuant to section 75-0111 of this article.

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BCP APPLICATION SUMMARY (FOR DEC USE ONLY)		
SITE NAME	SITE ADDRESS	
CITY	COUNTY	ZIP
REQUESTOR NAME	REQUESTOR ADDRESS	
CITY	ZIP	EMAIL

PROPERTY ADDRESS	SECTION	BLOCK	LOT

REQUESTOR'S REPRESENTATIVE		
NAME	ADDRESS	
CITY	ZIP	EMAIL
REQUESTOR'S ATTORNEY		
NAME	ADDRESS	
CITY	ZIP	EMAIL
REQUESTOR'S CONSULTANT		
NAME	ADDRESS	
CITY	ZIP	EMAIL

REQUESTOR'S REQUESTED STATUS	PARTICIPANT	VOLUNTEER
DEC DETERMINATION	AGREE	DISAGREE

APPLIED FOR FEE WAIVER	YES	NO
ELIGIBLE FOR FEE WAIVER	YES	NO

PERCENTAGE WITHIN AN EN-ZONE	0%	<50%	50-99%	100%
DEC DETERMINATION	AGREE		DISAGREE	

BCP APPLICATION SUMMARY (FOR DEC USE ONLY) (CONTINUED)**FOR SITES IN NEW YORK CITY ONLY****IS THE REQUESTOR SEEKING TANGIBLE PROPERTY CREDITS?**

YES

NO

UPSIDE DOWN

YES

NO

DEC DETERMINATION

AGREE

DISAGREE

UNDERUTILIZED

YES

NO

DEC DETERMINATION

AGREE

DISAGREE

AFFORDABLE HOUSING STATUS

PLANNED

YES

NO

DEC DETERMINATION

AGREE

DISAGREE

DISADVANTAGED COMMUNITY AND CONFORMING BOA

YES

NO

DEC DETERMINATION

AGREE

DISAGREE

RENEWABLE ENERGY FACILITY SITE

YES

NO

DEC DETERMINATION

AGREE

DISAGREE

NOTES:

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

BROWNFIELD CLEANUP PROGRAM (BCP) INSTRUCTIONS FOR COMPLETING A BCP APPLICATION

The New York State Department of Environmental Conservation (DEC) strongly encourages all applicants to schedule a pre-application meeting with DEC staff to review the benefits, requirements, and procedures for completing a project in the BCP. Contact your [Regional Office](#) to schedule a meeting. To add a party to an existing BCP Agreement, use the [BCP Agreement Amendment Application](#).

For further information regarding the determination of a complete application, please refer to the guidance following these instructions, as well as the [NYSDEC BCP website](#).

SUBMITTAL INSTRUCTIONS

Please submit **one unbound paper copy of ONLY the application form and a table of contents** to the address below:

Chief, Site Control Section
New York State Department of Environmental Conservation
625 Broadway, 11th Floor
Albany, NY 12233-7020

Additionally, please submit an electronic (Portable Document Format [PDF]) version of the application as follows:

- One file containing the application form, table of contents, and supporting documentation, excluding historical environmental reports and draft work plans
- One file for each historical environmental report (not merged with each other or with the application file)
- One file for each draft work plan, if applicable

PLEASE DO NOT SUBMIT PAPER COPIES OF SUPPORTING DOCUMENTS. Please provide a hard copy of **ONLY** the application form and table of contents.

SECTION I: Property Information

PLEASE NOTE	If any changes to SECTION I are required prior to application approval, a new page 2, initialed by each requestor, must be submitted with the revisions.
Proposed Site Name	Provide a name for the proposed site. The name could be an owner's name, current or historical operations (i.e., ABC Furniture) or the general location of the property. Consider whether the property is known by DEC by a particular name, and if so, use that name.
Site Address	Provide a street address, city/town, zip code, and each municipality and county in which the site is located.
Site Size	Provide the approximate acreage of the site.
GIS Information	Provide the latitude and longitude for the approximate center of the property. Show the latitude and longitude in degrees, minutes and seconds.

SECTION I: Property Information (continued)	
Tax Parcel Information	Provide the tax parcel address/section/block/lot information and map. Tax map information may be obtained from the tax assessor's office for all tax parcels that are included in the property boundaries. Attach a county tax map with identifier numbers, along with any figures needed to show the location and boundaries of the property. Include a USGS 7.5-minute quad map on which the property appears and clearly indicate the proposed site's location.
Tax Map Boundaries	State whether the boundaries of the site correspond to the tax map boundaries. If no, a metes and bounds description of the property must be attached. The site boundary can occupy less than a tax lot or encompass portions of one or more tax lots and may be larger or smaller than the overall redevelopment/ reuse project area. A site survey with metes and bounds will be required to establish the site boundaries before the Certificate of Completion can be issued.
Site Map	Provide a property base map(s) of sufficient detail, clarity and accuracy to show the following: (i) map scale, north arrow orientation, date, and location of the property with respect to adjacent streets and roadways; and (ii) proposed brownfield property boundary lines, with adjacent property owners clearly identified.
En-zone	Is any part of the property in an En-zone? If so, what percentage? For information on En-zones, please see DEC's website .
Disadvantaged Communities	For additional information on disadvantaged communities, please refer to the Climate Leadership and Community Protection Act website .
Brownfield Opportunity Area (BOA)	For more information on designated BOAs, please refer to the NYS DOS website . Additional information on BOA conformance determinations can be found at the Office of Planning and Development website .
Multiple Applications	Generally, only one application can be submitted, and one BCA executed, for a development project. In limited circumstances, the DEC may consider multiple applications/BCAs for a development project where (1) the development project spans more than 25 acres; (2) the approach does not negatively impact the remedial program, including timing, ability to appropriately address areas of concern, and management of off-site concerns; and (3) the approach is not advanced to increase the value of future tax credits (i.e., circumvent the tax credit caps provided under New York State Tax Law Section 21).
Previous BCP Applications	If all or part of the proposed site has been the subject of a previous BCP application (whether accepted, denied or withdrawn), please provide the assigned DEC site number from the previous application as well as any relevant information regarding why the property is not currently in the program.

SECTION I: Property Information (continued)	
Registry Listing and P-site Status	<p>If all or part of the proposed site is now or ever was listed on the Registry of Inactive Hazardous Waste Disposal Sites, or is currently the subject of investigation as a Potential Site, please provide the assigned DEC site number.</p>
Property Description Narrative	<p>Provide a property description in the format provided below. Each section should be no more than one paragraph long.</p> <p><u>Location:</u></p> <p>Example: "The XYZ Site is located in an {urban, suburban, rural} area." {Add reference points if address is unspecific; e.g., "The site is approximately 3.5 miles east of the intersection of County Route 55 and Industrial Road."}</p> <p><u>Site Features:</u></p> <p>Example: "The main site features include several large, abandoned buildings surrounded by former parking areas and roadways. About one quarter of the site area is wooded. Little Creek passes through the northwest corner."</p> <p><u>Current Zoning and Land Use:</u> (Ensure the current zoning is identified)</p> <p>Example: "The site is currently inactive and is zoned for commercial use. The surrounding parcels are currently used for a combination of commercial, light industrial, and utility rights-of-way. The nearest residential area is 0.3 miles east on Route 55."</p> <p><u>Past Use of the Site:</u> include source(s) of contamination and remedial measures (site characterizations, investigations, Interim Remedial Measures, etc.) completed outside of the current remedial program (e.g., work under a petroleum spill incident).</p> <p>Example: "Until 1992 the site was used for manufacturing wire and wire products (e.g., conduit, insulators) and warehousing. Prior uses that appear to have led to site contamination include metal plating, machining, disposal in a one-acre landfill north of Building 7, and releases of wastewater into a series of dry wells."</p> <p>When describing the investigations/actions performed outside of the remedial program, include the major chronological remedial events that lead to the site entering a remedial program. The history should include the first involvement by government to address hazardous waste/petroleum disposal. Do not cite reports. Only include remedial activities which were implemented PRIOR to the BCA. Do not describe sampling information.</p> <p><u>Site Geology and Hydrogeology:</u></p> <p>As appropriate, provide a very brief summary of the main hydrogeological features of the site including depth to water, groundwater flow direction, etc.</p>

SECTION I: Property Information (continued)

Environmental Assessment	<p>The goal of this section is to describe the nature and extent of contamination at the site. When describing the nature of contamination, identify just the primary contaminants of concern (i.e., those that will likely drive remedial decisions/actions). If there are many contaminants present within a group of contaminants (i.e., volatile organic compounds, semi-volatile organic compounds, metals), identify the group(s) and one or two representative contaminants within the group. When addressing the extent of contamination, identify the areas of concern at the site, contaminated media (i.e., soil, groundwater, etc.), relative concentration levels, and a broad-brush description of contaminated areas/depths.</p> <p>The reader should be able to know if contamination is widespread or limited and if concentrations are marginally or greatly above Standards, Criteria and Guidance (SGCs) for the primary contaminants. If the extent is described qualitatively (e.g., low, medium, high), representative concentrations should be given and compared with appropriate SCGs. For soil contamination, the concentrations should be compared with the soil cleanup objectives (SCOs) for the intended use of the site.</p> <p>A typical Environmental Assessment would look like the following:</p> <p>Based upon investigations conducted to date, the primary contaminants of concern for the site include cadmium and trichloroethene (TCE).</p> <p><i>Soil</i> - Cadmium is found in shallow soil, mostly near a dry well at the northeast end of the property. TCE is found in deeper soil, predominantly at the north end of the site. Concentrations of cadmium found on site (approximately 5 ppm) slightly exceed the soil cleanup objective (SCO) for unrestricted use (2.5 ppm). Concentrations of TCE found on site (5 ppm to 300 ppm) significantly exceed the soil cleanup objectives for the protection of groundwater (0.47 ppm).</p> <p><i>Groundwater</i> - TCE and its associated degradation products are also found in groundwater at the north end of the site, moderately exceeding groundwater standards (typically 5 ppb), with a maximum concentration of 1500 ppb. A moderate amount of TCE from the site has migrated 300 feet down-gradient off-site. The primary contaminant of concern for the off-site area is TCE, which is present at a maximum concentration of 500 ppb, at 10 feet below the groundwater table near Avenue A.</p> <p><i>Soil Vapor & Indoor Air</i> - TCE was detected in soil vapor at elevated concentrations and was also detected in indoor air at concentrations up to 1,000 micrograms per cubic meter.</p>
Questions 15-17: New York City Sites	<p>These questions pertain ONLY to sites located within the five counties comprising New York City. If the requestor is seeking a determination that the site is eligible for tangible property tax credits, this section and the <i>Supplemental Questions for Sites Seeking Tangible Property Credits in New York City</i> must be completed.</p>

SECTION II: Project Description

As a separate attachment, provide complete and detailed information about the project, including the purpose of the project, the date the remedial program is to start, and the date the issuance of the Certificate of Completion is anticipated.

SECTION III: Land Use Factors

In addition to eligibility information, site history, and environmental data/reports, the application requires information regarding the current, intended and reasonably anticipated future land use.

This information consists of responses to the "land use" factors to be considered relative to the "Land Use" section of the BCP application. The information will be used to determine the appropriate land use in conjunction with the investigation data provided, in order to establish eligibility for the site based on the definition of a "brownfield site" pursuant to ECL 27-1405(2).

This land use information will be used by DEC, in addition to all other relevant information provided, to determine whether the proposed use is consistent with the currently identified, intended and reasonably anticipated future land use of the site at this stage. Further, this land use finding is subject to information regarding contamination at the site or other information which could result in the need for a change in this determination being borne out during the remedial investigation.

Zoning and Current Use	Provide the current municipal zoning designation and uses permitted by that designation. Provide a summary of the current use of the site, including identifying possible contaminant source areas. If the site is no longer in use, provide the date by which operations ceased.
Anticipated Use	Identify the anticipated post-remediation use of the site and provide a detailed description of the specific anticipated post-remediation use as an attachment.
Renewable Energy Facility Site	Indicate if the post-remediation use of the site is proposed to be a renewable energy facility. A "renewable energy facility site" shall mean real property (a) this is used for a renewable energy system, as defined in section sixty-six-p of the public service law; or (b) any co-located system storing energy generated from such a renewable energy system prior to delivering it to the bulk transmission, sub-transmission, or distribution system. Section 66-p of the Public Service Law: "Renewable energy systems" means systems that generate electricity or thermal energy through use of the following technologies: solar thermal, photovoltaics, on land and offshore wind, hydroelectric, geothermal electric, geothermal ground source heat, tidal energy, wave energy, ocean thermal, and fuel cells which do not utilize a fossil fuel resource in the process of generating electricity. Provide any detailed plans or documentation to support this.
Compliance with Zoning Laws, Recent Development, and Community Master Plans	Provide additional explanation and/or documentation as necessary to support the responses to these items.

SECTION IV: Property's Environmental History

For all sites, an investigation report is required that is sufficient to demonstrate the site requires remediation in order to meet the requirements of the program, and that the site is a brownfield site at which contaminants are present at levels exceeding the soil cleanup objectives or other health-based or environmental standards, criteria or guidance adopted by DEC that are applicable based on the reasonably anticipated use of the property, in accordance with applicable regulations. Required data include site drawings and data summary tables requested in Section III, #3 of the BCP application form. Specific instructions regarding the data summary tables are attached at the end of these instructions.

SECTION V: Requestor Information

Requestor Name	<p>Provide the name of the person(s)/entity requesting participation in the BCP (if more than one, attach additional sheets with requested information.) The requestor is the person or entity seeking DEC review and approval of the remedial program.</p> <p>If the requestor is a Corporation, LLC, LLP or other entity requiring authorization from the NYS Department of State to conduct business in NYS, the requestor's name must appear exactly as given in the NYS Department of State's Corporation & Business Entity Database. A print-out of entity information from the database must be submitted to DEC with the application, to document that the requestor is authorized to do business in NYS.</p>
Address, etc.	Provide the requestor's mailing address, telephone number and e-mail.
LLC Information	If the requestor(s) is/are an LLC, the names of the members/owners need to be provided on a separate attachment.
Document Certification	<p>All documents, which are prepared in final form for submission to DEC for approval, are to be prepared and certified in accordance with Section 1.5 of DER-10. Persons preparing and certifying the various work plans and reports identified in Section 1.5 include:</p> <ul style="list-style-type: none">• New York State licensed professional engineers (P.E.s), as defined at 6 NYCRR 375-1.2(aj) and paragraph 1.3(b)47. Engineering documents must be certified by a P.E. with current license and registration for work that was done by them or those under their direct supervision. The firm by which the P.E. is employed must also be authorized to practice engineering in New York State;• qualified environmental professionals as defined at 6 NYCRR 375-1.2(ak) and DER-10 paragraph 1.3(b)49;• remedial parties, as defined at 6 NYCRR 375-1.2(ao) and DER-10 paragraph 1.3(b)60; or• site owners, which are the owners of the property comprising the site at the time of the certification.

SECTION VI: Requestor Eligibility

As a separate attachment, provide complete and detailed information in response to any eligibility questions answered in the affirmative. It is permissible to reference specific sections of existing property reports; however, it is requested that such information be summarized. For properties with multiple addresses or tax parcels, please include this information for each address or tax parcel.

Volunteer Statement	If a requestor whose liability arises solely as a result of ownership, operation of, or involvement with the site, submit a statement describing why you should be considered a volunteer. Be specific as to the appropriate care taken.
Proof of Site Access	If a requestor is not the current owner of the entirety of the site, a site access agreement must be provided that demonstrates that the requestor will have access to the property before signing the BCA and throughout the BCP project. Additionally, the access agreement must include language allowing the requestor the ability to place an environmental easement on the site should the requestor not be the owner at the time remediation is complete and a Track 1 cleanup has not been achieved.

SECTION VII: Requestor Contact Information

Requestor's Representative	Provide information for the requestor's authorized representative. This is the person to whom all correspondence, notices, etc. will be sent, and who will be listed as the contact person in the BCA. Invoices will be sent to the representative of Applications determined to be Participants unless another contact name and address is provided with the application.
Requestor's Consultant and Requestor's Attorney	Provide all requested information.

SECTION VIII: Program Fee

If the requestor is applying for a fee waiver, sufficient documentation must be provided to demonstrate financial hardship. To demonstrate financial hardship, the applicant must show that with the payment of the program fee, remediation of the brownfield site would not be economically viable. This documentation may be in the form of federal tax returns with applicable schedules, financial statements and balance sheets, proof that the applicant has waived its right to tax credits, or any other documentation deemed acceptable by the Department.

SECTION IX: Current Property Owner and Operator Information

Owner Information	Provide requested information of the current owner of the property. List <u>all</u> parties holding an interest in the property and, if the requestor is not the current owner, describe the requestor's relationship to the current owner. If the property consists of multiple parcels, be sure to include the ownership start date of each.
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SECTION IX: Current Property Owner and Operator Information (continued)

Operator Information	Provide requested information of the current operator(s). If multiple operators, attach the requested information for each operator, including the date each operator began utilizing the property.
Historical Owners and Operators	Provide a list of previous owners and a list of previous operators, including dates of ownership or operation and last-known addresses and phone numbers. Describe the requestor's relationship to each previous owner and operator; if no relationship, indicate "none". When describing the requestor's relationship to current and historical owners and operators, include any relationship between the requestor's corporate members and the previous owners and operators.

SECTION X: Property Eligibility Information

As a separate attachment, provide complete and detailed information in response to the following eligibility questions answered in the affirmative. It is permissible to reference specific sections of existing property reports; however, it is requested that that information be summarized.

CERCLA / NPL Listing	Has any portion of the property ever been listed on the National Priorities List (NPL) established under CERCLA? If so, provide relevant information.
Registry Listing	Has any portion of the property ever been listed on the New York State Registry of Inactive Hazardous Waste Disposal Sites established under ECL 27-1305? If so, please provide the site number and classification. See the Division of Environmental Remediation (DER) website for a database of sites with classifications.
RCRA Listing	Does the property have a Resource Conservation and Recovery Act (RCRA) TSDF Permit in accordance with the ECL 27-0900 et seq? If so, please provide the EPA Identification Number, the date the permit was issued, and its expiration date. Note: for purposes of this application, interim status facilities are not deemed to be subject to a RCRA permit.
Registry/RCRA Sites Owned by Volunteers	If the answer to question 2 or 3 above is yes, is the site owned by a volunteer as defined under ECL 27- 1405(1)(b), or under contract to be transferred to a volunteer? Attach any information available to the requestor related to previous owners or operators of the facility or property and their financial viability, including any bankruptcy filing and corporate dissolution documentation.

SECTION X: Property Eligibility Information (continued)

Existing Order	Is the property subject to an order for cleanup under Article 12 of the Navigation Law or Article 17 Title 10 of the ECL? If so, please provide information on an attachment. Note: if the property is subject to a stipulation agreement, relevant information should be provided; however, property will not be deemed ineligible solely on the basis of the stipulation agreement.
Pending Enforcement Actions	Is the property subject to an enforcement action under Article 27, Titles 7 or 9 of the ECL or subject to any other ongoing state or federal enforcement action related to the contamination which is at or emanating from the property? If so, please provide information as an attachment.

SECTION XI: Site Contact List

Provide the names and addresses of the parties on the Site Contact List (SCL) and a letter from the repository acknowledging agreement to act as the document repository for the proposed BCP project. For sites located in a city with a population of one million or more, the appropriate community board must be included as an additional document repository, and acknowledgement of their agreement to act as such must also be provided.

SECTION XII: Statement of Certification and Signatures

The requestor must sign the application or designate a representative who is authorized to sign. The requestor's consultant or attorney cannot sign the application. If there are multiple parties applying, then each requestor must sign a signature page. If the requestor is a Corporation, LLC, LLP or other entity requiring authorization from the NYS Department of State to conduct business in NYS, the entity's name must appear exactly as given in the NYS Department of State's Corporation & Business Entity Database.

DATA SUMMARY TABLE INSTRUCTIONS

Data summary tables should include the following columns:

Soil Table:

Analytes > SCOs ^a	Detections > SCOs ^b	Max. Detection (ppm) ^c	SCO (ppm) ^d	Depth (ft bgs)
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Groundwater Table:

Analytes > AWQS ^e	Detections > AWQS ^f	Max. Detection (ppb) ^c	AWQS (ppb) ^g
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Soil Gas Table:

Analytes ^h	Total Detections	Max. Detection (ug/m3) ^c	Type ⁱ
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^a Include all contaminants over the applicable soil cleanup objectives (SCOs). Column header should specify which SCOs are being compared to. (i.e., "RRSCOs" for Restricted Residential SCOs)

^b Number of detections over applicable SCOs. Specify which SCOs are being compared to in column header.

^c Maximum detection in parts per million (ppm) for soil, parts per billion (ppb) for groundwater, or micrograms per cubic meter (ug/m3) for soil gas.

^d List the respective SCO. Specify which SCOs are being compared to in column header.

^e Include all contaminants over Class GA Ambient Water Quality Standards (AWQS).

^f Number of detections over AWQS.

^g List the respective AWQS.

^h Include all chlorinated volatile organic compound (VOCs) detections.

ⁱ Specify type: soil vapor, sub-slab or indoor air.

Example Data Summary Tables

Soil Table:

Analytes > RR SCOs	Detections > RR SCOs	Maximum Detection (ppm)	RR SCO (ppm)	Depth (ft bgs)
Benzo(a)anthracene	3	11	1	5 – 7
Benzo(a)pyrene	4	15	1	5 – 7
Benzo(b)fluoranthene	5	15	1	5 – 7
Benzo(k)fluoranthene	1	5.3	3.9	5 – 7
Indeno(1,2,3-cd)pyrene	7	8.4	0.5	5 – 7
barium	2	967	400	0.5 – 2.5
cadmium	2	94.1	4.3	6 – 8
lead	3	1,790	400	0.5 – 2.5

Groundwater Table:

Analytes > AWQS	Detections > AWQS	Max. Detection (ppb)	AWQS (ppb)
Benz(a)anthracene	2	0.2	0.002
Benzo(a)pyrene	2	0.221	ND
Benzo(b)fluoranthene	2	0.179	0.002
Benzo(k)fluoranthene	2	0.189	0.002
Indeno(1,2,3-cd)pyrene	2	0.158	0.002
Tetrachloroethene (PCE)	1	12	5

Soil Gas Table:

Analytes	Total Detections	Max. Detection (µg/m³)	Type
Carbon tetrachloride	1	0.84	Soil vapor
Methylene chloride	1	2.6 J	Soil vapor
Tetrachloroethene	2	47	Soil vapor
Trichloroethene	1	1.2	Soil vapor
Trichlorofluoromethane	1	21	Soil vapor

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

DETERMINATION OF A COMPLETE APPLICATION

1. The first step in the application review and approval process is an evaluation to determine if the application is complete. To help ensure that the application is determined complete, requestors should review the list of common application deficiencies and carefully read these instructions.
2. DEC will send a notification to the requestor within 30 calendar days of receiving the application, indicating whether such application is complete or incomplete.
3. An application must include the following information relative to the site identified by the application, necessary for making an eligibility determination, or it will be deemed incomplete. (Please note: the application as a whole requires more than the information outlined below to be determined complete). The application must include:
 - a. for all sites, an investigation report sufficient to demonstrate the site requires remediation in order to meet the requirements of the program, and that the site is a brownfield site at which contaminants are present at levels exceeding the soil cleanup objectives or other health-based or environmental standards, criteria or guidance adopted by DEC that are applicable based on the reasonably anticipated use of the property, in accordance with applicable regulations. Required data includes site drawings requested in Section III, #3 of the BCP application form.
 - b. for those sites described below, documentation relative to the volunteer status of all requestors, as well as information on previous owners or operators that may be considered responsible parties and their ability to fund remediation of the site. This documentation is required for:
 - i. real property listed in the registry of inactive hazardous waste disposal sites as a class 2 site, which may be eligible provided that DEC has not identified any responsible party for that property having the ability to pay for the investigation or cleanup of the property prior to the site being accepted into the BCP; or
 - ii. real property that was a hazardous waste treatment, storage or disposal facility having interim status pursuant to the Resource Conservation and Recovery Act (RCRA) program, which may be eligible provided that DEC has not identified any responsible party for that property having the ability to pay for the investigation or cleanup of the property prior to the site being accepted into the BCP.
 - c. for sites located within the five counties comprising New York City, in addition to (a) and if applicable (b) above, if the application is seeking a determination that the site is eligible for tangible property tax credits, sufficient information to demonstrate that the site meets one or more of the criteria identified in ECL 27 1407(1-a). If this determination is not being requested in the application to participate in the BCP, the applicant may seek this determination at any time before issuance of a certificate of completion, using the BCP Amendment Application, except for sites seeking eligibility under the underutilized category.
 - d. for sites previously remediated pursuant to Titles 9, 13, or 14 of ECL Article 27, Title 5 of ECL Article 56, or Article 12 of Navigation Law, relevant documentation of this remediation.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

DETERMINATION OF A COMPLETE APPLICATION (CONTINUED)

4. If the application is found to be incomplete:
 - a. the requestor will be notified via email or phone call regarding minor deficiencies. The requestor must submit information correcting the deficiency to DEC within the 30-day review time frame; or
 - b. the requestor will receive a formal Letter of Incomplete Application (LOI) if an application is substantially deficient, if the information needed to make an eligibility determination identified in #4 above is missing or found to be incomplete, or if a response to a minor deficiency is not received within the 30-day period. The LOI will detail all of the missing information and request submission of the information. If the information is not submitted within 30 days from the date of the LOI, the application will be deemed withdrawn. In this case, the requestor may resubmit the application without prejudice.
5. If the application is determined to be complete, DEC will send a Letter of Complete Application (LOC) that includes the dates of the public comment period. The LOC will:
 - a. include an approved public notice to be sent to all parties on the Contact List included with the application;
 - b. provide instructions for publishing the public notice in the newspaper on the date specified in the letter, and instructions for mailing the notice to the Contact List;
 - c. identify the need for a certification of mailing form to be returned to DEC along with proof of publication documentation; and
 - d. specify the deadline for publication of the newspaper notice, which must coincide with, or occur before, the date of publication in the Environmental Notice Bulletin (ENB).
 - i. DEC will send a notice of the application to the ENB. As the ENB is only published on Wednesdays, DEC must submit the notice by the Wednesday before it is to appear in the ENB.
 - ii. The mailing to parties on the Contact List must be completed no later than the Tuesday prior to ENB publication. If the mailings, newspaper notice and ENB notice are not completed within the timeframes established by the LOC, the public comment period on the application will be extended to ensure that there will be the required comment period.
 - iii. Marketing literature or brochures are prohibited from being included in mailings to the Contact List.

Attachment A – Property Information

ATTACHMENT A

Section I. Property Information

A USGS Quad Map that identifies the Site is listed in Figure 1- Site Location Map, Figure 2 – Tax Map, and Figure 3 – Survey Map, respectively.

Item 1 & 2

The Site is located at 43-25 & 43-27 52nd Street, Woodside, NY, and identified as Block 1321 and Lots 7 and 10 on the New York Tax Map.

Item 14

Site Features:

Lot 7 is currently developed with a single-story vacant commercial building along the eastern portion of the Site. It was previously occupied by an auto repair facility with a paved parking lot area occupying the remaining western portion of the Site. Lot 10 is currently developed with a single-story commercial building occupying the entire footprint of the Site.

Current Zoning and Land Use:

According to the New York City zoning map, the Site is in R7A and C2-3 districts, which are residential and commercial districts that are predominantly residential in character. The site is to be redeveloped into a 9-story mixed-use commercial and residential building which is consistent with the current zoning. The Site is located within a primarily mixed use residential and commercial area of Queens, New York. The surrounding parcels are currently used for a combination of commercial and residential purpose.

Past Use of the Site:

A Phase I Environmental Site Assessment (ESA) for lot 10 was prepared by JR Environmental Services, Inc. dated February 2022. According to the Phase I ESA, lot 10 was initially developed by 1932 with a two-story commercial building, and had been used as a commercial, warehouse, storage and church since then. The review of city directory search revealed that a drapery cleaner had occupied lot 10 from 1970s to 1980s. Based on the review of the Sanborn Maps included in the Phase I ESA, lot 7 was initially developed by 1914 with a two-story building on the northern section and single-story shed structures on the eastern portion and utilized as a residence through at least 1932. The dwelling building and the single-story shed structures were demolished after 1932 and a single-story auto garage was constructed on the eastern portion. The auto garage had been on Site through at least 1951 and was later changed to an auto shop after 1982.

Site Geology and Hydrogeology:

The elevation of the property is approximately 88 ft (NAVD88). The stratigraphy of the site, from the surface down, consists primarily of asphalt and concrete covering to approximately 6-inches below grade across the Site. The asphalt and concrete were underlain with brown silt-sand mixtures with trace amounts of gravel and fine angular native stone to the terminal depth of 15 feet bgs. Deeper interval soils were not investigated, nor logged. No evidence of staining, odors,

or PID responses were detected in any of the recovered soil across the site; Depth to bedrock at the Site is greater than 100 feet. Depth to groundwater is present at 65-70 feet below grade. Regional groundwater flow is generally to the west-southwest towards Newtown Creek, which is approximately 1.31 miles to the west-southwest of the Site.

Environmental Assessment:

Remedial Investigation Report for the Site (Lot 7 and 10) was prepared by Brussee Environmental Corp. (BEC) in November of 2022. Soil and soil vapor samples were obtained during the remedial investigation. Based on the remedial investigations conducted to date, the primary contaminants of concern for the site include tetrachloroethylene (PCE), Trichloroethylene (TCE), Copper, Zinc, and Lead in soil samples and cis-1,2-dichloroethene, TCE and PCE in soil vapor samples.

Soil: The VOC tetrachloroethene was detected in one shallow soil sample exceed the NYSDEC Unrestricted Use Soil Cleanup Objective (UUSCO) of 0.1 ppm. One pesticide, 4,4'-DDT, was detected at 3.4 µg/kg in soil sample exceed the UUSCO of 3.3 µg/kg. Seven SVOCs are detected at shallow soil samples but the concentrations are below the UUSCO. Two metals (copper and zinc) were detected at shallow sample exceed their respective UUSCOs. Lead was detected exceed both the UUSCO and Restricted Residential Soil Cleanup Objectives (RRSCOs).

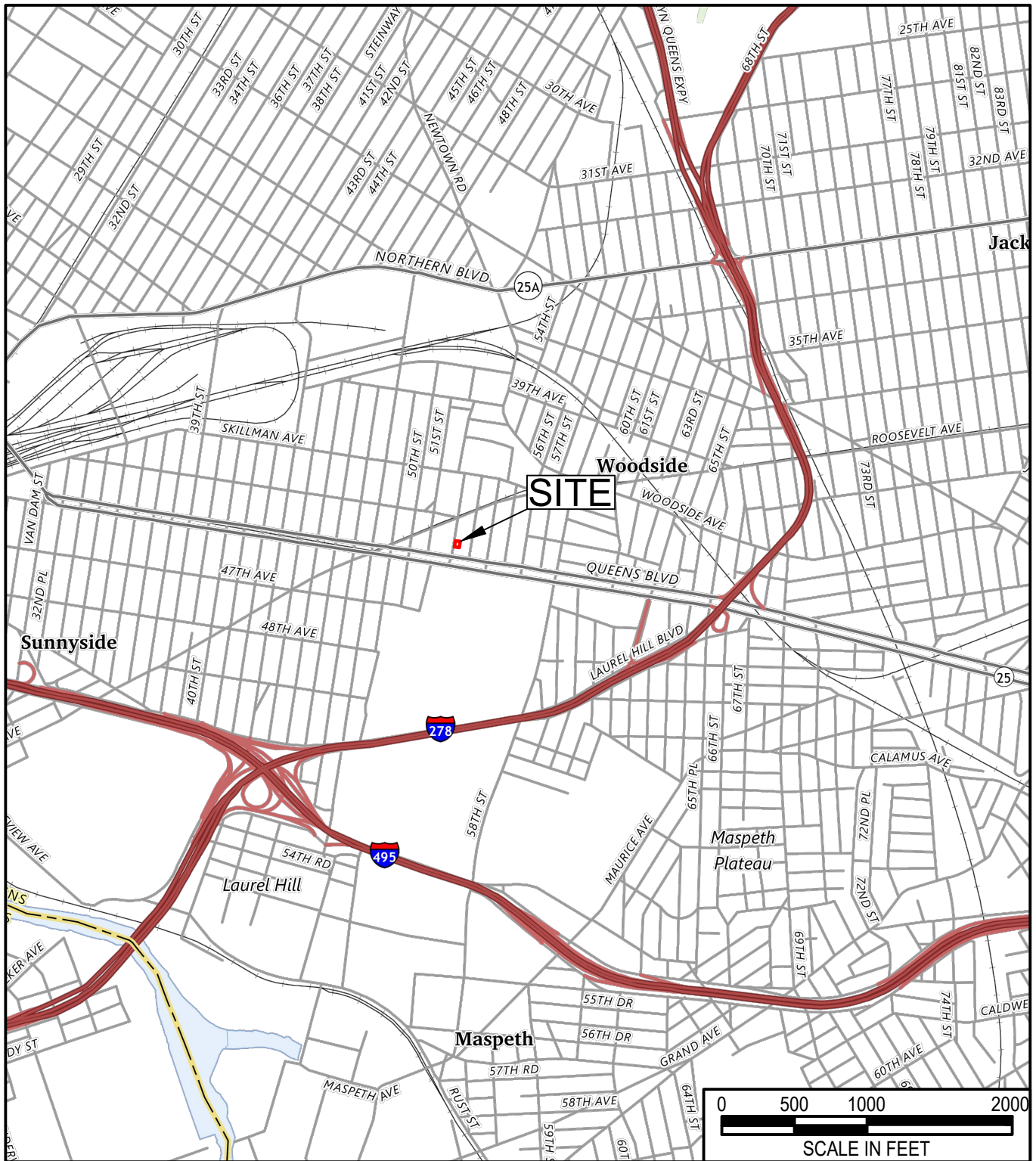
Groundwater: No groundwater sample was collected during the RI performed by BEC due to the repeated refusal encountered at the site.

Soil Vapor: The soil vapor results indicated moderate levels of petroleum-related VOCs (PVOCs) and moderate levels of chlorinated VOCs (CVOCs) and elevated levels of PCE in all six soil vapor samples. Three CVOCs, cis-1,2-dichloroethene, TCE and PCE, were detected above the mitigation level range established within the Air Guidance Values derived by the New York State Department of Health (NYSDOH).

Item 15

The site is located at 43-25 & 43-27 52nd Street, Woodside, in Queens County. The proposed redevelopment is for affordable housing. The requestor is seeking a determination that the site is eligible for the tangible property credit component of the brownfield redevelopment tax credit.

Figures



Map Reference: USGS 7.5 Minute Series, 2019.

YU & Associates Engineers, P.C.
Geotechnical, Environmental and Civil Engineering

611 River Drive - 3rd Floor
Elmwood Park, NJ 07407

Tel: (201) 791-0075
Fax: (201) 791-4533

Site Location Map 43-25 & 43-27 52nd Street

WOODSIDE

Queens

NEW YORK

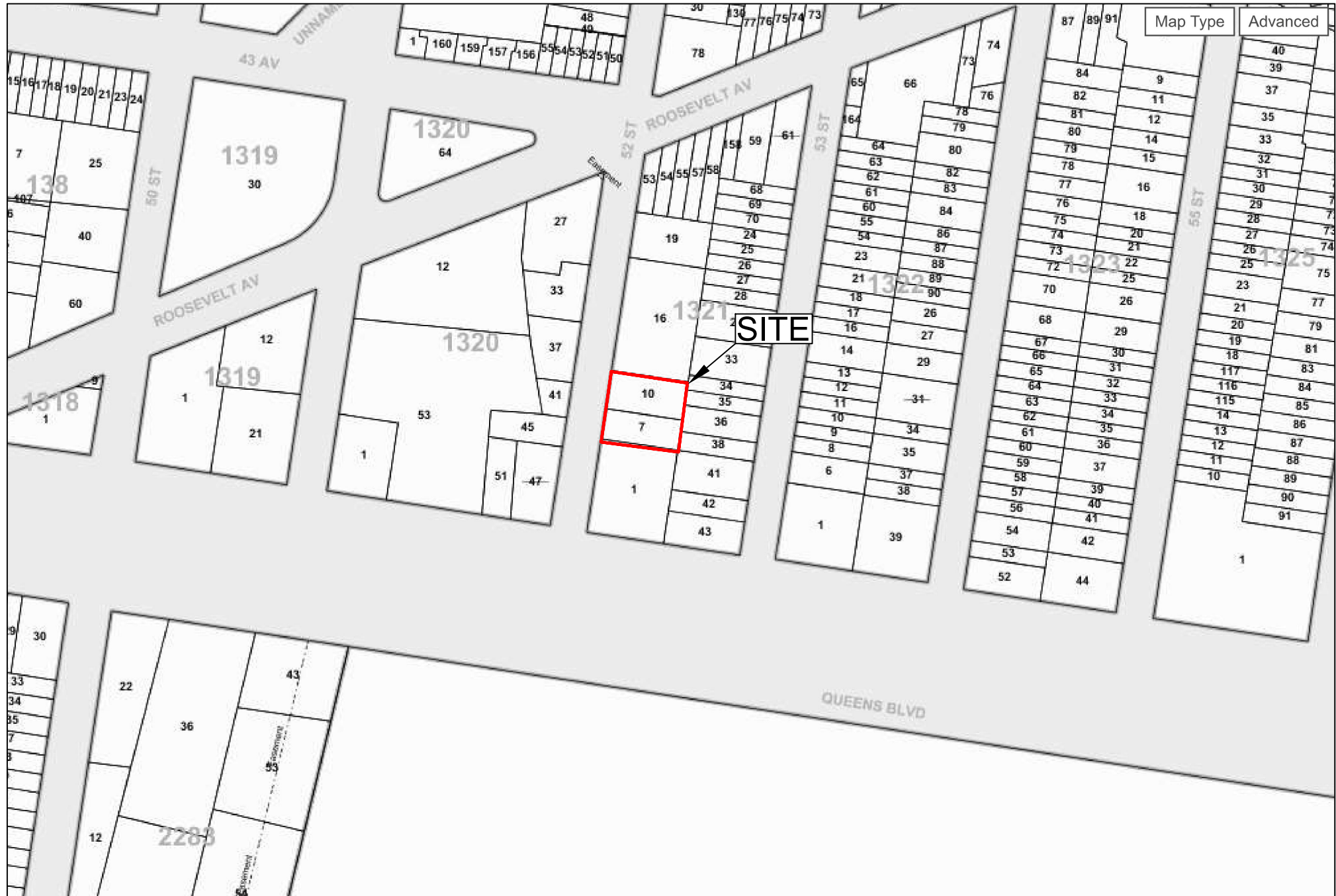
JOB NO.: 22254

SCALE: Not to Scale

DATE: 12/7/2022

FIG. 1

P:\22\2225400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section I Property Information\Figures\CAD Drawing\ Drawing1.dwg Dec 19, 2022 - 1:01pm yzhao



Map Reference: NYC Dept. of Finance Digital Tax Map, 2022

LEGEND:

- 50

50

-50

50.5

+/-5.5

1500 - 1550

Borough Boundary

Tax Block Boundary

Tax Block Number

Tax Lot Boundary

Tax Lot Number

Condo FKA Tax Lot Number

Tax Lot Dimension

Approximate Tax Lot Dimension

Condo Units Range Label

Building Footprint

Site Boundary

C50

A50

S50

R

1

Misc

Condo Flag/Condo Number

Air Right Flag/Lot Number

Subterranean Right Flag/Lot Number

REUC Flag

Under Water Tax Lot Boundary

Other Boundary

Possession Hook

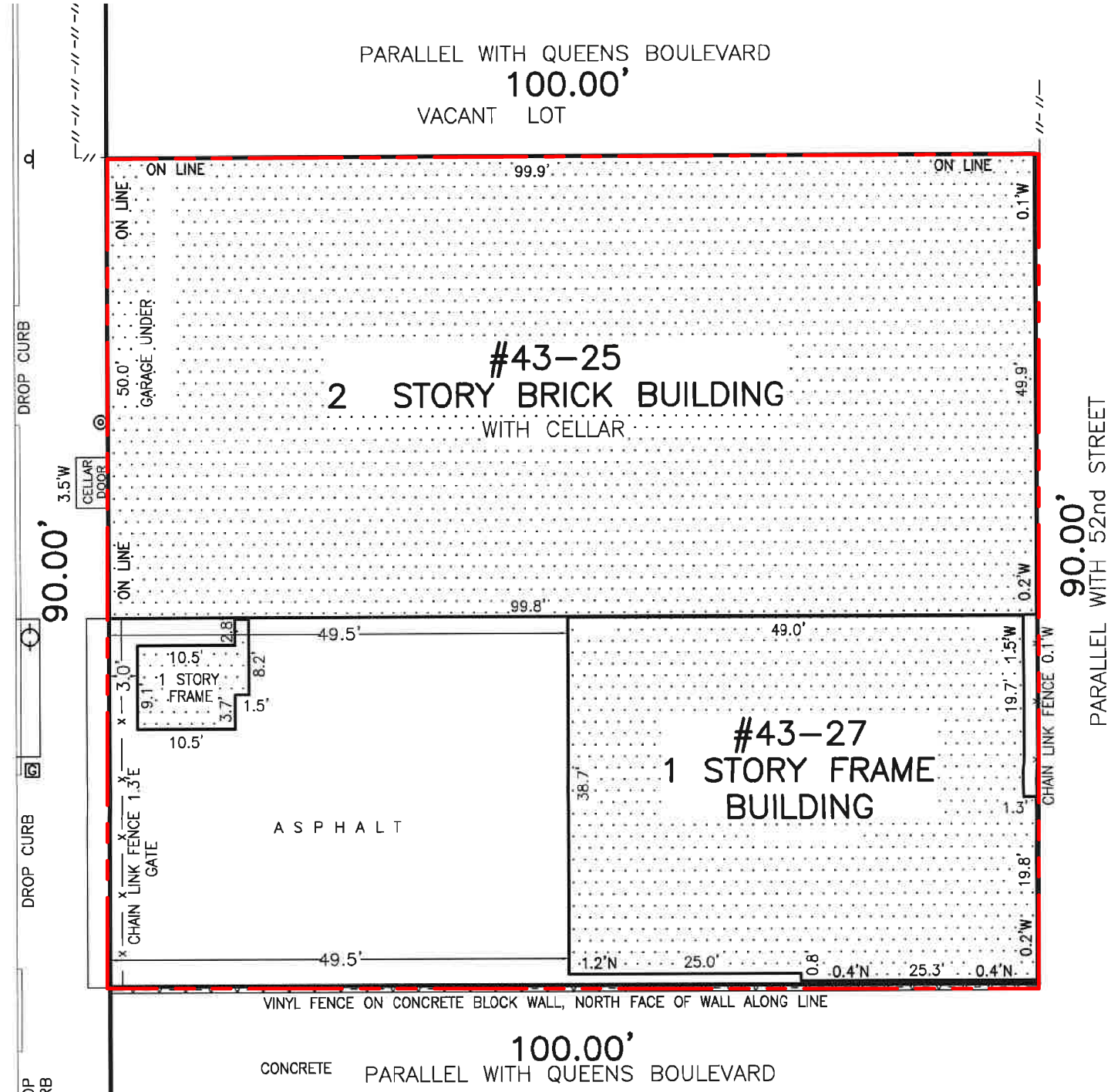
Miscellaneous Text

Small Tax Lot Dimension

Surface Water
- | Block | Lot | Owner |
|-------|-----|---------------------|
| 1321 | 1 | 52-01 LLC |
| 1321 | 16 | POMERANTZ, STEVEN M |
| 1321 | 38 | 53 ROOSEVELT LLC |
| 1321 | 36 | UNAVAILABLE OWNER |
| 1321 | 35 | FRAN CASSO |
| 1321 | 34 | YANGZOM, T ASHI |

P:\22\22222400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section 1 Property Information\Figures\CAD Drawing\Drawing1.dwg Dec 21, 2022 - 1:33pm yzhao

52ND STREET



LEGEND:



NOTES:

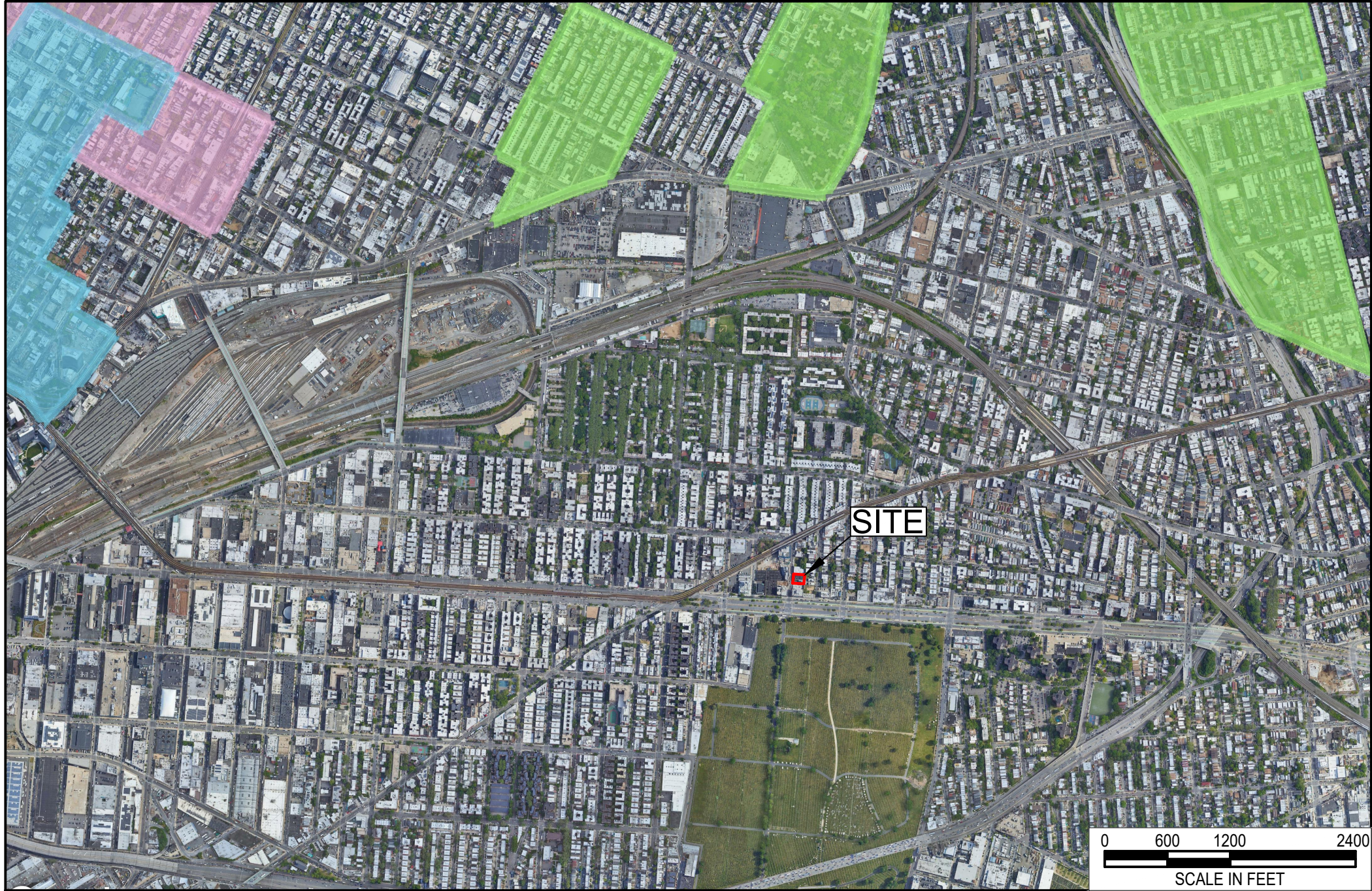
1. THIS SURVEY IS INTENDED TO BE USED FOR THE TITLE PURPOSES ONLY AND IS SUBJECT TO WHATEVER A MORE COMPLETE TITLE SEARCH MAY REVEAL. IT IS NOT TO SCALE AND USING TO LOCATE NEW CONSTRUCTION MAY RESULT IN PROBLEM FOR WHICH THIS SURVEYOR WILL NOT BE LIABLE
2. THIS SURVEY MAP IS PROVIDED BY A & B ENGINEERING AND LAND SURVEYING, P.C. LOCATED AT 150-18 HILLSIDE AVENUE, JAMAICA, NY, 11432. THE SURVEY NUMBER IS 1169

YU & Associates Engineers, P.C.
Geotechnical, Environmental and Civil Engineering
611 River Drive - 3rd Floor
Elmwood Park, NJ 07407
Tel: (201) 791-0075
Fax: (201) 791-4533

Survey Map
43-25 & 43-27 52nd Street
WOODSIDE

Queens NEW YORK
JOB NO.: 22254 SCALE: 1" = 15' DATE: 12/7/2022 FIG. 3

P:\22\2225400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section I Property Information\Figures\CAD Drawing\ Drawing1.dwg Dec 19, 2022 - 1:06pm yzhao



LEGEND:

- Type A En-Zone
- Type AB En-Zone
- Type B En-Zone
- Site Boundary

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611 River Drive - 3rd Floor
Elmwood Park, NJ 07407
Tel: (201) 791-0075
Fax: (201) 791-4533

En-Zone Area
43-25 & 43-27 52nd Street
WOODSIDE

Queens		NEW YORK	
JOB NO.:	22254	SCALE:	As Shown
DATE:	12/7/2022	FIG.	4

P:\22\2225400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section I Property Information\Figures\CAD Drawing\ Drawing1.dwg Dec 19, 2022 - 1:26pm yzhao



Census Tract 36081048900 is **Designated a Draft DAC**
This Tract covering New York city has a population of 1,610

Environmental Burden is higher
than **88%** of Census Tracts statewide
Population Vulnerability is higher
than **54%** of Census Tracts statewide

Population Characteristics & Vulnerability

Health Impacts & Burdens	Asthma ED visits	61%
	COPD ED visits	32%
	Heart attack (MI) Hospitalization	16%
	Low Birthweight	45%
	Pct Adults Age 65+	20%
	Pct w/ Disabilities	2%
	Pct w/o Health Insurance	98%
Housing, Mobility, Communications	Premature Deaths	63%
	Energy Poverty / Cost Burden	26%
	Homes Built Before 1960	67%
	Housing Cost Burden (Rental C...	39%
	Manufactured Homes	0%
	Pct Renter-Occupied Homes	88%
	Pct w/o Internet (home or cellu...	58%
Income	Pct <100% of Federal Poverty ..	53%
	Pct <80% Area Median Income	75%
	Pct Single-Parent Households	59%
	Pct w/o Bachelor's Degree	58%
	Unemployment Rate	20%
Race/Ethnicity	Historical Redlining Score	62%
	Limited English Proficiency	91%
	Pct Asian	86%
	Pct Black or African American	16%
	Pct Latino/a or Hispanic	91%
	Pct Native American or Indigen...	83%

Environmental Burden & Climate Change Risk

Land Use & Historic Discrimination	Active Landfills	0%
	Housing Vacancy Rate	42%
	Industrial/Manufacturing/Mining La..	39%
	Major Oil Storage Facilities	0%
	Municipal Waste Combustors	0%
	Power Generation Facilities	0%
	Regulated Management Plan (Ch...	68%
Potential Climate Change Risk	Remediation Sites	57%
	Scrap Metal Processing	0%
	Agricultural Land Use	0%
	Coastal Flooding and Storm Risk ..	0%
	Driving Time to Urgent/Critical Care	40%
	Extreme Heat Projections (>90° d...	79%
	Inland Flooding Risk Areas	0%
Potential Pollution Exposure	Low Vegetative Land Cover	100%
	Benzene Concentration (Modeled)	99%
	Particulate Matter (PM2.5)	81%
	Traffic: Diesel Trucks	63%
	Traffic: Number of Vehicles	72%
	Wastewater Discharge	0%

LEGEND:

- Site Boundary
- Selected Census Tract
- Census Tract

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Geotechnical, Environmental and Civil Engineering
611 River Drive - 3rd Floor
Elmwood Park, NJ 07407
Tel: (201) 791-0075
Fax: (201) 791-4533

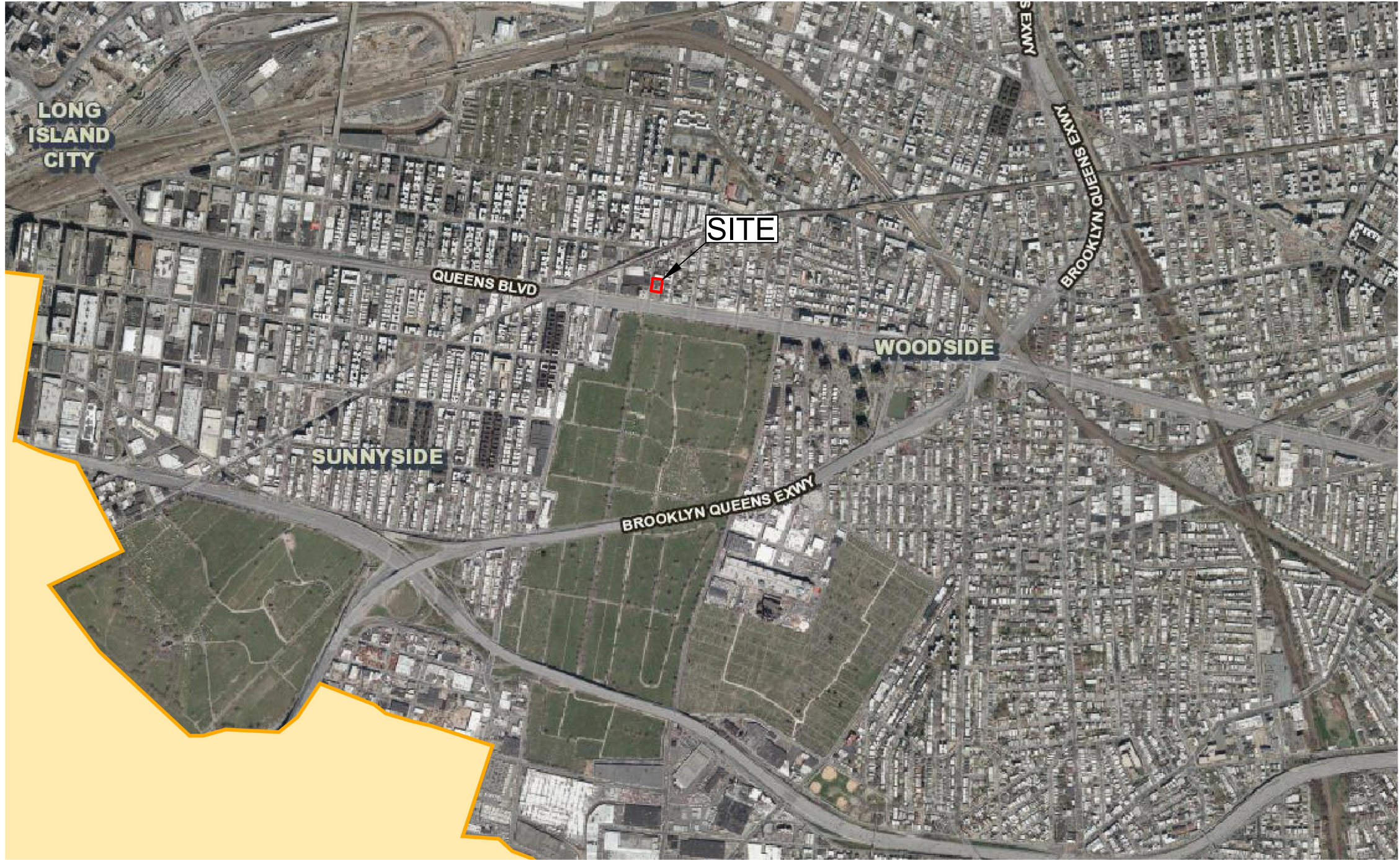
Disadvantaged Community
43-25 & 43-27 52nd Street

WOODSIDE

Queens NEW YORK

JOB NO.: 22254 SCALE: Not to Scale DATE: 12/7/2022 FIG. 5

P:\22\2225400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section 1 Property Information\Figures\CAD Drawing\ Drawing1.dwg Dec 19, 2022 - 1:27pm yzhao



LEGEND:

- Site Boundary
- NYS Brownfield Opportunity Area

Map Reference: COPYRIGHT 2022 THE CITY OF NEW YORK.

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611 River Drive - 3rd Floor
Elmwood Park, NJ 07407
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NYC Brownfield Opportunity Area
43-25 & 43-27 52nd Street
WOODSIDE

Queens		NEW YORK	
JOB NO.: 22254	SCALE: Not to Scale	DATE: 12/7/2022	FIG. 6

Attachment B – Project Description

ATTACHMENT B

Section II. Project Description

Purpose and Scope of Project

The Site is located at 43-25 & 43-27 52nd Street, Queens, NY, and identified as Block 1321 and Lots 7 and 10 on the New York Tax Map. Lot 7 is currently developed with a single-story vacant commercial building along the eastern portion of the Site. It was previously occupied by an auto repair facility with a paved parking lot area occupying the remaining western portion of the Site. Lot 10 is currently developed with a single-story commercial building occupying the entire footprint of the Site. The Site is to be redeveloped into a 9-story mixed-use commercial and residential building.

The remedial investigation (RI) performed Brussee Environmental Corp. (BEC) in November of 2022 revealed the presence of soil and soil vapor contamination at the Site.

The contaminants detected at elevated levels exceeding the SCGs included one volatile organic compound (VOC), One pesticide, and metals. As part of the project, remedial measures will be implemented to protect human health and the overall environment of the immediate area. All remedial work will be completed in accordance with an approved Remedial Action Work Plan (RAWP) and Supplemental RAWP developed following *DER-10 Technical Guidance for Site Investigation and Remediation*.

On October 15, 2019, New York City Department of Planning approved the rezoning of the 52nd Street from R5B to R7A with C2-3 overlay. A zoning analysis has been completed for this project. In the redevelopment plan, the Site will be redeveloped as a nine-story mixed commercial and residential use building with a full cellar. The building will be set back 6 ft from the property line along 52nd street with a footprint of approximately 8,400 square feet (SF) and will include:

- 60 dwelling units totaling approximately 40,900 SF
- 363 SF of commercial retail space
- 12 parking spaces, a tenant gym, a laundry room, two storage rooms, a detention tank and utility rooms in the cellar
- The residential lobby, mailbox area, a two-bedroom residential apartment, retail space, a parking garage for 12 vehicles on the first floor, and
- Residential units on the second – ninth floor

The remediation will be coordinated with the redevelopment of the project, as detailed in the estimated project schedule shown below. The schedule includes six months for implementation of remedial activities and 18 months for the balance of development activities.

Estimated Project Schedule

ID	Task Name	Duration	2023												2024												2025						
			2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	
1	BCP Review/Agreement, RI and RAWP	5 mons																															
2	Design and Permitting	4 mons																															
3	Remediation Concurrent with Construction	6 mons																															
4	Redevelopment Construction	18 mons																															
5	TCO Process	6 mons																															
6	Final CO	2 mons																															

Note:

- 1) BCP = Brownfield Cleanup Program
- 2) RI = Remedial Investigation
- 3) RAWP = Remedial Action Work Plan
- 4) TCO = Temporary Certificate of Occupancy
- 5) CO = Certificate of Occupancy

Attachment C – Land Use Factors

ATTACHMENT C

Section III. Land Use Factors

Item 1 & 2

The Site is in R7A and C2-3 districts, which are residential and commercial districts that are predominantly residential in character.

Item 3 & 4

Lot 7 is currently developed with a single-story vacant commercial building along the eastern portion of the Site. It was previously occupied by an auto repair facility with a paved parking lot area occupying the remaining western portion of the site. The auto repair facility can be a potential REC. The building was vacated on September 14th, 2022. Lot 10 is currently developed with a single-story commercial building occupying the entire footprint of the Site. It was previously occupied by a church. The building was vacated on May 7th, 2022

Item 5 & 6

The Site is currently occupied by one two-story building with a partial basement in lot 7 and one single-story building with paved parking area in lot 10. The purpose of the project is to develop the contaminated parcel into mixed use residential and commercial spaces. On October 15, 2019, New York City Department of Planning approved the rezoning of the 52nd Street from R5B to R7A with C2-3 overlay. A zoning analysis has been completed for this project. In the redevelopment plan, the Site will be redeveloped as a nine-story mixed commercial and residential use building with a full cellar. The building will be set back 6 ft from the property line along the 52nd street with a footprint of approximately 8,400 square feet (SF) and will include:

- 60 dwelling units totaling approximately 40,900 SF
- 363 SF of commercial retail space
- 12 parking spaces, a tenant gym, a laundry room, two storage rooms, a detention tank and utility rooms in the cellar
- The residential lobby, mailbox area, a two-bedroom residential apartment, retail space, a parking garage for 12 vehicles on the first floor, and
- Residential units on the second – ninth floor

Item 8

Yes. According to the New York City Zoning Map, the Site is located within the R7A and C2-3 districts, which are residential and commercial districts that are predominantly residential in character. The Site is proposed to feature commercial and residential use.

Item 9

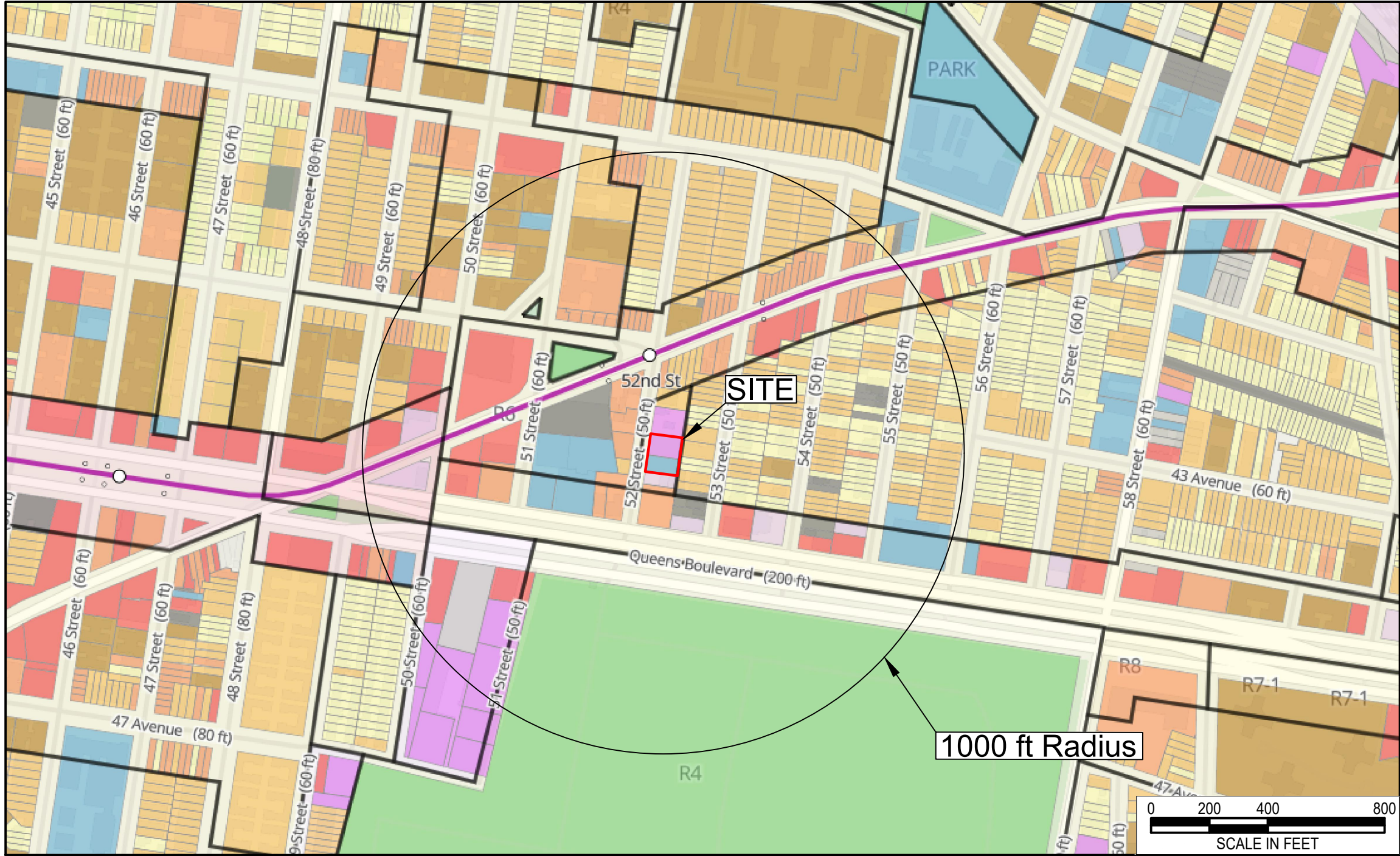
Yes. As noted above, the Site is located within the R7A and C2-3 district. R7A district permits high lot coverage, seven-to nine-story apartment buildings. C2 district permit a slightly wider range of uses, such as funeral homes and repair services. C3 district permit waterfront recreational activities, primarily boating and fishing, in areas along the waterfront that are usually adjacent to residential districts. The Site is proposed to feature commercial and residential use.

Item 10

New York City does not have a Comprehensive Plan; the City's Zoning Map and Resolution serve as the framework for determining appropriate development within the city. As noted above, the proposed commercial use for the Site is consistent with its current C2-3 District zoning designation, pursuant to the NYC Zoning Map and Resolution. See Figure 1, Zoning Map. The Site is not located within a Local Waterfront Revitalization Area.

Figures

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LEGEND:

Zoning and Land Use

- Tax Lots ☐
- One & Two Family Buildings
 - Multi-Family Walk-Up Buildings
 - Multi-Family Elevator Buildings
 - Mixed Residential & Commercial Buildings
 - Commercial & Office Buildings
 - Industrial & Manufacturing
 - Transportation & Utility
 - Public Facilities & Institutions
 - Open Space & Outdoor Recreation
 - Parking Facilities
 - Vacant Land
 - Other

Zoning Districts

- Commercial Districts
- Manufacturing Districts
- Residence Districts
- Parks
- Battery Park City

Basemaps

- Subways
- Building Footprints
- Site Boundary

Map Reference: NEW YORK CITY'S ZONING AND LAND USE MAP DATED MAY 2021

YU & Associates Engineers, P.C.
Geotechnical, Environmental and Civil Engineering
611 River Drive - 3rd Floor
Elmwood Park, NJ 07407
Tel: (201) 791-0075
Fax: (201) 791-4533

LAND USE MAP
43-25 & 43-27 52nd Street
WOODSIDE

Queens			NEW YORK
JOB NO.: 22254	SCALE: As Shown	DATE: 12/7/2022	FIG. 7

P:\22\2225400 (43-52nd Street)\BCP Application\Attachments\Attachment A - Section 1 Property Information\Figures\CAD Drawing\ Drawing1.dwg Dec 19, 2022 - 1:42pm yzhao



LEGEND:

- Special Natural Water Front Area
- Coastal Zone Boundary
- Significant Maritime & Industrial Area
- Site Boundary

Map Reference: COPYRIGHT 2022 NEW YORK CITY DEPARTMENT OF CITY PLANNING

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Geotechnical, Environmental and Civil Engineering
*611 River Drive - 3rd Floor
Elmwood Park, NJ 07407*
*Tel: (201) 791-0075
Fax: (201) 791-4533*

NYC Waterfront Revitalization Area
43-25 & 43-27 52nd Street

WOODSIDE

Queens **NEW YORK**

JOB NO.: 22254 SCALE: As Shown DATE: 12/7/2022 FIG. 8

Redevelopment Plan

ANGELO NG & ANTHONY NG ARCHITECTS STUDIO



FLOOR NUMBER	BUILDING CODE	GROSS FLOOR AREA	OCCUPANCY GROUP	USER GROUP	F.A.R. BREAK DOWN					ZONING FLOOR AREA	FAR
					PL/ME	REFUSE	PARKING	CORRIDORS	TOTAL DEDUCTION		
CELLAR		8351.04	RESIDENTIAL	2B							
1ST		8392.8	COMMERCIAL	6A							
2ND		5311.81	RESIDENTIAL	2A	26.46	12	5974.16	832.72	6845.34	362.85	0.040316667
3RD		5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	1184.61	0.131623333
4TH		5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.561961111
5TH		5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.561961111
6TH		5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.561961111
7TH		5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.561961111
8TH		4912.7	RESIDENTIAL	2A	52.6	12		168.83	233.43	4679.27	0.519918889
9TH		4912.7	RESIDENTIAL	2A	52.6	12		168.83	233.43	4679.27	0.519918889
TOTAL		58440.1						2183.36		40889.05	4.543227778

43-25 52nd Street, Woodside, New York

PAGE	SHEET	SHEET NAME	INITIAL SET	PAA 1	2	3	4	5
1	TS-000.00	TITLE SHEET	Y					
2	Z-000.00	ZONING REGULATION ANALYSIS & SITE PLAN	Y					
3	Z-001.00	HEIGHT & SETBACK DIAGRAMS	Y					
4	Z-002.00	EGRESS ANALYSIS	Y					
5	Z-003.00	EGRESS ANALYSIS	Y					
6	Z-004.00	ZONING AREA CALCULATION	Y					
7	Z-005.00	ZONING AREA CALCULATION	Y					
8	Z-006.00	ZONING AREA CALCULATION	Y					
9	Z-007.00	ZONING AREA CALCULATION	Y					
10	Z-008.00	ZONING AREA CALCULATION	Y					
11	A-001.00	LEGENDS, NOTES	Y					
12	A-002.00	NOTES	Y					
13	A-003.00	NOTES	Y					
14	A-004.00	NOTES	Y					
15	A-005.00	NOTES	Y					
16	A-006.00	NOTES	Y					
17	A-007.00	SECTION 504 UNIT DESIGNATION TABLE, & ENLARGED IH UNITS	Y					
18	A-008.00	ENLARGED INCLUSIONARY HOUSING UNITS	Y					
19	A-009.00	SITE PHOTOS, TAX MAP, ZONING MAP, FEMA FLOOD MAP	Y					
20	A-100.00	CELLAR FLOOR PLAN	Y					
21	A-101.00	1ST FLOOR PLAN	Y					
22	A-102.00	2ND FLOOR PLAN	Y					
23	A-103.00	3RD&4TH FLOOR PLAN	Y					
24	A-104.00	5TH FLOOR PLAN	Y					
25	A-105.00	6TH&7TH FLOOR PLAN	Y					
26	A-106.00	8TH FLOOR PLAN	Y					
27	A-107.00	9TH FLOOR PLAN	Y					
28	A-108.00	ROOF PLAN	Y					
29	A-200.00	FRONT ELEVATION	Y					
30	A-201.00	WEST ELEVATION	Y					
31	A-202.00	EAST ELEVATION	Y					
32	A-203.00	REAR ELEVATION	Y					
33	A-204.00	BUILDING SECTION	Y					
34	A-205.00	BUILDING SECTION	Y					
35	A-300.00	WALL SECTIONS						
36	A-301.00	WALL SECTIONS						
37	A-400.00	INCLUSIONARY UNIT KITCHEN ELEVATIONS	Y					
38	A-401.00	INCLUSIONARY UNIT KITCHEN ELEVATIONS	Y					
39	A-402.00	INCLUSIONARY UNIT BATHROOM ELEVATIONS	Y					
40	A-403.00	LAUNDRY ROOM & BIKE ROOM PLANS & ELEVATIONS, & ELEVATOR & REFUSE ROOM PLANS	Y					
41	A-404.00	MAIL & PACKAGE AREA PLAN & ELEVATION	Y					
42	A-500.00	WALL TYPE	Y					
43	A-501.00	WALL TYPE	Y					
44	A-503.00	WINDOW SCHEDULE	Y					
45	A-504.00	DOOR SCHEDULE	Y					
46	A-505.00	DOOR DETAILS	Y					
47	A-700	ROOF DETAILS	Y					
48	LL-100.00	CELLAR LIGHTING LAYOUT	Y					
49	LL-101.00	FRST FLOOR LIGHTING LAYOUT	Y					
50	LL-102.00	2ND FLOOR LIGHTING LAYOUT	Y					
51	LL-103.00	DOOR DETAILS	Y					
52	LL-104.00	DOOR DETAILS	Y					
53	LL-105.00	DOOR DETAILS	Y					
54	LL-106.00	DOOR DETAILS	Y					
55	LL-107.00	DOOR DETAILS	Y					
56	LL-108.00	DOOR DETAILS	Y					
57	EN-100.00	COMCHECK REPORT ENVELOPE	Y					
58	EN-101.00	COMCHECK REPORT ENVELOPE	Y					
59	EN-102.00	COMCHECK REPORT LIGHTING	Y					
60	EN-103.00	COMCHECK REPORT LIGHTING	Y					
61	EN-104.00	GLAZING AREAS	Y					
62	EN-105.00	THERMAL BRIDGES	Y					
63	EN-106.00	THERMAL BRIDGES	Y					
64	EN-107.00	WALL AREAS	Y					
65	EN-108.00	PROGRESS INSPECTION TABLE II	Y					
66	EN-109.00	AIR BARRIER DETAILS	Y					

PROJECT NAME:

4325 52 LLC

ARCHITECT:

Angelo Ng + Anthony Ng
ARCHITECTS STUDIO P.C.
61-10 182nd STREET, 2nd FL.
FRESH MEADOWS, NY 11365
TEL: 1-718-457-1151
WWW.ArchitectsStudioNY.COM

Key Plan

Examiner: Stamp

No. Date Description

Issued/Revised

Project

9 STORY MULTI FAMILY

43-25 52ND STREET
QUEENS, NY. 11377

Drawing Title

TITLE SHEET

Architect Stamp



DOB Sicker

Sheet No. OF
Scale As Noted
Date 11-01-2022
Project No. 2230
Drawn By: ANJ/AY
Drawing No.

TS-000.00

Q00711760-11

ZONING ANALYSIS

PREMISES: 43-25 52ND STREET
BLOCK: 1321
LOT: 7, 10
ZONE: C2-3 / R7A
MAP: 9b
LOT AREA: 90'X100'=9,000 S.F.
FIRE DIST.: YES

CONST. CLASS: TYPE I-B
OCC. CLASS: R-2
STRUCTURAL OCC.: 2
SEISMIC CATG.: CATG. B

BLDG. HEIGHT: 87 FT
MULTI. DWL. CLASS: HAEA
OF DWL. UNITS: 60
PERMITTED USES: 2,3,6,7,8,9
PROPOSED USES: 2,6

BULK REGULATION (MANDATORY INCLUSIONARY HOUSING AREA)

Z.R.# 35-31 MAX F.A.R. MIXED-USE BLDG.
THE MAX. FAR, PERMITTED FOR A COMMERCIAL USE SHALL BE SET FORTH IN ART. III, CHAPTER 3. MAX. RESIDENTIAL FAR SHALL BE SET FORTH IN ART. II CHAPTER 4. PROVIDED THE TOTAL OF ALL SUCH F.A.R. DOES NOT EXCEED THE GREATEST FAR PERMITTED FOR ANY SUCH USE. MAX. FAR PERMITTED FOR ALL MIXED USE BLDG = 4.6 ZR. 23-154 (b) (SEE BELOW)

Z.R.# 33-121 MAX F.A.R. COMMERCIAL PORTION
MAX. FAR, FOR COMMERCIAL = 2.0
MAX. F.A. = 2.0 X 9,000 SF. = 18,000 SF.
PROPOSED COMM. AREA= 363 SF/ 9,000 SF= 0.04 FAR< 2.0

Z.R.# 23-154(b) MAX F.A.R. FOR RESIDENTIAL WITH INCLUSIONARY HOUSING = 4.6
=9,000 SF X 4.6 = **41,400 SF**
PROPOSED RESIDENTIAL FLOOR AREA
TOTAL RESIDENTIAL FLOOR AREA=40,889 SF, OR 4.50 FAR.
(SEE CALC. ON DWG. Z-002 THROUGH Z-008)

PROPOSED MIXED USE FLOOR AREA
=40,889 (RES.) + 363 (COMM.) = **41252 SF** < 41,400 SF, 4.54 FAR

	PROPOSED FLOOR AREA	MAX F.A.R. ALLOWED	PROPOSED F.A.R.
COMMERCIAL	363 SF	2.0	0.04
RESIDENTIAL	40,889 SF	4.6	4.50
MIXED	41,252 SF	4.6	4.54

Z.R.# 23-154 (d)(3)(i) OPTION 1
TOTAL PROPOSED AFFORDABLE FLOOR AREA PERCENTAGE: = **8184 S.F./31,725 S.F. = 25.8% > 25% -OK**
TOTAL NET FLOOR AREA DEVOTED TO AFFORDABLE HOUSING: 8,184 **S.F.**

Z.R.# 23-153 LOT COVERAGE FOR RESIDENTIAL
FOR INTERIOR LOT PORTION: PERMITTED =65%. PROPOSED 59 %
5579 SF / 9000 SF =61.98 %, LESS THAN 65%, SEE DIAGRAM BELOW

Z.R.# 23-22 MAX. NUMBER OF DWELLING UNITS (FACTOR 680)
MAX. RES. F.A. = 41,400 SF. - 363 SF.(COMM.) =41,037 SF
MAX. D.U. = 41,037 SF / 680 (FACTOR) = 60.34 D.U. =60 D.U.
PROPOSED DWELLING UNITS= **60 D.U.** < 60 D.U., -OK

Z.R.# 23-154 (b) MAX BASE F.A.R. RESIDENTIAL = 3.45
BASE F.A.R. =9,000 SF X 3.45 = **31,050 SF**

INCLUSIONARY FAR CALCULATIONS = MAX 4.60
THIS PROJECT IS DEVELOPED ACCORDING TO ZD 23-154 INCLUSIONARY HOUSING PROVIDING AFFORDABLE HOUSING PURSUANT TO THE INCLUSIONARY HOUSING PROGRAM. AS PER SECTION 23-154(b) INCLUSIONARY HOUSING DESIGNATED AREAS TO INCREASE THE RESIDENTIAL FLOOR AREA OF THE ZONING LOT, EXCEEDING THE BASE FLOOR AREA RATIO, IT IS BASED ON COMPENSATED ZONING LOT FLOOR AREA INCREASE.
(1.25 S.F. FOR EACH SQUARE FEET OF LOW INCOME FLOOR AREA) UP TO 4.60 FAR.

PROPOSED INCLUSIONARY FLOOR AREA:
LOW INCOME FLOOR AREA PROVIDED:(15 D.U.)
APARTMENT 2E= 655 SF (NET) (2BR)
APARTMENT 2H= 307 SF (NET) (STU)
APARTMENT 3E= 655 SF (NET) (2BR)
APARTMENT 3H= 307 SF (NET) (STU)
APARTMENT 4E= 655 SF (NET) (2BR)
APARTMENT 4H= 307 SF (NET) (STU)
APARTMENT 5A= 542 SF (NET) (1BR)
APARTMENT 5B= 620 SF (NET) (1BR)
APARTMENT 6A= 542 SF (NET) (1BR)
APARTMENT 6B= 620 SF (NET) (1BR)
APARTMENT 7A= 542 SF (NET) (1BR)
APARTMENT 7B= 620 SF (NET) (1BR)
APARTMENT 8C= 528 SF (NET) (1BR)
APARTMENT 8C= 642 SF (NET) (2BR)
APARTMENT 9C= 642 SF (NET) (2BR)

TOTAL FLOOR AREA= 8,184 SF (NET)
TOTAL MARKET RATE HOUSING FLOOR AREA: NET 23541 **S.F.**
TOTAL APARTMENT NET FLOOR AREA: 8184 + 23541 = NET **31,725 S.F.**
PLEASE SEE Z-008 FOR DETAILED CALCULATION

Z.R.#35-54 SPECIAL PROVISIONS APPLYING ADJACENT TO R1- R5
IN R7A, WITHIN 25 FT. OF A R5 DISTRICT, PORTION OF THE ZONING SHALL BE NOT HIGHER THAN 55 FT.
PROPOSED ONE STORY GARAGE, OF LESS THAN 55 FT HIGH ALONG ABOVE R5 BOUNDARY IN THE REAR LOT LINE.

Z.R.#35-52 REQUIRED SIDE YARD
MIN. SIDE YARD= NONE
PROP. SIDE YARD= NONE

Z.R.# 35-53 REQUIRED REAR YARD
MIN. REAR YARD= 30' AT FLOOR LEVEL OF THE LOWEST STORY USED FOR RESIDENTIAL USE.
PROP. REAR YARD= **32'-2"** > 30', OK

Z.R.# 35-22(c) RESIDENTIAL BULK REGULATIONS IN C2-3 DISTRICT GOVERNED BY SURROUNDING RESIDENTIAL DISTRICT.
WHEN MAPPED WITHIN R7A, HEIGHT&SETBACK 23-66 SHALL BE MODIFIED BY 35-65 FOR QUALITY HOUSING BUILDINGS.

Z.R.# 35-65 HEIGHT AND SETBACK REQUIREMENT FOR QUALITY HOUSING BUILDINGS.
STREET WALL LOCATION OF ZR 36-651 AND THE SETBACK OF ZR 35-652 SHALL APPLY TO Q.H BUILDINGS. THE HEIGHT MAY BE INCREASED PURSUANT TO ZR. 35-654 (MODIFIED HEIGHT AND SETBACK REGULATIONS FOR CERTIAN INCLUSIONARY HOUSING BUILDINGS).

Z.R.# 35-651(a)(1) STREET WALL LOCATION
AT LEAST 70% OF AGGREGATE WIDTH OF STREET WALLS SHALL BE LOCATED WITHIN 8 FT. OF THE STREET LINE & EXTEND TO AT LEAST THE MIN. BASE HEIGHT IN ZR. 35-652 & 23-662 WHICHEVER IS LESS. UP TO 30% OF STREET WALLS MAY BE RECESSED BEYOND 8 FT. OF THE STREET LINE, NO DEEPER THAN 15 FT. ALONG NARROW STREET.
PROPOSED STREET WALL IS 6 FT. (WITHIN 8 FT. OF STREET LINE), HAVE RECESS OF 3 FT < 15 FT.

Z.R.# 35-654 MODIFIED HT. AND SETBACK REGULATIONS FOR INCLUSIONARY HOUSING BLDG.
FOR Q.H. BUILDING MEETING THE CRITERIA IN PARAGRAPH (a) OF ZR. 23-664 THE MAX. HT. SHALL BE IN ACCORDANCE WITH ZR. 23-664(b) TABLE 1.

23-664 (a)(3) MODIFIED HT. AND SETBACK REGULATIONS FOR INCLUSIONARY HOUSING BLDG.
ELIGIBLE BUILDING TO UTILIZE THE MODIFIED HT. OF ZR. 23-664(b) SHALL BE MIH DEVELOPMENTS ON MIH ZONING LOTS THAT ALSO CONTAIN MIH SITES, WHERE SUCH MIH ZONING LOT CONTAINS ALL AFFORDABLE FLOOR AREA REQUIRED FOR SUCH MIH DEVELOPMENT.
BLDG. CONTAINS ALL REQUIRED AFFORDABLE FA .

23-664(b) BUILDING HEIGHT AND SETBACK REGULATIONS (TABLE 1)
MIN. BASE HT.= 40 FT
MAX. BASE HT.= 75 FT
MAX. BUILDING HT. 90 FT , 9 STORY
PROP. BASE HT.= **68.81'**
PROP. BUILDING HT.= **88.53', 9 STORY**

Z.R.#23-662 (c) SETBACK REGULATION
NO LOWER THAN MIN. BASE HT. OR HIGHER THAN MAX. BASE HT. AT LEAST 15 FT. FROM STREET WALL. THE DEPTH OF MAY BE REDUCED BY 1' FOR EVERY FT THAT THE STREET WALL IS LOCATED BEYOND THE STREET LINE. PROPOSED STREET WALL IS SETBACK 6'. REDUCTION OF SETBACK 6'. THUS 15'-6'=9' MIN. SETBACK. PROPOSED SETBACK IS 9'. SETBACK STARTS AT 8TH FLOOR.

Z.R.#23-621 (c) DORMER REGULATION
ALLOWED BEYOND THE MAX. BASE HT. MAX. WIDTH NOT EXCEED 60% OF STREET WALL WIDTH. FOR EACH FT. ABOVE THE MAX. BASE HT. AGGREGATE WIDTH OF ALL DORMERS DECREASE BY 1%.
PROPOSED STREET WALL HT. IS 88.53' - 75' = 13.53 %, 60% -13.13%=46.47%, 46.47% X 89.67'= 41.67 FT. MAX. DORMER. PROP. IS 41.67 FT. (SEE DIAGRAM)

Z.R.# 26-41 STREET TREE PLANTING
REQ. STREET TREES: 1 PER 25' OF STREET FRONTAGE
90' FRONTAGE / 25 = 4 STREET TREES, 4 TREES WILL BE PAID TO TREE FUND FOR ONSITE AND OFF SITE PLANTINGS.

Z.R.# 23-132 BALCONIES IN R7A
1) PROJECT NOT MORE THAN 7 FT. PROPOSED 5 FT.
2) PARAPET NOT EXCEEDING 3'-8". PROP. GLASS RAILING OF 3'-6" HIGH.
3) HAVE AGGREGATE WITH NO EXCEEDING 50 FT. OF WIDTH AT THE LEVEL OF THE PLANE SURFACE OF THE BUILDING.
(SEE BALCONY CALCULATION BELOW)

PARKING REGULATION

Z.R.# 25-241 REQUIRED PARKING AS PER SEC. 25-23 ZR.= 30% OF TOTAL D.U.
PARKING SPACES REQ.=30 %X 42 (MARKET RATE) D.U.= **13 SPACES**

Z.R.# 25-251 INCOME-RESTRICTED HOUSING UNITS
WITHIN THE TRANSIT ZONE NO ACCESSORY OFF-STREET PARKING SPACES SHALL BE REQUIRED FOR INCOME-RESTRICTED HOUSING UNITS
TOTAL REQUIRED PARKING SPACES = 13 SPACES,
PROPOSED VOLUNTARY PARKING SPACES IS 23 .

ZR # 36-21 REQUIRED COMMERCIAL PARKING SPACE
REQUIRED = 1 / 400 SF. 363 SF. / 400 = 1 SPACE
WAIVED IF LESS THAN 25 SPACES AS PER ZR. 36-231

Z.R.# 25-811 REQUIRED BICYCLE PARKING SPACES.
RESIDENTIAL REQUIREMENT FOR BICYCLES IS 1 PER 2 D.U.
60 D.U./ 2 D.U.= 30 SPACES REQUIRED
PROVIDED 30 SPACES AT FIRST FLOOR AND CELLAR.

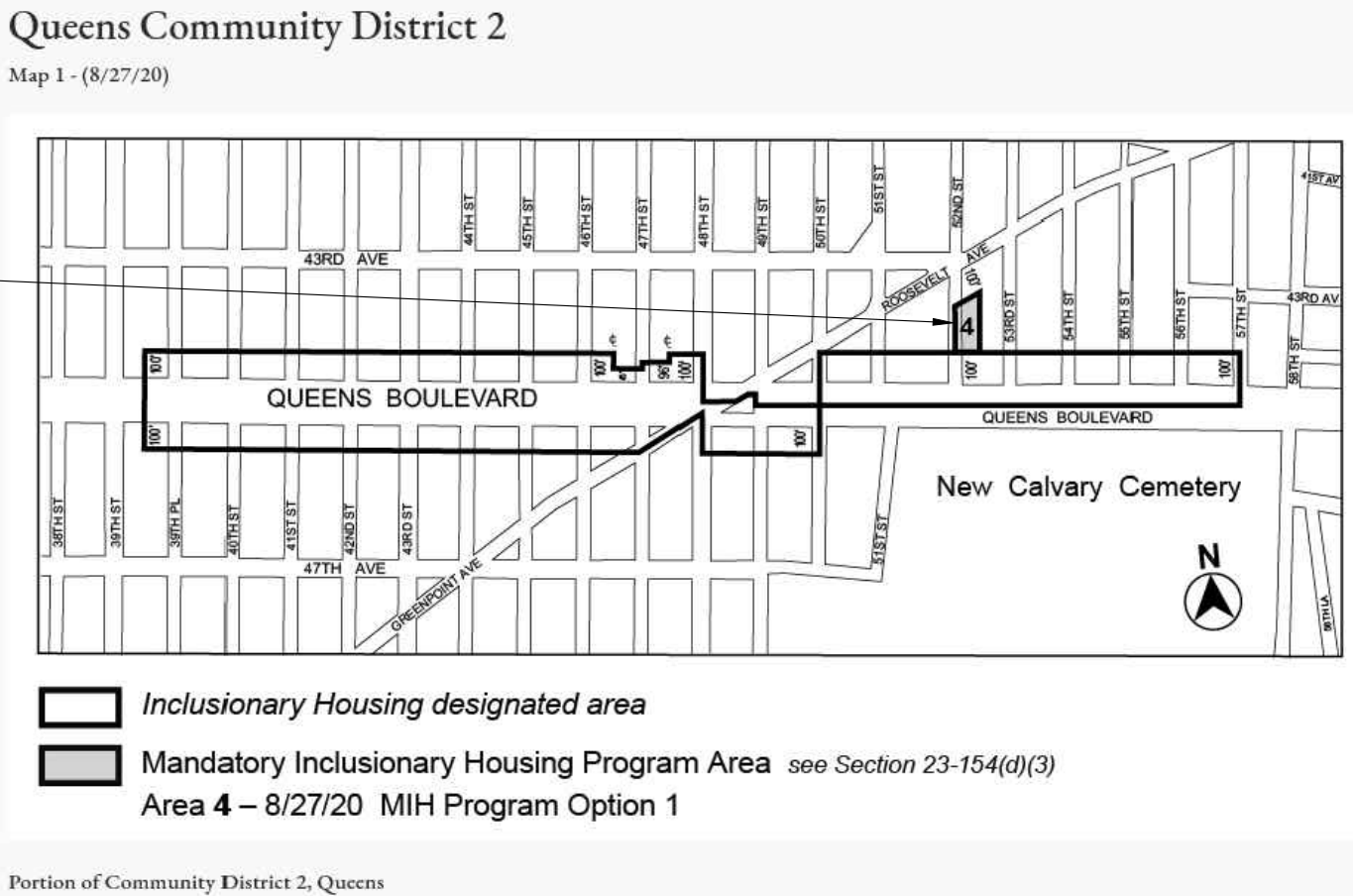
INCLUSIONARY HOUSING

Z.R.# 23-951 HEIGHT & SETBACK FOR COMPENSATED DEVELOPMENTS IN INCLUSIONARY HOUSING DESIGNATED AREAS
IN INCLUSIONARY HOUSING DESIGNATED AREAS, THE COMPENSATED DEVELOPMENT SHALL COMPLY WITH THE HEIGHT AND SETBACK REGULATIONS OF SECTIONS 23-66 OR 35-65 (HEIGHT AND SETBACK REQUIREMENTS FOR QUALITY HOUSING BUILDINGS) AS APPLICABLE.
PROPOSE HEIGHT & SEBACK COMPLY WITH 23-66.

Z.R.# 23-933 INCLUSIONARY HOUSING DESIGNATED AREAS AND MANDATORY INCLUSIONARY HOUSING AREAS
THE INCLUSIONARY HOUSING PROGRAM SHALL APPLY IN INCLUSIONARY HOUSING DESIGNATED AREAS AND MANDATORY INCLUSIONARY HOUSING AREAS .
INCLUSIONARY HOUSING DESIGNATED AREAS AND MANDATORY INCLUSIONARY HOUSING AREAS, ARE LISTED IN APPENDIX F.

THE PROPOSED BUILDING SITE IS LOCATED IN QUEENS COMMUNITY DISTRICT 2, PART OF MANDATORY INCLUSIONARY HOUSING PROGRAM AREA, AREA 4 MIH PROGRAM OPTION 1

MANDATORY INCLUSIONARY HOUSING MAP



LOCATION OF THE SITE

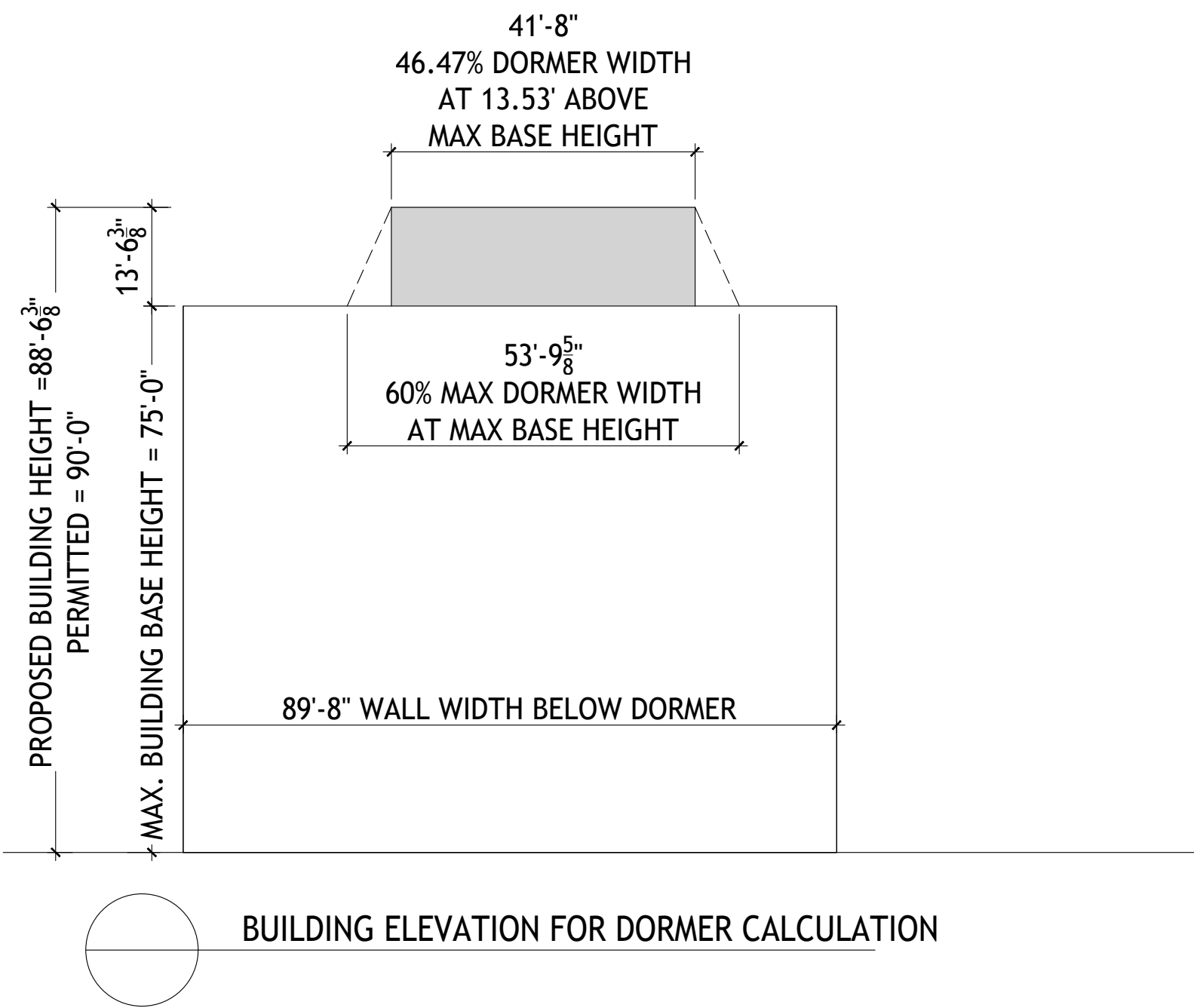
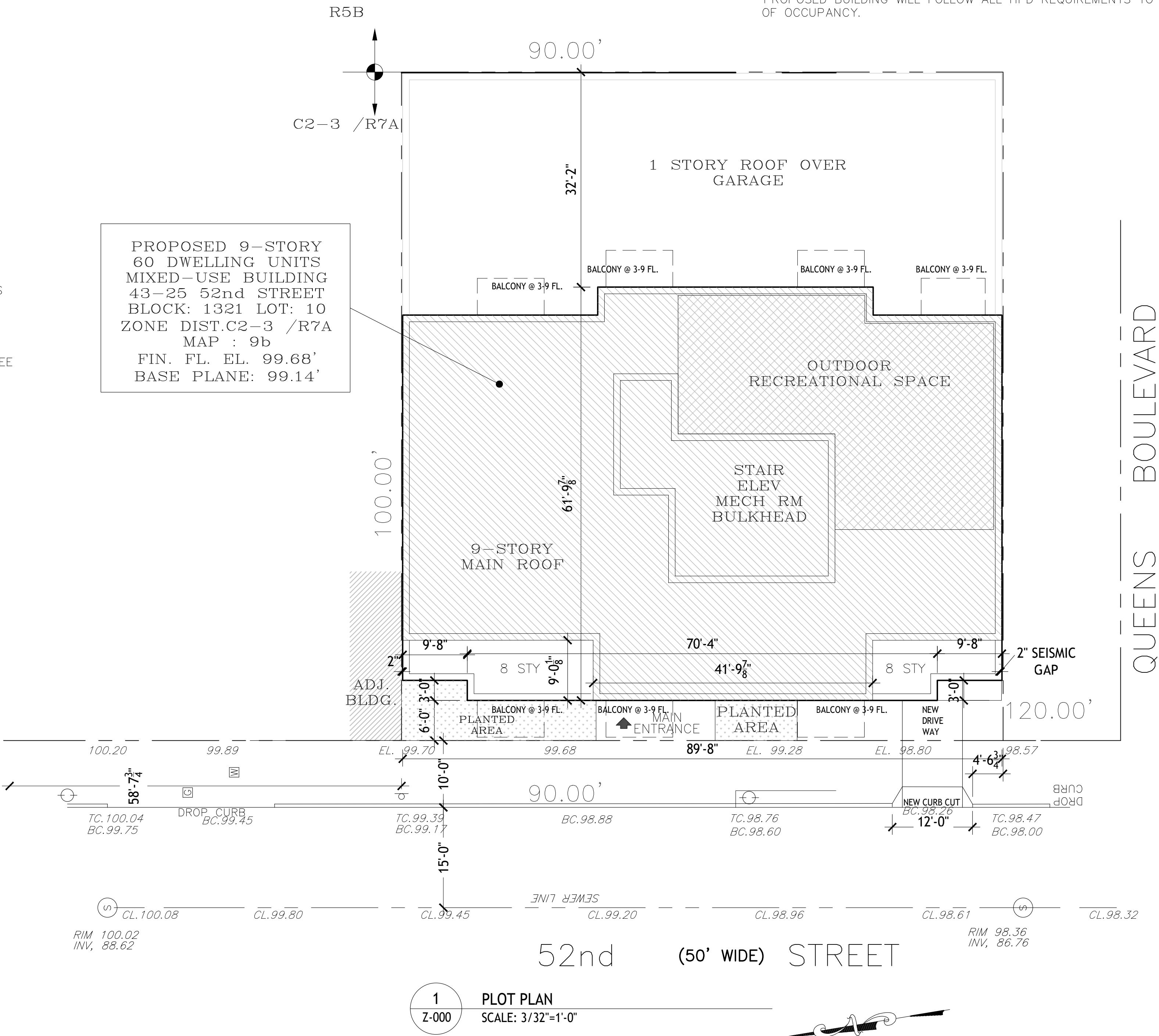
ZR.# 23-94 METHODS OF PROVIDING AFFORDABLE HOUSING

(A) AFFORDABLE HOUSING SHALL BE EITHER NEW CONSTRUCTION AFFORDABLE HOUSING OR A CONVERSION FROM NON-RESIDENTIAL TO RESIDENTIAL USE. COMPLY WITH SECTION 23-90.
PROPOSED BUILDING IS NEW CONSTRUCTION, WILL COMPLY WITH ZR 23-90.

(C) AFFORDABLE FLOOR AREA SHALL BE DETERMINED BASED UPON PLANS APPROVED BY DOB.
PROPOSED BUILDING FLOOR AREA FOR IH UNITS ARE CALCULATED BASED ON PLAN WITH DOB APPROVAL.

(E) AFFORDABLE HOUSING UNITS SHALL BE EITHER RENTAL AFFORDABLE HOUSING OR HOMEOWNERSHIP AFFORDABLE HOUSING.
PROPOSED BUILDING WILL BE RENTAL.

ZR.# 23-953 ADDITIONAL REQUIREMENTS FOR COMPENSATED DEVELOPMENTS AND MIH DEVELOPMENTS
(A) COMPENSATED DEVELOPMENT OR MIH DEVELOPMENT BUILDING PERMITS
(1) HPD MAY ISSUE A PERMIT NOTICE TO THE DEPARTMENT OF BUILDINGS AT ANY TIME ON OR AFTER THE REGULATORY AGREEMENT DATE.
(2) IF HPD DOES NOT RECEIVE CONFIRMATION THAT THE REGULATORY AGREEMENT HAS BEEN RECORDED WITHIN 45 DAYS AFTER THE LATER OF THE REGULATORY AGREEMENT DATE OR THE DATE UPON WHICH HPD AUTHORIZES THE RECORDING OF THE REGULATORY AGREEMENT, HPD SHALL SUSPEND OR REVOKE SUCH PERMIT NOTICE.
(B) COMPENSATED DEVELOPMENT OR MIH DEVELOPMENT CERTIFICATES OF OCCUPANCY
(1) THE DEPARTMENT OF BUILDINGS SHALL NOT ISSUE A TEMPORARY OR PERMANENT CERTIFICATE UNTIL HPD HAS ISSUED A COMPLETION NOTICE.
(2) HPD SHALL NOT ISSUE A COMPLETION NOTICE WITH RESPECT TO ANY PORTION OF ANY GENERATING SITE OR MIH SITE UNLESS:
(i) THE DEPARTMENT OF BUILDINGS HAS ISSUED TEMPORARY OR PERMANENT CERTIFICATES OF OCCUPANCY; OR
(ii) SITE CONTAINS VALID CERTIFICATE OF OCCUPANCY ON THE REGULATORY AGREEMENT DATE AND NO NEW TEMPORARY OR PERMANENT CERTIFICATE OF OCCUPANCY IS, HPD HAS DETERMINED THAT ALL RENOVATION AND REPAIR WORK HAS BEEN COMPLETED AND ALL OBLIGATIONS HAVE BEEN FULFILLED.
PROPOSED BUILDING WILL FOLLOW ALL HPD REQUIREMENTS TO OBTAIN CERTIFICATE OF OCCUPANCY.



PROJECT NAME:
4325 52 LLC

ARCHITECT:
Angelo Ng + Anthony Ng
ARCHITECTS STUDIO P.C.
61-10 182nd STREET, 2nd FL.
FRESH MEADOWS, NY 11365
TEL: 1718.457.1151
WWW.ArchitectsStudioNY.COM

Key Plan
Examiner Stamp

No Date Description
Issued/Revised
Project
9 STORY MULTI FAMILY

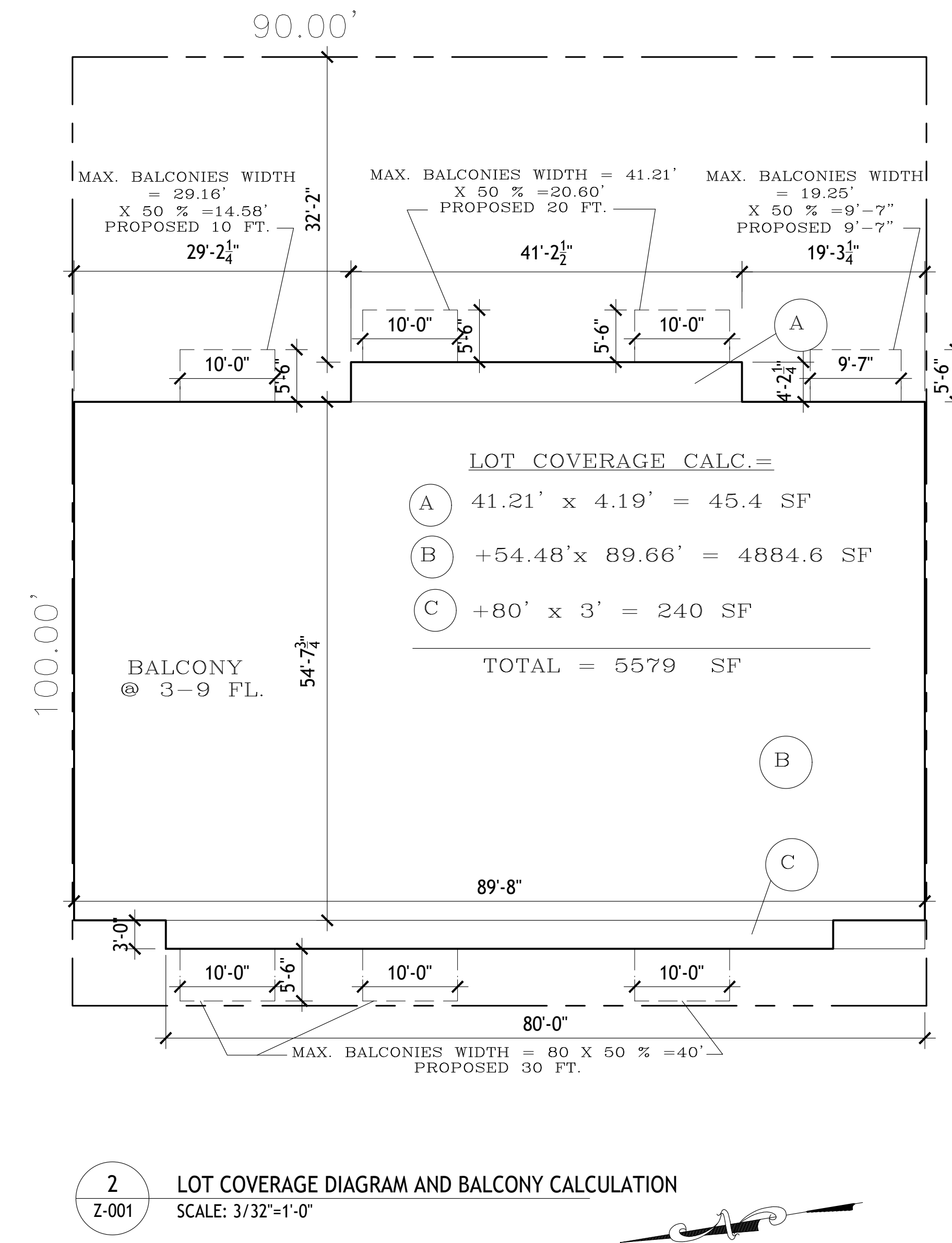
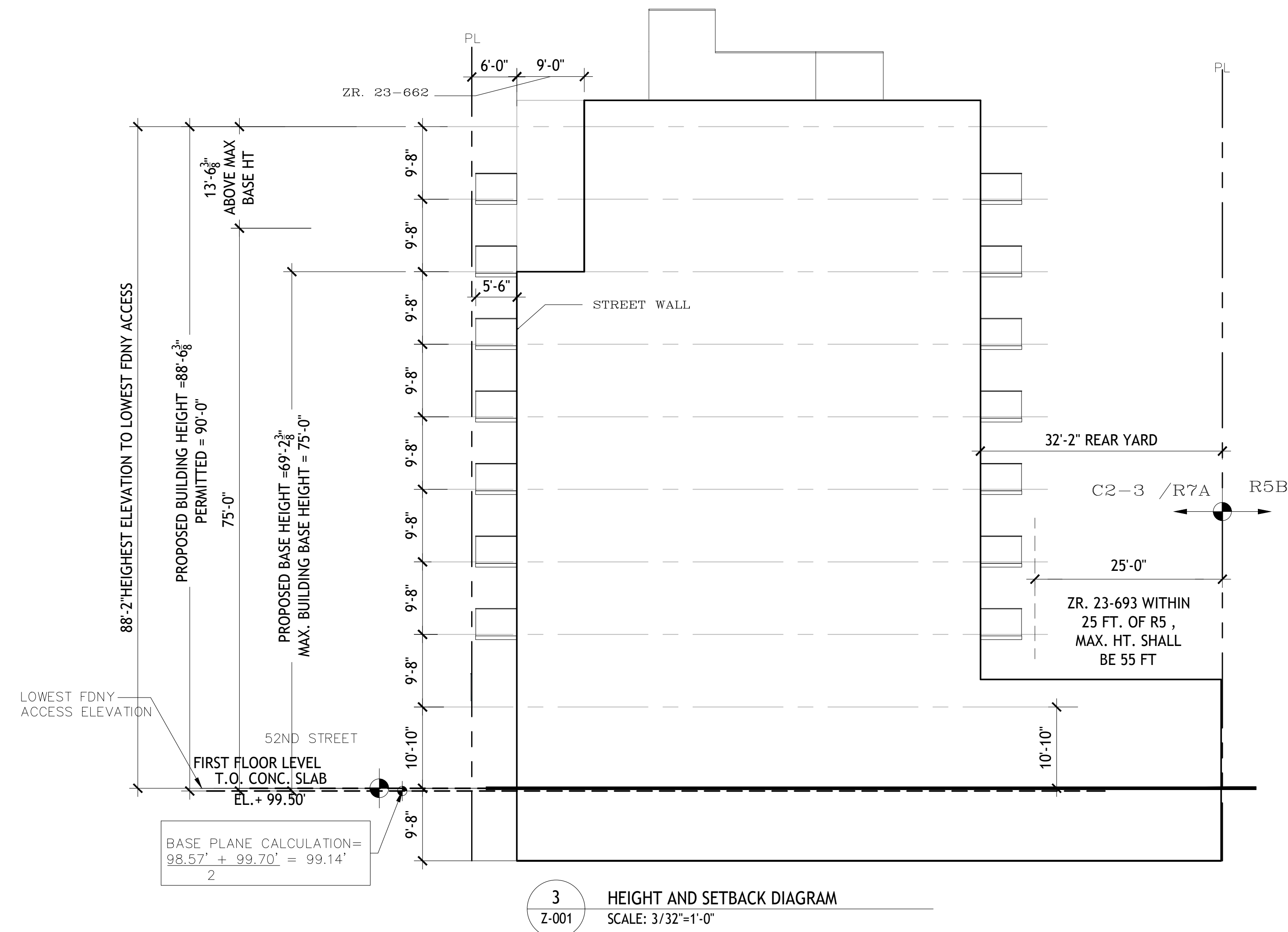
Drawing Title
**43-25 52ND STREET
QUEENS, NY. 11377**

ZONING ANALYSIS, PLOT PLAN

Architect Stamp
**REGISTERED ARCHITECT
ANGLO NG
STATE OF NEW YORK**

Sheet No. OF
Scale As Noted
Date 11-01-2022
Project No. 2230
Drawn By: AN/AY
Drawing No.
Z-000.00

DOB Sticker
Q00711760-11



F.A.R. BREAK DOWN											
FLOOR NUMBER	BUILDING CODE GROSS FLOOR AREA	OCCUPANCY GROUP	USER GROUP	DEDUCTIONS					ZONING FLOOR AREA	FAR	
				PL/ME	REFUSE	PARKING	CORRIDORS	TOTAL DEDUCTION		RESIDENTIAL	COMMERCIAL
CELLAR	8351.04	RESIDENTIAL	2B								
1ST	8392.8	COMMERCIAL	6A						362.85		0.04
		RESIDENTIAL	2A	26.46	12	5974.16	832.72	6845.34	1184.61	0.132	
2ND	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
3RD	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
4TH	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
5TH	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
6TH	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
7TH	5311.81	RESIDENTIAL	2A	73.33	12		168.83	254.16	5057.65	0.562	
8TH	4912.7	RESIDENTIAL	2A	52.6	12		168.83	233.43	4679.27	0.520	
9TH	4912.7	RESIDENTIAL	2A	52.6	12		168.83	233.43	4679.27	0.520	
TOTAL	58440.1			571.64			2183.36		40889.05	4.543	

AIR LEAKAGE NOTE:

THE AIR LEAKAGE OF WINDOW AND SLIDING OR SWING DOOR ASSEMBLIES THAT ARE PART OF THE BUILDING ENVELOPE SHALL BE DETERMINED IN ACCORDANCE WITH AAMA/WDMA/CSA 101/1.5.2/A440, OR NFRC 400 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER AND SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT. CURTAIN WALL AND STOREFRONT GLAZING SHOULD HAVE MAXIMUM AIR LEAKAGE LESS THAN 0.3 CFM/SF OF FENESTRATION AREA IN ACCORDANCE WITH ASTM E 283. IN HEATED STRUCTURES A CONTINUOUS AIR BARRIER SHALL BE INSTALLED BY SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. STAIR AND ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS INTEGRAL TO THE BUILDING ENVELOPE SHALL BE EQUIPPED WITH MINIMAL A CLASS I MOTORIZED, LEAKAGE RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER SF AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH AMCA 5000. RECESSED LIGHTINGS INSTALLED INSIDE CONDITIONED SPACE SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 1.57 PSF PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LIGHTINGS SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND INTERIOR WALL OR CEILING COVERING.

ENERGY CODE RELATED NOTE:

1. FEEDER CONNECTORS BRANCH SIZED FOR MAXIMUM DROP OF 3%.
2. CONTINUOUS AIR BARRIER IS WRAPPED, SEALED, CAULKED, GASKETED, AND/OR TAPED IN AN APPROVED MANNER.
3. MAXIMUM AIR LEAKAGE IS 0.40CFM/SF FOR THE BUILDING ENVELOPE. PROVIDE TESTING IN ACCORDANCE WITH SECTION R402.1.3 OF THE NYC E.C.C.
4. FACTORY-BUILT AND SITE-ASSEMBLED FENESTRATION AND DOORS ARE LABELED OR CERTIFIED AS MEETING AIR LEAKAGE REQUIREMENTS.
5. FENESTRATION AND DOOR PRODUCTS ARE LABELED, OR SIGNED AND DATED CERTIFICATE LISTING THE U-FACTOR, SHGC, VT, AND AIR LEAKAGE RATE HAS BEEN PROVIDED BY THE MANUFACTURER.
6. BELOW GRADE WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
7. EXTERIOR INSULATION PROTECTED AGAINST DAMAGE, SUNLIGHT, MOISTURE, WIND, LANDSCAPING AND EQUIPMENT MAINTENANCE ACTIVITIES.
8. INSULATION IN CONTACT WITH THE GROUND HAS LESS THAN 0.3% WATER ABSORPTION RATE PER ASTM C272.
9. ROOF, ABOVE GRADE WALL, AND FLOOR INSULATIONS INSTALLED PER MANUFACTURER'S INSTRUCTION.
10. BUILDING ENVELOPE INSULATION IS LABELED WITH R-VALUE OR INSULATION CERTIFICATE HAS BEEN PROVIDED LISTED R-VALUE AND OTHER RELEVANT DATA.
11. BUILDING ENVELOPE INSULATION EXTENDS OVER THE FULL AREA OF THE COMPONENT AT THE PROPOSED RATED R OR U VALUE.
12. INSULATION IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE INSIDE SURFACE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE.
13. RECESSED EQUIPMENT INSTALLED IN BUILDING ENVELOPE ASSEMBLIES DOES NOT COMPRESS THE ADJACENT INSULATION.
14. ATTICS AND MECHANICAL ROOMS HAVE INSULATION PROTECTED WHERE ADJACENT TO ATTIC OR EQUIPMENT ACCESS.
15. FOUNDATION VENTS DO NOT INTERFERE WITH INSULATION.
16. BALCONIES AND PARAPETS THAT INTERRUPT THE BUILDING THERMAL ENVELOPE SHOULD BE INSULATED WITH CONTINUOUS INSULATION WITH R-VALUE EQUIVALENT TO THE ADJACENT WALL, OR INCORPORATE R-3 THERMAL BREAK.

ELEVATOR NOTE:

1. LIGHTING-THE SUM OF THE LUMENS DIVIDED BY THE SUM OF THE WATTS SHALL BE NOT LESS THAN 35 LUMENS PER WATT.
2. VENTILATION POWER LIMITATION-VENTILATION FANS IN ELEVATORS THAT DO NOT HAVE THEIR OWN AC SYSTEM SHALL NOT CONSUME MORE THAN 0.33 WATTS/CFM AT THE MAXIMUM RATED SPEED OF FAN.
3. STANDBY MODE-CONTROLS SHALL BE PROVIDED THAT WILL DE-ENERGIZE VENTILATION FANS AND LIGHTING SYSTEMS WHEN THE ELEVATOR IS STOPPED, UNOCCUPIED AND WITH ITS DOORS CLOSED FOR OVER 15 MINS.

STAIR NOTE:

BC 1007.2 ACCESSIBLE MEANS OF EGRESS CAN BE PROVIDED BY INTERIOR EXIT STAIRWAYS.

STAIR WIDTH:

1. BC 1007.3 EXCEPTION 2, MIN. WIDTH OF ACCESSIBLE MEANS OF EGRESS SHALL BE 36" FOR BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
2. BC 1009.1 EXCEPTION 1.2 A STAIRWAY THAT PROVIDES EGRESS TO THE EXIT DISCHARGE SOLELY FOR R-2 OCCUPANCIES, PROVIDED BUILDING IS 125 FEET OR LESS IN HEIGHT, AND PROVIDED SUCH A STAIRWAY SERVES NOT MORE THAN 30 OCCUPANTS PER FLOOR.

BC 1009.4.2 EXCEPTION 5, N GROUP R-2 OCCUPANCIES:

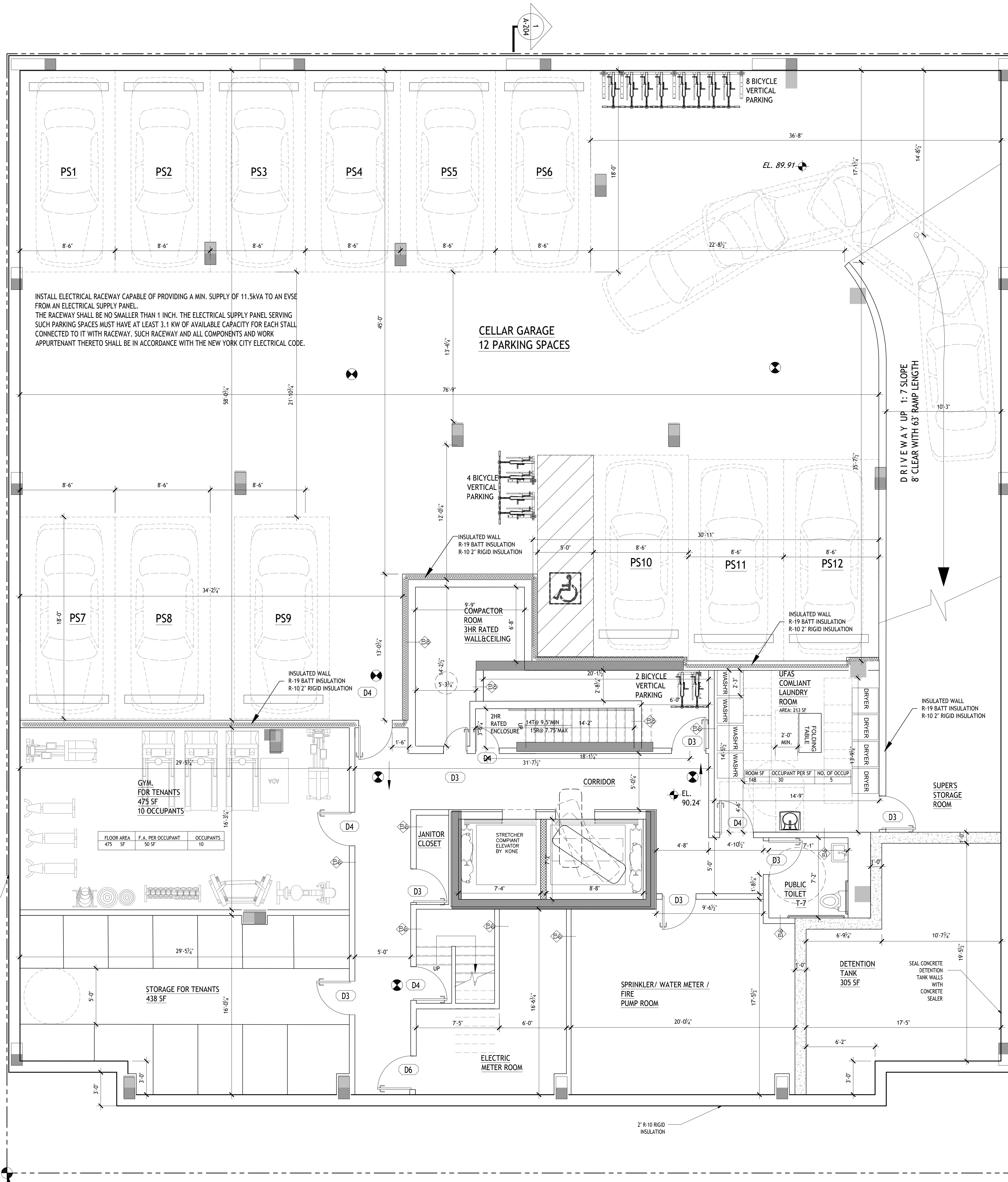
3. 5.1. SUM OF TREADS AND RISERS, THE SUM OF TWO RISERS PLUS ONE TREAD EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 24 INCHES NOR MORE THAN 25 1/2 INCHES.
4. 5.2. DIMENSIONS OF TREADS AND RISERS, THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 9 1/2 INCHES PLUS NOSING. TREADS MAY BE UNDERCUT A DISTANCE EQUAL TO THE NOSING. A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES.

REFUSE ROOM NOTE:

REFUSE ROOM DOOR OPENER PUSH PLATE WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY FOR COMMON USE BY RESIDENTS OF ACCESSIBLE UNITS. SEE A-002 FOR MORE INFO. PROVIDE OCCUPANCY SENSOR TO PREVENT DOOR FROM CLOSING UNEXPECTEDLY.

ELEVATOR NOTES:

1. ELEVATOR LUMENS DIVIDED BY WATTS SHALL BE NO LESS THAN 35 LM/W.
2. CAB VENTILATION FANS FOR ELEVATORS WITHOUT AIR CONDITIONING SHALL NOT CONSUME OVER 0.33 W/CFM AT MAXIMUM SPEED.
3. STANDBY MODE: WHEN STOPPED AND UNOCCUPIED WITH DOORS CLOSED FOR OVER 15 MINUTES, CAB INTERIOR LIGHTING AND VENTILATION SHALL BE DE-ENERGIZED UNTIL REQUIRED FOR OPERATION.



PROJECT
REFERENCE
POINT

1 CELLAR PLAN
A-100 SCALE: 1/4" = 1'-0"



PROJECT NAME:

4325 52 LLC

ARCHITECT:

Angelo Ng + Anthony Ng

ARCHITECTS STUDIO P.C.

61-10 182nd STREET, 2nd FL.
FRESH MEADOWS, NY 11365
TEL: 1.718.457.1151
WWW.ArchitectsStudioNY.COM

Key Plan

Examiner Stamp

No. Date Description

Issued/Revised

Project:

9 STORY MULTI FAMILY

43-25 52ND STREET
QUEENS, NY. 11377

Drawing Title

CELLAR PLAN

Architect Stamp



DOB Sinker

Sheet No. OF
Scale As Noted
Date 11-01-2022
Project No. 2230
Drawn By: AN/AY
Drawing No. A-0100.00

Q00711760-11

Architectural section drawing of a multi-story building. The drawing shows the following components:

- Floor Levels and Elevations (Left Side):**
 - ROOF LEVEL: T.O. CONC. SLAB, EL. + 186.69'
 - NINETH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 177.03'
 - EIGHTH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 167.36'
 - SEVENTH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 157.69'
 - SIXTH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 148.02'
 - FIFTH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 138.35'
 - FOURTH FLOOR LEVEL: T.O. CONC. SLAB, EL. + 128.68'
 - THIRD FLOOR LEVEL: T.O. CONC. SLAB, EL. + 119.01'
 - SECOND FLOOR LEVEL: T.O. CONC. SLAB, EL. + 109.34'
 - FIRST FLOOR LEVEL: T.O. CONC. SLAB, EL. + 99.68'
 - BASEPLANE: EL. + 99.14'
 - CELLAR FLOOR LEVEL: T.O. CONC. SLAB, EL. + 90.01'
- Room Labels and Dimensions:**
 - RECREATIONAL SPACE (between 9th and 10th floors)
 - APARTMENT (multiple units on floors 3 through 9)
 - CORRIDOR (multiple locations)
 - ELEVATOR SHAFT (multiple locations)
 - TERRACE (between 2nd and 3rd floors)
 - PARKING GARAGE (below 1st floor, containing car symbols)
 - COMMERCIAL SPACE (between 1st and 2nd floors)
 - UTILITY ROOMS (below 1st floor)
- Height Dimensions (Right Side):**
 - PROPOSED BASE HEIGHT = 69'-2"
 - MAX. BUILDING BASE HEIGHT = 75'-0"
 - PROPOSED BUILDING HEIGHT = 88'-6"
 - PERMITTED = 90'-0"
- Other Labels:**
 - 10'-11 1/8" (height dimension between 1st and 2nd floors)
 - 9'-8" (multiple height dimensions between floors)

PROPOSED BASE HEIGHT = 69'-2"
MAX. BUILDING BASE HEIGHT = 75'-0"
PROPOSED BUILDING HEIGHT = 88'-6"
PERMITTED = 90'-0"

1	BUILDING LONGITUDINAL ELEVATION
A-204	SCALE: 3/16"=1'-0"

Examiner Stamp

Project

Project 9 STORY MULTI FAMILY

43-25 52ND STREET
QUEENS, NY. 11377

Drawing Title

BUILDING LONGITUDINAL SECTION

Scale	
Date	
Project No.	2230
Drawn By:	
Drawing No.	

A-204.00

DOB Sticker

Q00711760-I1

PROJECT NAME:

4325 52 LLC

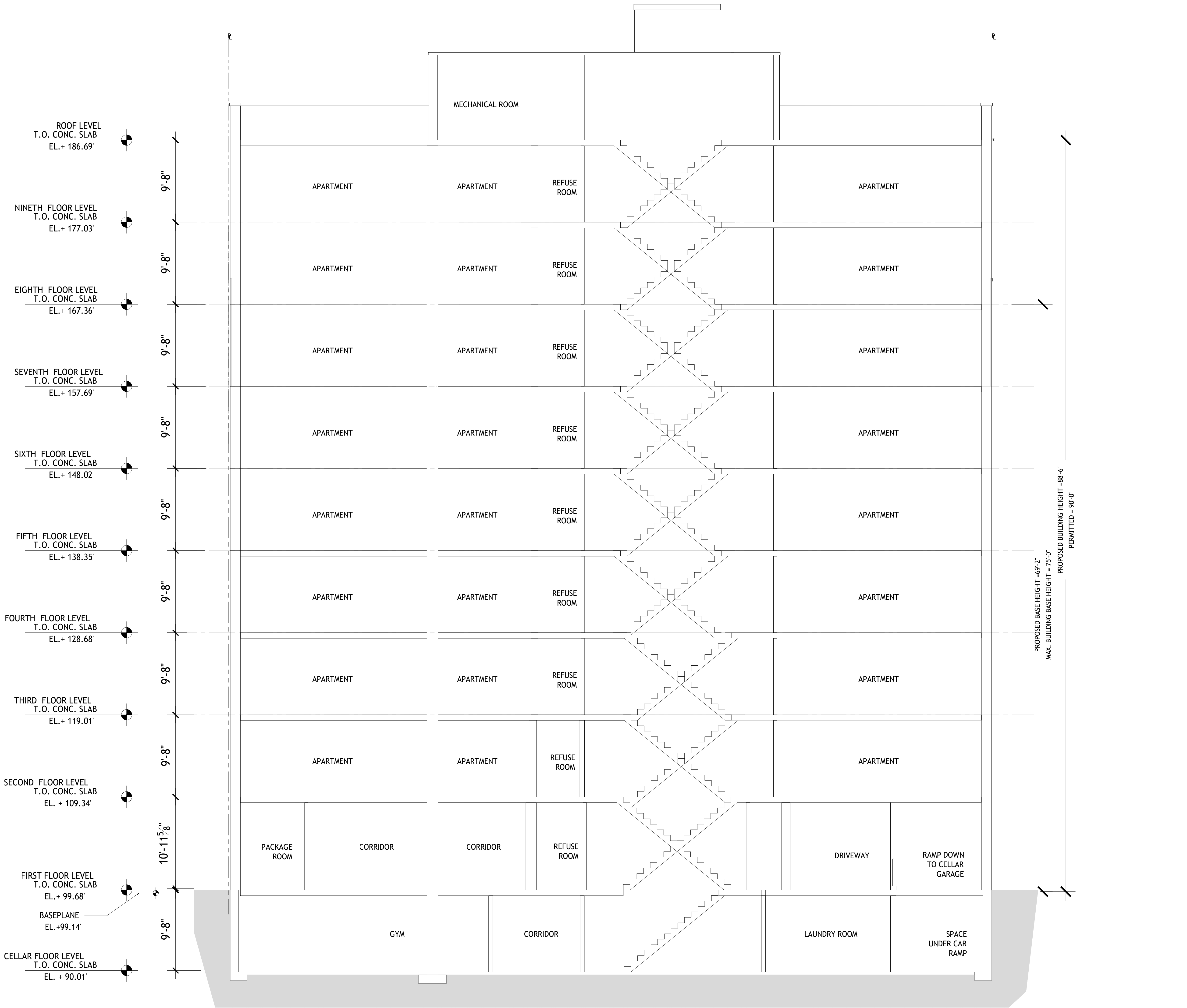
ARCHITECT:

Angelo Ng + Anthony Ng

ARCHITECTS STUDIO P.C.

61-10 182nd STREET, 2nd FL.
FRESH MEADOWS, NY 11365
TEL: 1-718-457-1151
WWW.ArchitectsStudioNY.COM

AIR LEAKAGE STATEMENT
THE AIR LEAKAGE OF WINDOW AND SLIDING OR SWING DOOR ASSEMBLIES THAT ARE PART OF THE BUILDING ENVELOPE SHALL BE DETERMINED IN ACCORDANCE WITH AAMA/WDMA/CSA 101/11.5.2/A440, OR NFRC 400 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER AND SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT.
CURTAIN WALL AND STOREFRONT GLAZING SHOULD HAVE MAXIMUM AIR LEAKAGE LESS THAN 0.3 CFM/SF OF FENESTRATION AREA IN ACCORDANCE WITH ASTM E 283.
IN HEATED STRUCTURES A CONTINUOUS AIR BARRIER SHALL BE INSTALLED BY SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION.
STAIR AND ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS INTEGRAL TO THE BUILDING ENVELOPE SHALL BE EQUIPPED WITH MINIMAL A CLASS I MOTORIZED, LEAKAGE RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER SF AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH AMCA 500D.
RECESSED LIGHTINGS INSTALLED INSIDE CONDITIONED SPACE SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 1.57 PSF PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LIGHTINGS SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND INTERIOR WALL OR CEILING COVERING.



Key Plan

Examiner: Stamp

No. Date Description

Project

9 STORY MULTI FAMILY

43-25 52ND STREET
QUEENS, NY. 11377

Drawing Title

BUILDING TRANSVERSE SECTION

Architect Stamp



DOB Sticker

Sheet No.

OF

Scale

Date

Project No.

2230

Drawn By:

Drawing No.

A-205.00

Q00711760-I1

Attachment D –Properties Environmental History

ATTACHMENT D

Section IV. Property's Environmental History

1. Environmental Reports

Summaries of the following previous environmental investigations, studies, and reports performed at the Site are included in this attachment. Electronic copies of each of these documents are included in the attached D Phase I and Phase II.

1. Phase I Environmental Site Assessment (ESA) prepared by JR Environmental Service (JRES), Inc. dated February 17, 2022 (ASTM E1527-13) for Lot 10;
2. Phase II Remedial Investigation prepared by Brussee Environmental Crop. (BEC) dated November, 2022 for the Site;

Phase I Environmental Site Assessment (ESA) prepared by JR Environmental Service, Inc. dated February 17, 2022

A Phase I Environmental Site Assessment was prepared by JR Environmental Service, Inc. dated February 17, 2022 . No recognized environmental conditions (RECs) were identified at the Lot 10. Phase I ESA provided by JRES included the Sanborn Maps for Lot 7. Lot 7 was developed at least by 1914 with a 2-story dwelling on the northern portion of the lot and 1-story shed structure on the eastern portion of the lot. By 1932 a single-story auto garage was developed on the southeastern portion of the site and the 2-story dwelling was no longer on site. The auto garage was on Site through at least 1951. By 1982, a single-story auto repair building was developed on the eastern portion of the Site and was present through at least 1989. The use of Lot 7 as an auto repair facility is a REC for the site.

Phase II Remedial Investigation prepared by Brussee Environmental Crop dated November, 2022

A Phase II Remedial Investigation prepared by Brussee Environmental Crop dated November, 2022.

The findings from this investigation are summarized below:

1. Elevation of the property is approximately 88 feet above mean sea level.
2. Depth to groundwater is present at 65-70 feet below grade
3. Regional groundwater flow is generally to the west-southwest towards Newtown Creek which is approximately 1.31 miles to the west-southwest of the site;
4. Depth to bedrock at the site is greater than 100 feet;
5. The stratigraphy of the site, from the surface down, consists primarily of asphalt and concrete covering to approximately 6 inches below grade across the Site. The asphalt and concrete were underlain with brown silt-sand mixtures with trace amounts of gravel and fine angular native stone to the terminal depth of 15 feet bgs. Deeper interval soils were

not investigated, nor logged. No evidence of staining, odors, or PID responses was detected in any of the recovered soil across the site;

6. Soil/fill samples were collected during the RI and the results were compared to NYSDEC Unrestricted Use Soil Cleanup Objectives (UUSCOs) and Restricted Residential Soil Cleanup Objectives (RSCOs) as presented in 6NYCRR Part 375-6.8 and CP51. Tetrachloroethene (1,800 µg/kg) exceed UUSCO in one shallow sample. 4,4'-DDT (3.4 µg/kg) was detected above UUSCO in one shallow sample. Copper (max. of 92.4 mg/kg) and zinc (max. of 640 mg/kg) were detected above UUSCOs, and Lead (max. of 455 mg/kg) were detected both UUSCO and RSCO. No PFAS or PCBs were detected in the soil samples.
7. Groundwater samples were not collected during the RI performed by BEC in October 2022 due to repeated refusal encountered at the Site at depths varying between 26 and 28 ft below grade.

Soil vapor results collected during the RI were compared to the compounds listed in Table 3.1 Air Guidance Values derived by the New York State Department of Health (NYSDOH) located in the NYSDOH Final Guidance for Evaluating Soil Vapor Intrusion, dated October 2006 and the revised NYSDOH Decision Matrices dated May 2017. The soil vapor results indicated moderate levels of petroleum-related VOCs (PVOCs) and moderate levels of chlorinated VOCs (CVOCs) and elevated levels of PCE in all six soil vapor samples. Three CVOCs, cis-1,2-dichloroethene, TCE and PCE, were detected above the mitigation level range established within the Air Guidance Values derived by the New York State Department of Health (NYSDOH).

2. Sampling Data

Soil:

A total of seven soil borings were installed at the Site during the remedial investigation (RI) performed by Brussee Environmental Crop dated October 21, 2022.

Soil samples collected were compared to 6NYCRR Part 375 Unrestricted Use Soil Cleanup Objectives (UUSCOs) (Track 1) and Restricted Residential Use Soil Cleanup Objectives (RSCOs) (Track 2). A site drawing showing the soil sample exceedance results compared to UUSCOs and RUSCOs is shown Attachment D. The analytical Lab results are included in this Attachment D.

Analytes detected above the Unrestricted Use SCOs are summarized below:

- Tetrachloroethene (PCE) was detected in one soil sample (SB-2 [0-2]) collected in the south-eastern portion of the Site at concentration exceeding the NYSDEC UUSCOs. The maximum PCE concentration detected in soil samples was 1.8 mg/kg, which exceeds the NYSDEC UUSCO of 1.3 mg/kg, but below the RSCOs of 19 mg/kg.
- One pesticide, 4,4'-DDT, was detected in one soil sample (SB-4 [0-2]) collected in the central portion of the Site at concentration exceeding the NYSDEC UUSCOs. Maximum 4,4'-DDT detection was 0.0034 mg/kg, slightly exceeding the above the UUSCOs of 0.0033 mg/kg but below the RSCOs of 7.9 mg/kg.

- Metals including copper, lead, and zinc were detected in one soil sample (SB-4 [0-2]) collected in the central portion of the Site at concentration exceeding the NYSDEC UUSCOs. Maximum detections vs. applicable UUSCOs are as follows: copper at 92.4 mg/kg vs. 50 mg/kg, lead at 455 mg/kg vs. 63 mg/kg, and zinc at 640 mg/kg vs. 109 mg/kg.

Soil Vapor:

A total of six soil vapor probes were installed at the Site (Figure 8) during the remedial investigation (RI) performed by Brussee Environmental Corp dated October 22, 2022. Soil vapor results collected during the RI were compared to the compounds listed in Table 3.1 Air Guidance Values derived by the New York State Department of Health (NYSDOH) located in the NYSDOH Final Guidance for Evaluating Soil Vapor Intrusion, dated October 2006 and the revised NYSDOH Decision Matrices dated May 2017. A site drawing showing the soil vapor sample exceedance results is provided in Attachment D. The analytical Lab results are included below in this Attachment D

Analytes detected at concentrations above the criteria are summarized below:

- Total concentrations of petroleum-related VOCs (BTEX compounds) within the seven soil vapor samples ranged from 147.96 $\mu\text{g}/\text{m}^3$ (SG3) to 640.3 $\mu\text{g}/\text{m}^3$ (SG5). Individual compound included: benzene (max. of 24.2 $\mu\text{g}/\text{m}^3$ in SG5), toluene (max. of 153 $\mu\text{g}/\text{m}^3$ in SG5), ethylbenzene (max. of 68.1 $\mu\text{g}/\text{m}^3$ in SG5), o-xylene (max. of 168 $\mu\text{g}/\text{m}^3$ in SG5), and m&p-xylene (max. of 227 $\mu\text{g}/\text{m}^3$ in SG5)
- Total concentrations of CVOCs within the six soil vapor samples ranged from 1,433.45 $\mu\text{g}/\text{m}^3$ (SG4) to 53,188.65 $\mu\text{g}/\text{m}^3$ (SG5). PCE, trichloroethene (TCE) and cis-1,2-dichloroethene (c12-DCE) were detected in each of the six soil vapor samples (SG-1 through SG-6) at concentrations significantly exceeding the New York State Department of Health (NYSDOH) mitigation levels. Maximum PCE concentration detected in soil vapor samples was 50,400 $\mu\text{g}/\text{m}^3$, which exceeds the NYSDOH mitigation level of 1,000 $\mu\text{g}/\text{m}^3$. Maximum TCE concentration detected in soil vapor samples was 342 $\mu\text{g}/\text{m}^3$ which exceeds the NYSDOH mitigation level of 60 $\mu\text{g}/\text{m}^3$. Maximum c12-DCE concentration detected in soil vapor samples was 249 $\mu\text{g}/\text{m}^3$ which exceeds the NYSDOH mitigation level of 60 $\mu\text{g}/\text{m}^3$.
- Other individual CVOCs detected included 1,1,1- trichloroethane (TCA) (max. of 2.22 $\mu\text{g}/\text{m}^3$ in SG5), 1,1-dichloroethene (max. of 16 $\mu\text{g}/\text{m}^3$ in SG5), and carbon tetrachloride (max. of 0.79 $\mu\text{g}/\text{m}^3$ in SG5)

Table 1 - Previous Property Owner Information
43-25 52nd Street
Woodside, NY

Block	Lot	Period	Owners	Relationship to Requestor	Owner Contact Address
1321	7	09/13/2022-Present	43-25 52 LLC	Requestor	43-25 52 nd Street, Woodside, NY 11377
1321	7	12/17/2012-09/13/2022	A&F REALITY MANAGMENT LLC	None	40-31 201 Street, Bayside, NY 11361
1321	7	1/2/1998-12/17/2012*	A&F RECREATIONAL VENTURES, Inc.	None	40-31 201 Street, Bayside, NY 11361
1321	7	1/23/1996-1/2/1998	Frank Fanzoni	None	40-31 201 Street, Bayside, NY 11361
1321	7	4/9/1975-1/23/1996	Augustus Franzoni	None	N/A
1321	7	10/8/1974-4/9/1975	Alfrado Richard A	None	105 Robbins Drive, East Williston, New York
1321	10	5/6/2022-Present	43-25 52 LLC	Requestor	43-25 52 nd Street, Woodside, NY 11377
1321	10	7/10/2020-5/6/2022	LRS FUNDING INC	None	6 Coachman's Court, Old Westbury, NY 11568
1321	10	12/20/2012-12/20/2012	THE GRABRIEL BLAU 2012 IRREVOCABLE TRUST	None	76-19 113 th Street, Forest Hill, NY 11375
1321	10	12/20/2012-7/10/2020	ALEXANDER BLAU	None	76-19 113 th Street, Forest Hill, NY 11375
1321	10	05/25/2010-12/20/2012	THE ALEXANDER BLAU REVOCABLE LIVING TRUST	None	76-19 113 th Street, Forest Hill, NY 11375
1321	10	1/24/1977-05/25/2010	VOJIECH BLAU	None	980 Madison Avenue, New York City, 10022
1321	10	6/3/1974-1/24/1977	43-23 WOODSIDE CORP	None	131 Beach 126 th Street, Belle Harbor, New York, 11694
1321	10	4/17/1973-6/3/1974	JACOB HUETHER & FRANCESCA HUETHER	None	3543 Barna Avenue Titusville, Florida 32780

*Deed file is not available

Table 2 - Previous Operator Information
43-25 52nd Street
Woodside, NY

Block	Lot	Address	Approximate Period	Operators	Relationship to Requestor
1321	7	43-27 52 nd Street, Woodside, NY 11377	1937-1957	Simonetti B	None
1321	7		1957-1962	J&H Service	None
1321	7		1962-1967	Abc Auto Service	None
1321	7		1967-1972	Midtown Auto Sales	None
1321	7		1972-1977	Alfaros Collision	None
1321	7		1977-2007	Alpha Collision	None
1321	7		2007-2017	Alpha Collision; Hayden Thomas	None
1321	10	43-25 52 nd Street, Woodside, NY 11377	1957-1962	Trade Gluing Corp; Madison Printcraft Co Inc	None
1321	10		1962-1967	Auto France Service Inc	None
1321	10		1967-1977	Woodside Storage Warehouse	None
1321	10		1977-1982	Flex-O-tex Drpy Cl; Alex Blau Interior; Eileens Attc Treas; House of Cummings	None
1321	10		1982-1987	Flex-O-tex Drpy Cl; Alex Blau Dcrtres and Mftg; Eileens Attc Treas; Furkleen Ltd Fur	None
1321	10		1987-1992	Flex-O-tex Drpy Cl; Alex Blau Dcrtres and Mftg; Eileens Attc Treas; Lydo Swimwear Ltd; Blinds Express	None
1321	10		1992-2002	Natale Monuments	None
1321	10		2002-2012	Church El Renuevo Christain	None
1321	10		2012-2018	Church El Renuevo Christian; Diaz Marisela; City Brothers Inc	None

Table 3 – Previous Investigation Soil Sample Results Data Summary
43-25 52nd Street
Woodside, NY

Analytes > Unrestricted Use Soil Cleanup Objectives (UU SCOs)	Detections > UU SCOs	Maximum Detection (ppm)	UU SCO (ppm)	Depth (ft bgs)
Tetrachloroethene	1	1.8	1.3	0-2
4,4' – DDT	1	0.0034	0.0033	0-2
Copper	1	92.4	50	0-2
Lead	1	455	63	0-2
Zinc	1	640	109	0-2

Table 4 – Previous Investigation Soil Vapor Sample Results Data Summary
43-25 52nd Street
Woodside, NY

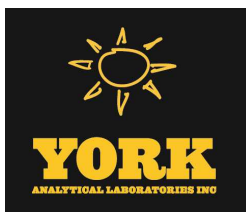
Analytes	Total Detections	Maximum Detection ($\mu\text{g}/\text{m}^3$)	Type	Depth (ft bgs)
1,1,1,2-Tetrachloroethane	3	6.61	Soil Vapor	10-12
1,1,1-Trichloroethane	2	2.22	Soil Vapor	10-12
1,1-Dichloroethene	3	16	Soil Vapor	10-12
1,4-Dichlorobenzene	3	2.88	Soil Vapor	10-12
Carbon Tetrachloride	4	0.79	Soil Vapor	10-12
Chloroform	6	64.4	Soil Vapor	10-12
Chloromethane	4	4.83	Soil Vapor	10-12
cis-1,2-Dichloroethene	6	249	Soil Vapor	10-12

Dichlorodifluoromethane	6	2.55	Soil Vapor	10-12
Tetrachloroethene	6	50,400	Soil Vapor	10-12
trans-1,2-Dichloroethene	3	16.5	Soil Vapor	10-12
Trichloroethene	6	342	Soil Vapor	10-12
Trichlorofluoromethane	6	2.44	Soil Vapor	10-12
Trichlorotrifluoroethane	2	1.56	Soil Vapor	10-12
Vinyl Chloride	1	0.34	Soil Vapor	10-12

Phase I report
(Provide Electronically)

Phase II report
(Provide Electronically)

Lab Report



Technical Report for Emerging Contaminants

prepared for:

Brussee Environmental Corp.
14 Evans Lane
Miller Place NY, 11764
Attention: Kevin Brussee

Report Date: 11/03/2022
Client Project ID: 43-25 52nd St
York Project (SDG) No.: 22J1264

CT Cert. No. PH-0723

New Jersey Cert. No. CT005 and NY037



New York Cert. Nos. 10854 and 12058

PA Cert. No. 68-04440

120 RESEARCH DRIVE
www.YORKLAB.com

STRATFORD, CT 06615
(203) 325-1371



132-02 89th AVENUE
FAX (203) 357-0166

RICHMOND HILL, NY 11418
ClientServices@yorklab.com

Report Date: 11/03/2022
Client Project ID: 43-25 52nd St
York Project (SDG) No.: 22J1264

Brussee Environmental Corp.
14 Evans Lane
Miller Place NY, 11764
Attention: Kevin Brussee

Purpose and Results

This report contains the analytical data for the sample(s) identified on the attached chain-of-custody received in our laboratory on October 25, 2022 and listed below. The project was identified as your project: **43-25 52nd St.**

The analyses were conducted utilizing appropriate EPA methods as detailed in the data summary tables.

All samples were received in proper condition meeting the customary acceptance requirements for environmental samples except those indicated under the Sample and Analysis Qualifiers section of this report.

All analyses met the method and laboratory standard operating procedure requirements except as indicated by any data flags, the meaning of which are explained in the Sample and Data Qualifiers Relating to This Work Order section of this report and case narrative if applicable.


Please contact Client Services at 203.325.1371 with any questions regarding this report or e-mail clientservices@yorklab.com.

<u>York Sample ID</u>	<u>Client Sample ID</u>	<u>Matrix</u>	<u>Date Collected</u>	<u>Date Received</u>
22J1264-01	SB4 (12-14)	Soil	10/21/2022	10/25/2022

General Notes for York Project (SDG) No.: 22J1264

1. The RLs and MDLs (Reporting Limit and Method Detection Limit respectively) reported are adjusted for any dilution necessary due to the levels of target and/or non-target analytes and matrix interference. The RL(REPORTING LIMIT) is based upon the lowest standard utilized for the calibration where applicable.
2. Samples are retained for a period of thirty days after submittal of report, unless other arrangements are made.
3. York's liability for the above data is limited to the dollar value paid to York for the referenced project.
4. This report shall not be reproduced without the written approval of York Analytical Laboratories, Inc.
5. All analyses conducted met method or Laboratory SOP requirements. See the Sample and Data Qualifiers Section for further information.
6. It is noted that no analyses reported herein were subcontracted to another laboratory, unless noted in the report.
7. This report reflects results that relate only to the samples submitted on the attached chain-of-custody form(s) received by York.
8. Analyses conducted at York Analytical Laboratories, Inc. Stratford, CT are indicated by NY Cert. No. 10854; those conducted at York Analytical Laboratories, Inc., Richmond Hill, NY are indicated by NY Cert. No. 12058.

Approved By:



Cassie L. Mosher
Laboratory Manager

Date: 11/03/2022





Sample Information

Client Sample ID: SB4 (12-14)

York Sample ID: 22J1264-01

York Project (SDG) No.

22J1264

Client Project ID

43-25 52nd St

Matrix

Soil

Collection Date/Time

October 21, 2022 8:20 am

Date Received

10/25/2022

PFAS, NYSDEC Target List

Log-in Notes:

Sample Notes:

Sample Prepared by Method: SPE PFAS Extraction-Soil-EPA 537m

CAS No.	Parameter	Result	Flag	Maximum Contaminant Level		Reported to LOQ	Reference Method	Date/Time Prep/Anal	Analyst
				MCL	Units				
375-73-5	* Perfluorobutanesulfonic acid (PFBS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
307-24-4	* Perfluorohexanoic acid (PFHxA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
375-85-9	* Perfluoroheptanoic acid (PFHpA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
355-46-4	* Perfluorohexanesulfonic acid (PFHxS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
335-67-1	* Perfluorooctanoic acid (PFOA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
1763-23-1	* Perfluorooctanesulfonic acid (PFOS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
375-95-1	* Perfluorononanoic acid (PFNA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
335-76-2	* Perfluorodecanoic acid (PFDA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
2058-94-8	* Perfluoroundecanoic acid (PFUnA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
307-55-1	* Perfluorododecanoic acid (PFDoA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
72629-94-8	* Perfluorotridecanoic acid (PFTrDA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
376-06-7	* Perfluorotetradecanoic acid (PFTA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
2355-31-9	* N-MeFOSAA	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
2991-50-6	* N-EtFOSAA	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
2706-90-3	* Perfluoropentanoic acid (PFPeA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
754-91-6	* Perfluoro-1-octanesulfonamide (FOSA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
375-92-8	* Perfluoro-1-heptanesulfonic acid (PFHpS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
335-77-3	* Perfluoro-1-decanesulfonic acid (PFDS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
27619-97-2	* 1H,1H,2H,2H-Perfluorooctanesulfonic acid (6:2 FTS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
39108-34-4	* 1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	
375-22-4	* Perfluoro-n-butanoic acid (PFBA)	ND		0	ug/kg dry	0.269	EPA 537m	10/29/2022 18:08	WEL
					Certifications:			11/03/2022 03:31	



Sample Information

Client Sample ID: SB4 (12-14)

York Sample ID: 22J1264-01

York Project (SDG) No.
22J1264

Client Project ID
43-25 52nd St

Matrix
Soil

Collection Date/Time
October 21, 2022 8:20 am

Date Received
10/25/2022

PFAS, NYSDEC Target List

Log-in Notes:

Sample Notes:

Sample Prepared by Method: SPE PFAS Extraction-Soil-EPA 537m

CAS No.	Parameter	Result	Flag	Maximum Contaminant Level		Units	Reported to LOQ	Reference Method	Date/Time Prep/Anal	Analyst
				MCL						
Surrogate Recoveries		Result		Acceptance Range						
	Surrogate: M3PFBS	68.4 %		25-150						
	Surrogate: M5PFHxA	73.4 %		25-150						
	Surrogate: M4PFHpA	90.4 %		25-150						
	Surrogate: M3PFHxS	73.7 %		25-150						
	Surrogate: Perfluoro-n-[13C8]octanoic acid (M8PFOA)	75.4 %		25-150						
	Surrogate: M6PFDA	68.1 %		25-150						
	Surrogate: M7PFUdA	63.8 %		25-150						
	Surrogate: Perfluoro-n-[1,2-13C2]dodecanoic acid (MPFDoA)	59.5 %		25-150						
	Surrogate: M2PFTeDA	41.1 %		10-150						
	Surrogate: Perfluoro-n-[13C4]butanoic acid (MPFBA)	82.3 %		25-150						
	Surrogate: Perfluoro-1-[13C8]octanesulfonic acid (M8PFOS)	66.9 %		25-150						
	Surrogate: Perfluoro-n-[13C5]pentanoic acid (M5PFPeA)	78.7 %		25-150						
	Surrogate: Perfluoro-1-[13C8]octanesulfonamide (M8FOSA)	58.3 %		10-150						
	Surrogate: d3-N-MeFOSAA	59.9 %		25-150						
	Surrogate: d5-N-EtFOSAA	58.1 %		25-150						
	Surrogate: M2-6:2 FTS	80.8 %		25-200						
	Surrogate: M2-8:2 FTS	156 %		25-200						
	Surrogate: M9PFNA	80.6 %		25-150						

Total Solids

Log-in Notes:

Sample Notes:

Sample Prepared by Method: % Solids Prep

CAS No.	Parameter	Result	Flag	Maximum Contaminant Level		Units	Reported to LOQ	Reference Method	Date/Time Prep/Anal	Analyst
				MCL						
solids	* % Solids	92.5		100		%	0.100	SM 2540G	11/01/2022 14:12	YR
						Certifications:	CTDOH-PH-0723		11/02/2022 14:09	



Analytical Batch Summary

Batch ID: BJ21753 **Preparation Method:** SPE PFAS Extraction-Soil-EPA 537m **Prepared By:** ESJ

YORK Sample ID	Client Sample ID	Preparation Date
22J1264-01	SB4 (12-14)	10/29/22
BJ21753-BLK1	Blank	10/29/22
BJ21753-BS1	LCS	10/29/22
BJ21753-MS1	Matrix Spike	10/29/22
BJ21753-MSD1	Matrix Spike Dup	10/29/22

Batch ID: BK20118 **Preparation Method:** % Solids Prep **Prepared By:** YR

YORK Sample ID	Client Sample ID	Preparation Date
22J1264-01	SB4 (12-14)	11/01/22
BK20118-DUP1	Duplicate	11/02/22



PFAS Target compounds by LC/MS-MS - Quality Control Data

York Analytical Laboratories, Inc. - Stratford

Analyte	Result	Reporting Limit	Units	Spike Level	Source* Result	%REC	%REC Limits	Flag	RPD	RPD Limit	Flag
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Batch BJ21753 - SPE PFAS Extraction-Soil-EPA 537m

Blank (BJ21753-BLK1)

Prepared: 10/29/2022 Analyzed: 11/02/2022

Perfluorobutanesulfonic acid (PFBS)	ND	0.238	ug/kg wet								
Perfluorohexanoic acid (PFHxA)	ND	0.238	"								
Perfluoroheptanoic acid (PFHpA)	ND	0.238	"								
Perfluorohexanesulfonic acid (PFHxS)	ND	0.238	"								
Perfluorooctanoic acid (PFOA)	ND	0.238	"								
Perfluorooctanesulfonic acid (PFOS)	ND	0.238	"								
Perfluorononanoic acid (PFNA)	ND	0.238	"								
Perfluorodecanoic acid (PFDA)	ND	0.238	"								
Perfluoroundecanoic acid (PFUnA)	ND	0.238	"								
Perfluorododecanoic acid (PFDoA)	ND	0.238	"								
Perfluorotridecanoic acid (PFTriDA)	ND	0.238	"								
Perfluorotetradecanoic acid (PFTA)	ND	0.238	"								
N-MeFOSAA	ND	0.238	"								
N-EtFOSAA	ND	0.238	"								
Perfluoropentanoic acid (PFPeA)	ND	0.238	"								
Perfluoro-1-octanesulfonamide (FOSA)	ND	0.238	"								
Perfluoro-1-heptanesulfonic acid (PFHpS)	ND	0.238	"								
Perfluoro-1-decanesulfonic acid (PFDS)	ND	0.238	"								
1H,1H,2H,2H-Perfluorooctanesulfonic acid (6:2 FTS)	ND	0.238	"								
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS)	ND	0.238	"								
Perfluoro-n-butanoic acid (PFBA)	ND	0.238	"								
Surrogate: M3PFBS	3.33		"	4.43		75.2	25-150				
Surrogate: M5PFHxA	3.58		"	4.77		75.1	25-150				
Surrogate: M4PFHpA	4.68		"	4.77		98.2	25-150				
Surrogate: M3PFHxS	3.64		"	4.51		80.6	25-150				
Surrogate: Perfluoro-n-[13C8]octanoic acid (M8PFOA)	3.47		"	4.77		72.8	25-150				
Surrogate: M6PFDA	3.72		"	4.77		78.0	25-150				
Surrogate: M7PFUDa	3.40		"	4.77		71.3	25-150				
Surrogate: Perfluoro-n-[1,2-13C2]dodecanoic acid (MPFDoA)	3.41		"	4.77		71.6	25-150				
Surrogate: M2PFTeDA	2.05		"	4.77		43.1	10-150				
Surrogate: Perfluoro-n-[13C4]butanoic acid (MPFBA)	3.55		"	4.77		74.5	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonic acid (M8PFOS)	3.58		"	4.56		78.4	25-150				
Surrogate: Perfluoro-n-[13C5]pentanoic acid (M5PFPeA)	3.58		"	4.77		75.1	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonamide (M8FOSA)	3.25		"	4.77		68.2	10-150				
Surrogate: d3-N-MeFOSAA	3.18		"	4.77		66.6	25-150				
Surrogate: d5-N-EtFOSAA	3.07		"	4.77		64.3	25-150				
Surrogate: M2-6:2 FTS	4.92		"	4.52		109	25-200				
Surrogate: M2-8:2 FTS	7.51		"	4.57		164	25-200				
Surrogate: M9PFNA	3.90		"	4.77		81.8	25-150				



PFAS Target compounds by LC/MS-MS - Quality Control Data

York Analytical Laboratories, Inc. - Stratford

Analyte	Result	Reporting Limit	Units	Spike Level	Source* Result	%REC	%REC Limits	Flag	RPD	RPD Limit	Flag
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Batch BJ21753 - SPE PFAS Extraction-Soil-EPA 537m

LCS (BJ21753-BS1)

Prepared: 10/29/2022 Analyzed: 11/02/2022

Perfluorobutanesulfonic acid (PFBS)	4.04	0.230	ug/kg wet	4.06		99.4	50-130				
Perfluorohexanoic acid (PFHxA)	4.94	0.230	"	4.59		108	50-130				
Perfluoroheptanoic acid (PFHpA)	3.99	0.230	"	4.59		86.9	50-130				
Perfluorohexanesulfonic acid (PFHxS)	4.80	0.230	"	4.18		115	50-130				
Perfluorooctanoic acid (PFOA)	4.44	0.230	"	4.59		96.8	50-130				
Perfluorooctanesulfonic acid (PFOS)	4.01	0.230	"	4.25		94.5	50-130				
Perfluorononanoic acid (PFNA)	4.71	0.230	"	4.59		103	50-130				
Perfluorodecanoic acid (PFDA)	4.70	0.230	"	4.59		102	50-130				
Perfluoroundecanoic acid (PFUnA)	4.61	0.230	"	4.59		101	50-130				
Perfluorododecanoic acid (PFDoA)	4.40	0.230	"	4.59		95.9	50-130				
Perfluorotridecanoic acid (PFTriDA)	6.24	0.230	"	4.59		136	50-130	High Bias			
Perfluorotetradecanoic acid (PFTA)	4.75	0.230	"	4.59		104	50-130				
N-MeFOSAA	3.98	0.230	"	4.59		86.6	50-130				
N-EtFOSAA	4.86	0.230	"	4.59		106	50-130				
Perfluoropentanoic acid (PFPeA)	4.77	0.230	"	4.59		104	50-130				
Perfluoro-1-octanesulfonamide (FOSA)	4.80	0.230	"	4.59		105	50-130				
Perfluoro-1-heptanesulfonic acid (PFHpS)	4.65	0.230	"	4.38		106	50-130				
Perfluoro-1-decanesulfonic acid (PFDS)	3.10	0.230	"	4.43		69.9	50-130				
1H,1H,2H,2H-Perfluorooctanesulfonic acid (6:2 FTS)	5.66	0.230	"	4.36		130	50-200				
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS)	4.33	0.230	"	4.41		98.2	50-200				
Perfluoro-n-butanoic acid (PFBA)	5.08	0.230	"	4.59		111	50-130				
Surrogate: M3PFBS	3.25		"	4.26		76.1	25-150				
Surrogate: M5PFHxA	3.37		"	4.59		73.4	25-150				
Surrogate: M4PFHpA	4.35		"	4.59		94.7	25-150				
Surrogate: M3PFHxS	3.27		"	4.34		75.4	25-150				
Surrogate: Perfluoro-n-[13C8]octanoic acid (M8PFOA)	3.56		"	4.59		77.7	25-150				
Surrogate: M6PFDA	3.54		"	4.59		77.1	25-150				
Surrogate: M7PFUdA	3.30		"	4.59		72.0	25-150				
Surrogate: Perfluoro-n-[1,2-13C2]dodecanoic acid (MPFDoA)	3.17		"	4.59		69.0	25-150				
Surrogate: M2PFTeDA	2.29		"	4.59		50.0	10-150				
Surrogate: Perfluoro-n-[13C4]butanoic acid (MPFBA)	3.47		"	4.59		75.7	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonic acid (M8PFOS)	3.60		"	4.39		81.9	25-150				
Surrogate: Perfluoro-n-[13C5]pentanoic acid (M5PFPeA)	3.26		"	4.59		71.0	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonamide (M8FOSA)	2.35		"	4.59		51.2	10-150				
Surrogate: d3-N-MeFOSAA	3.22		"	4.59		70.1	25-150				
Surrogate: d5-N-EtFOSAA	2.75		"	4.59		59.8	25-150				
Surrogate: M2-6:2 FTS	4.30		"	4.36		98.7	25-200				
Surrogate: M2-8:2 FTS	7.35		"	4.40		167	25-200				
Surrogate: M9PFNA	3.58		"	4.59		77.9	25-150				



PFAS Target compounds by LC/MS-MS - Quality Control Data

York Analytical Laboratories, Inc. - Stratford

Analyte	Result	Reporting Limit	Units	Spike Level	Source* Result	%REC	%REC Limits	Flag	RPD	RPD Limit	Flag
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Batch BJ21753 - SPE PFAS Extraction-Soil-EPA 537m

Matrix Spike (BJ21753-MS1)		*Source sample: 22J1256-03 (Matrix Spike)						Prepared: 10/29/2022 Analyzed: 11/03/2022			
Perfluorobutanesulfonic acid (PFBS)	5.14	0.293	ug/kg dry	5.19	ND	99.0	25-150				
Perfluorohexanoic acid (PFHxA)	6.28	0.293	"	5.86	ND	107	25-150				
Perfluoroheptanoic acid (PFHpA)	6.28	0.293	"	5.86	ND	107	25-150				
Perfluorohexanesulfonic acid (PFHxS)	5.31	0.293	"	5.33	ND	99.5	25-150				
Perfluorooctanoic acid (PFOA)	6.15	0.293	"	5.86	ND	105	25-150				
Perfluorooctanesulfonic acid (PFOS)	5.88	0.293	"	5.42	ND	108	25-150				
Perfluorononanoic acid (PFNA)	5.41	0.293	"	5.86	ND	92.3	25-150				
Perfluorodecanoic acid (PFDA)	6.63	0.293	"	5.86	ND	113	25-150				
Perfluoroundecanoic acid (PFUnA)	5.83	0.293	"	5.86	ND	99.5	25-150				
Perfluorododecanoic acid (PFDoA)	5.96	0.293	"	5.86	ND	102	25-150				
Perfluorotridecanoic acid (PFTriDA)	8.92	0.293	"	5.86	ND	152	25-150	High Bias			
Perfluorotetradecanoic acid (PFTA)	5.86	0.293	"	5.86	ND	100	25-150				
N-MeFOSAA	5.54	0.293	"	5.86	ND	94.5	25-150				
N-EtFOSAA	7.03	0.293	"	5.86	ND	120	25-150				
Perfluoropentanoic acid (PFPeA)	5.94	0.293	"	5.86	ND	101	25-150				
Perfluoro-1-octanesulfonamide (FOSA)	5.44	0.293	"	5.86	ND	92.8	25-150				
Perfluoro-1-heptanesulfonic acid (PFHpS)	6.36	0.293	"	5.60	ND	114	25-150				
Perfluoro-1-decanesulfonic acid (PFDS)	4.78	0.293	"	5.65	ND	84.6	25-150				
1H,1H,2H,2H-Perfluorooctanesulfonic acid (6:2 FTS)	6.65	0.293	"	5.57	ND	119	25-200				
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS)	6.06	0.293	"	5.63	ND	108	25-200				
Perfluoro-n-butanoic acid (PFBA)	6.13	0.293	"	5.86	ND	105	25-150				
Surrogate: M3PFBS	3.51		"	5.44		64.4	25-150				
Surrogate: M5PFHxA	3.77		"	5.86		64.3	25-150				
Surrogate: M4PFHpA	3.89		"	5.86		66.5	25-150				
Surrogate: M3PFHxS	3.89		"	5.54		70.2	25-150				
Surrogate: Perfluoro-n-[13C8]octanoic acid (M8PFOA)	3.57		"	5.86		60.9	25-150				
Surrogate: M6PFDA	2.88		"	5.86		49.2	25-150				
Surrogate: M7PFUdA	2.86		"	5.86		48.9	25-150				
Surrogate: Perfluoro-n-[1,2-13C2]dodecanoic acid (MPFDoA)	3.01		"	5.86		51.4	25-150				
Surrogate: M2PFTeDA	2.09		"	5.86		35.7	10-150				
Surrogate: Perfluoro-n-[13C4]butanoic acid (MPFBA)	3.68		"	5.86		62.7	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonic acid (M8PFOS)	2.99		"	5.61		53.2	25-150				
Surrogate: Perfluoro-n-[13C5]pentanoic acid (M5PFPeA)	3.49		"	5.86		59.6	25-150				
Surrogate: Perfluoro-1-[13C8]octanesulfonamide (M8FOSA)	2.50		"	5.86		42.7	10-150				
Surrogate: d3-N-MeFOSAA	2.60		"	5.86		44.4	25-150				
Surrogate: d5-N-EtFOSAA	2.16		"	5.86		36.8	25-150				
Surrogate: M2-6:2 FTS	8.25		"	5.56		148	25-200				
Surrogate: M2-8:2 FTS	7.87		"	5.61		140	25-200				
Surrogate: M9PFNA	3.62		"	5.86		61.8	25-150				



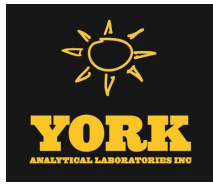
PFAS Target compounds by LC/MS-MS - Quality Control Data

York Analytical Laboratories, Inc. - Stratford

Analyte	Result	Reporting Limit	Units	Spike Level	Source* Result	%REC	%REC Limits	Flag	RPD	RPD Limit	Flag
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Batch BJ21753 - SPE PFAS Extraction-Soil-EPA 537m

Matrix Spike Dup (BJ21753-MSD1)	*Source sample: 22J1256-03 (Matrix Spike Dup)						Prepared: 10/29/2022 Analyzed: 11/03/2022				
Perfluorobutanesulfonic acid (PFBS)	5.31	0.289	ug/kg dry	5.11	ND	104	25-150		3.42	35	
Perfluorohexanoic acid (PFHxA)	6.24	0.289	"	5.78	ND	108	25-150		0.581	35	
Perfluoroheptanoic acid (PFHpA)	4.94	0.289	"	5.78	ND	85.5	25-150		23.9	35	
Perfluorohexanesulfonic acid (PFHxS)	5.33	0.289	"	5.26	ND	101	25-150		0.483	35	
Perfluorooctanoic acid (PFOA)	6.33	0.289	"	5.78	ND	109	25-150		2.81	35	
Perfluorooctanesulfonic acid (PFOS)	7.00	0.289	"	5.34	ND	131	25-150		17.4	35	
Perfluorononanoic acid (PFNA)	5.96	0.289	"	5.78	ND	103	25-150		9.69	35	
Perfluorodecanoic acid (PFDA)	6.16	0.289	"	5.78	ND	107	25-150		7.40	35	
Perfluoroundecanoic acid (PFUnA)	5.75	0.289	"	5.78	ND	99.5	25-150		1.41	35	
Perfluorododecanoic acid (PFDoA)	5.40	0.289	"	5.78	ND	93.4	25-150		9.87	35	
Perfluorotridecanoic acid (PFTriDA)	7.35	0.289	"	5.78	ND	127	25-150		19.3	35	
Perfluorotetradecanoic acid (PFTA)	5.58	0.289	"	5.78	ND	96.6	25-150		4.92	35	
N-MeFOSAA	5.31	0.289	"	5.78	ND	91.9	25-150		4.25	35	
N-EtFOSAA	5.53	0.289	"	5.78	ND	95.6	25-150		23.9	35	
Perfluoropentanoic acid (PFPeA)	5.46	0.289	"	5.78	ND	94.5	25-150		8.45	35	
Perfluoro-1-octanesulfonamide (FOSA)	5.75	0.289	"	5.78	ND	99.5	25-150		5.56	35	
Perfluoro-1-heptanesulfonic acid (PFHpS)	7.45	0.289	"	5.52	ND	135	25-150		15.7	35	
Perfluoro-1-decanesulfonic acid (PFDS)	4.41	0.289	"	5.58	ND	79.0	25-150		8.18	35	
1H,1H,2H,2H-Perfluorooctanesulfonic acid (6:2 FTS)	8.40	0.289	"	5.49	ND	153	25-200		23.3	35	
1H,1H,2H,2H-Perfluorodecanesulfonic acid (8:2 FTS)	5.46	0.289	"	5.55	ND	98.4	25-200		10.5	35	
Perfluoro-n-butanoic acid (PFBA)	6.12	0.289	"	5.78	ND	106	25-150		0.165	35	
<i>Surrogate: M3PFBS</i>	3.71		"	5.37		69.2	25-150				
<i>Surrogate: M5PFHxA</i>	4.17		"	5.78		72.1	25-150				
<i>Surrogate: M4PFHpA</i>	4.94		"	5.78		85.5	25-150				
<i>Surrogate: M3PFHxS</i>	4.37		"	5.47		79.9	25-150				
<i>Surrogate: Perfluoro-n-[13C8]octanoic acid (M8PFOA)</i>	3.99		"	5.78		69.0	25-150				
<i>Surrogate: M6PFDA</i>	3.29		"	5.78		56.9	25-150				
<i>Surrogate: M7PFUdA</i>	3.10		"	5.78		53.6	25-150				
<i>Surrogate: Perfluoro-n-[1,2-13C2]dodecanoic acid (MPFDoA)</i>	3.25		"	5.78		56.3	25-150				
<i>Surrogate: M2PFTeDA</i>	1.72		"	5.78		29.8	10-150				
<i>Surrogate: Perfluoro-n-[13C4]butanoic acid (MPFBA)</i>	4.58		"	5.78		79.3	25-150				
<i>Surrogate: Perfluoro-1-[13C8]octanesulfonic acid (M8PFOS)</i>	3.31		"	5.53		59.8	25-150				
<i>Surrogate: Perfluoro-n-[13C5]pentanoic acid (M5PFPeA)</i>	4.20		"	5.78		72.6	25-150				
<i>Surrogate: Perfluoro-1-[13C8]octanesulfonamide (M8FOSA)</i>	3.07		"	5.78		53.2	10-150				
<i>Surrogate: d3-N-MeFOSAA</i>	2.90		"	5.78		50.1	25-150				
<i>Surrogate: d5-N-EtFOSAA</i>	2.64		"	5.78		45.7	25-150				
<i>Surrogate: M2-6:2 FTS</i>	8.19		"	5.48		149	25-200				
<i>Surrogate: M2-8:2 FTS</i>	9.37		"	5.54		169	25-200				
<i>Surrogate: M9PFNA</i>	3.55		"	5.78		61.4	25-150				



Miscellaneous Physical Parameters - Quality Control Data

York Analytical Laboratories, Inc. - Stratford

Analyte	Result	Reporting Limit	Units	Spike Level	Source* Result	%REC Limits	Flag	RPD Limit	Flag
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Batch BK20118 - % Solids Prep

Duplicate (BK20118-DUP1)		*Source sample: 22J1256-02 (Duplicate)					Prepared & Analyzed: 11/02/2022			
% Solids	95.6	0.100	%		95.7			0.0853	20	



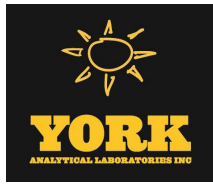


Sample and Data Qualifiers Relating to This Work Order

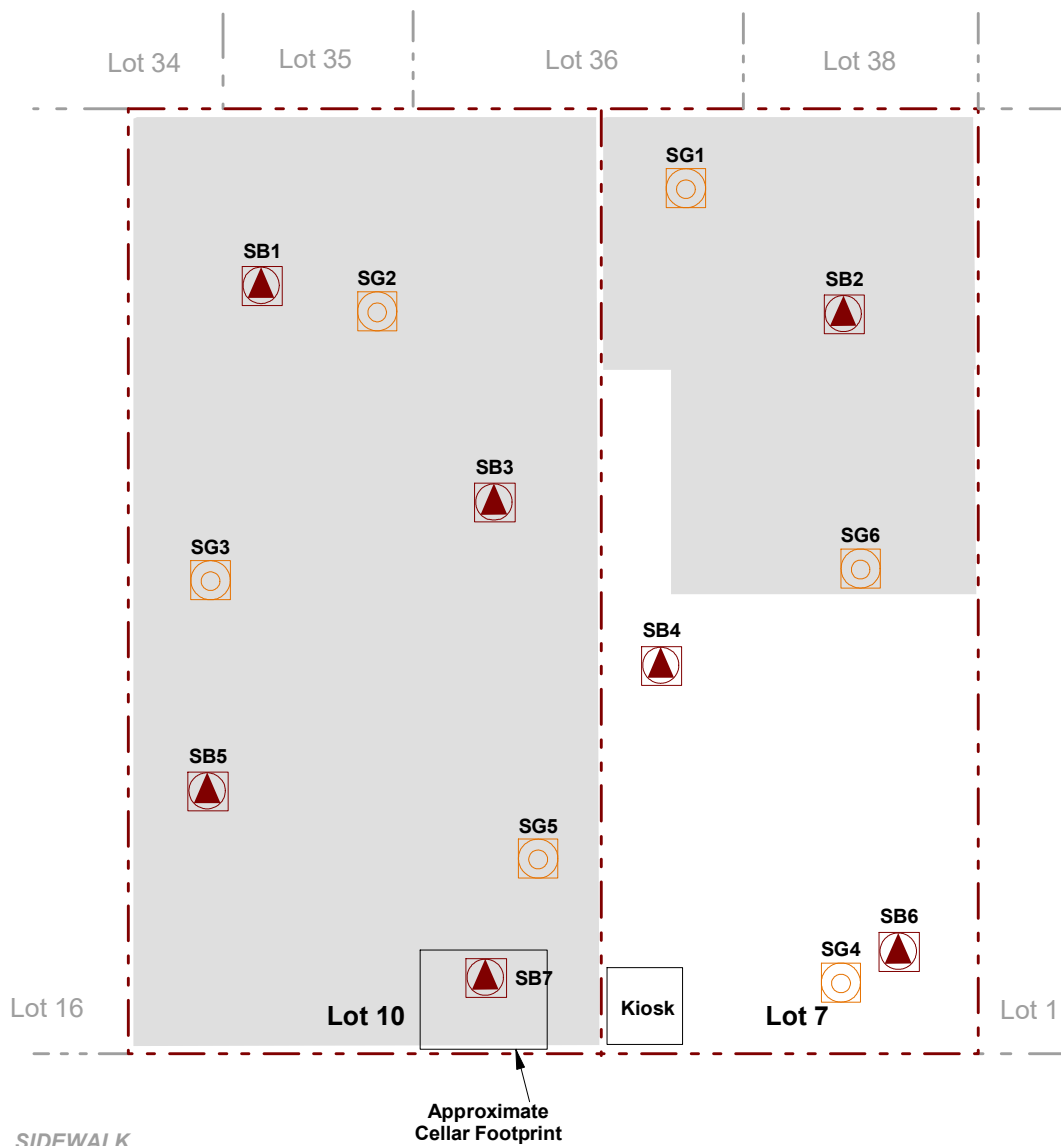
PF-LCS-H	The LCS recovery was slightly above acceptable limits for the qualified compound. However, sample results are not biased high because results are corrected for isotope recovery.
PF-CCV-H	The CCV recovery was slightly above acceptable limits for the qualified compound. However, sample results are not biased high because results are corrected for isotope recovery.
PFAS-MSH	The recovery for this matrix spike compound was above control limits possibly due to matrix effects or non-homogeneity of the sample verses the native sample

Definitions and Other Explanations

*	Analyte is not certified or the state of the samples origination does not offer certification for the Analyte .
ND	NOT DETECTED - the analyte is not detected at the Reported to level (LOQ/RL or LOD/MDL)
RL	REPORTING LIMIT - the minimum reportable value based upon the lowest point in the analyte calibration curve.
LOQ	LIMIT OF QUANTITATION - the minimum concentration of a target analyte that can be reported within a specified degree of confidence . This is the lowest point in an analyte calibration curve that has been subjected to all steps of the processing/analysis and verified to meet defined criteria. This is based upon NELAC 2009 Standards and applies to all analyses.
LOD	LIMIT OF DETECTION - a verified estimate of the minimum concentration of a substance in a given matrix that an analytical process can reliably detect. This is based upon NELAC 2009 Standards and applies to all analyses conducted under the auspices of EPA SW-846.
MDL	METHOD DETECTION LIMIT - a statistically derived estimate of the minimum amount of a substance an analytical system can reliably detect with a 99% confidence that the concentration of the substance is greater than zero. This is based upon 40 CFR Part 136 Appendix B and applies only to EPA 600 and 200 series methods.
Reported to	This indicates that the data for a particular analysis is reported to either the LOD/MDL, or the LOQ/RL. In cases where the "Reported to" is located above the LOD/MDL, any value between this and the LOQ represents an estimated value which is "J" flagged accordingly. This applies to volatile and semi-volatile target compounds only.
NR	Not reported
RPD	Relative Percent Difference
Wet	The data has been reported on an as-received (wet weight) basis
Low Bias	Low Bias flag indicates that the recovery of the flagged analyte is below the laboratory or regulatory lower control limit. The data user should take note that this analyte may be biased low but should evaluate multiple lines of evidence including the LCS and site-specific MS/MSD data to draw bias conclusions. In cases where no site-specific MS/MSD was requested, only the LCS data can be used to evaluate such bias.
High Bias	High Bias flag indicates that the recovery of the flagged analyte is above the laboratory or regulatory upper control limit. The data user should take note that this analyte may be biased high but should evaluate multiple lines of evidence including the LCS and site-specific MS/MSD data to draw bias conclusions. In cases where no site-specific MS/MSD was requested, only the LCS data can be used to evaluate such bias.
Non-Dir.	Non-dir. flag (Non-Directional Bias) indicates that the Relative Percent Difference (RPD) (a measure of precision) among the MS and MSD data is outside the laboratory or regulatory control limit. This alerts the data user where the MS and MSD are from site-specific samples that the RPD is high due to either non-homogeneous distribution of target analyte between the MS/MSD or indicates poor reproducibility for other reasons.
MCL	This is the Maximum Contaminant Level in ng/L (ppt) established by the NYSDOH for these compounds where an MCL is reported. Exceedences are flagged accordingly.



Figures from Phase II report



KEY:

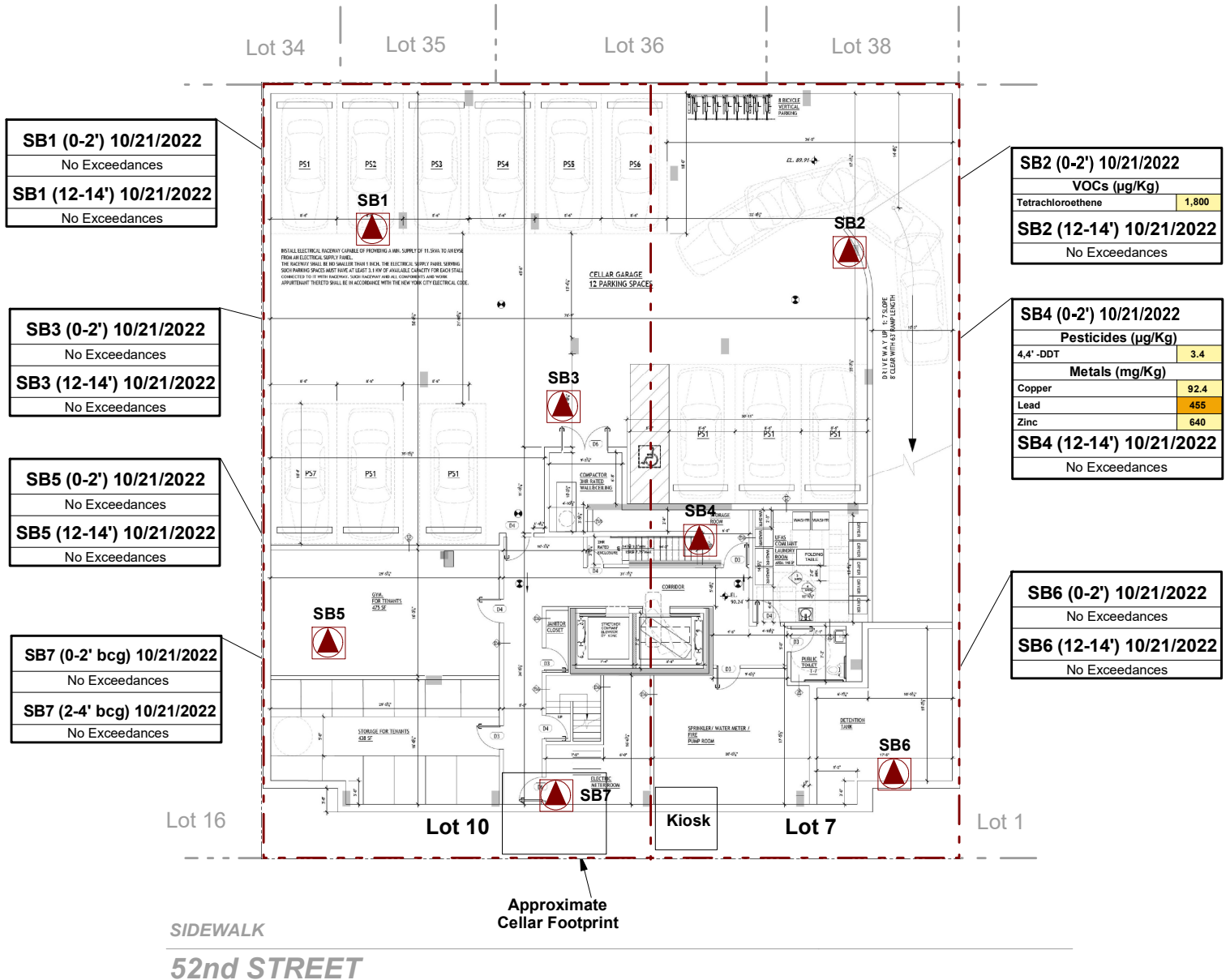
- Property Boundary
- Building Footprint
- ▲ Soil Boring Location
- Soil Vapor Sampling Location

SCALE: (feet)



Scale: 1 Inch = 20 feet

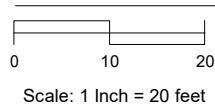




KEY:

- Property Boundary
- Unrestricted Use SCO's
- Restricted Residential Use SCO's
- ▲ Soil Boring Location
- bcg - below cellar grade

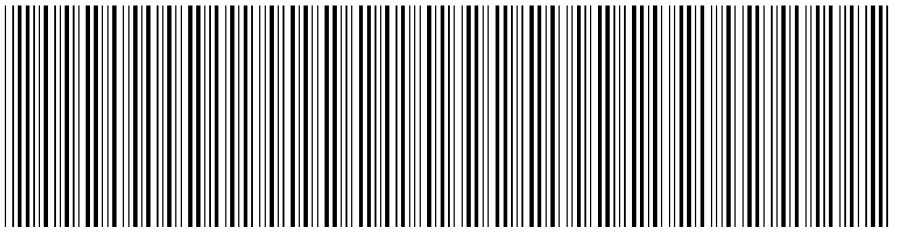
SCALE: (feet)



DEED

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2022091400947001001EB122

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 4

Document ID: 2022091400947001

Document Date: 09-13-2022

Preparation Date: 09-14-2022

Document Type: DEED

Document Page Count: 3

PRESENTER:

PARTNERS ABSTRACT CORP. NY
1025 OLD COUNTRY RD # 409
WESTBURY, NY 11590

RETURN TO:

WEN CHI WEI, ESQ.
39-07 PRINCE STREET, #5C
FLUSHING, NY 11354

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	7	Entire Lot	43-27 52ND STREET
Property Type: COMMERCIAL REAL ESTATE				

CROSS REFERENCE DATA

CRFN _____ or DocumentID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

A&F REALTY MANAGEMENT LLC
40-31 201ST STREET
BAYSIDE, NY 11361

GRANTEE/BUYER:

43-25 52 LLC
43-25 52ND STREET
WOODSIDE, NY 11377

FEES AND TAXES

Mortgage :

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 52.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 53,812.50

NYS Real Estate Transfer Tax:

\$ 13,325.00

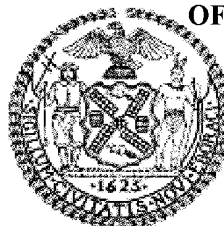
**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE**

CITY OF NEW YORK

Recorded/Filed 09-19-2022 12:25

City Register File No.(CRFN):

2022000361392



Annette McMill

City Register Official Signature

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 13th day of September, in the year 2022

BETWEEN A&F Realty Management LLC, having an address of 40-31 201st Street, Bayside, NY 11361

party of the first part, and 43-25 52 LLC, having an address of 43-25 52nd Street, Woodside, NY 11377

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

TEN (\$10.00) dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the : SEE LEGAL DESCRIPTION OF PREMISES IN SCHEDULE "A" attached hereto and made a part hereof by incorporation

PREMISES MORE COMMONLY KNOWN AS: 43-27 52nd Street, Woodside, NY 11377
SECTION 8 BLOCK 1321, LOT 7

Being and intended to be the same premises conveyed to the party of the first part as those described in deed dated 12/17/2012 recorded 01/11/2013 in CRFN 2013000014710

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


A&F Realty Management LLC
By: Augustus Franzoni, member

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Nassau, ss:

On the 13th day of September in the year 2022, before me, the undersigned, personally appeared Augustus Franzoni, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


 NOTARY PUBLIC

ERNEST LEE
 Notary Public, State of New York
 Registration No. 01LE6221256
 Qualified in Kings County
 Commission Expires April 26, 2026

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of , ss:

On the day of in the year , before me, the undersigned, a Notary Public in and for said State, personally appeared , the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in (if the place of residence is in a city, include the street and street number if any, thereof); that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

 NOTARY PUBLIC
ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of , ss:

On the day of in the year , before me, the undersigned, personally appeared , personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

 NOTARY PUBLIC
ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

State of , County of , ss:

On the day of in the year , before me, the undersigned personally appeared personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the (add the city or political subdivision and the state or country or other place the acknowledgement was taken).

 NOTARY PUBLIC
**Bargain & Sale Deed
With Covenants**

A&F REALTY MANAGEMENT LLC
 TO
43-25 52 LLC

Title No. 73933-Q

COUNTY: Queens

TOWN/CITY: Woodside

PROPERTY ADDRESS: 43-27 52nd Street

SECTION: 8

BLOCK: 1321

LOT: 7

RETURN BY MAIL TO:

Wen Chi Wei, Esq.
 3707 Prince Street, #5C
 Flushing, NY 11354

DISTRIBUTED BY



JUDICIAL TITLE

T: 800-281-TITLE F: 800-FAX-9396

SCHEDULE A

PROPERTY DESCRIPTION

Page 1 of 1

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated on a certain map entitled, "Map of 276 Valuable Building Lots, situate in Woodside Heights, near the line of Long Island City in the Village of Woodside, Town of Newton, Queens County, Long Island, New York surveyed August 1885 by Cornelius Hyatt" filed in the Office of the Clerk of the County of Queens, New York, October 4, 1886 as and by Lots Numbers 34 and 35 in Block #2 and which said lots when taken together are more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street (formerly Hancock Avenue), distant 120 feet northerly from the corner formed by the intersection of the northerly side of Queens Boulevard (formerly Thompson Avenue) with the easterly side of 52nd Street (formerly Hancock Avenue);

RUNNING THENCE easterly, parallel with Queens Boulevard, 100 feet;

THENCE northerly, parallel with 52nd Street, 40 feet;

THENCE westerly and again parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;

THENCE southerly along the easterly side of 52nd Street, 40 feet to the point or place of BEGINNING.

Our policies of title insurance include such buildings and improvements thereon which by law constitute real property, unless specifically excepted therein. Now is the time to determine whether we have examined all of the property and easements which you desire to be insured. If there are appurtenant easements to be insured, please request such insurance. In some cases, our rate manual provided for an additional charges for such insurance.

FOR CONVEYANCING ONLY

TOGETHER with all right, title and interest of, in and to any land lying in the street and roads abutting the above described premises.

Issued by

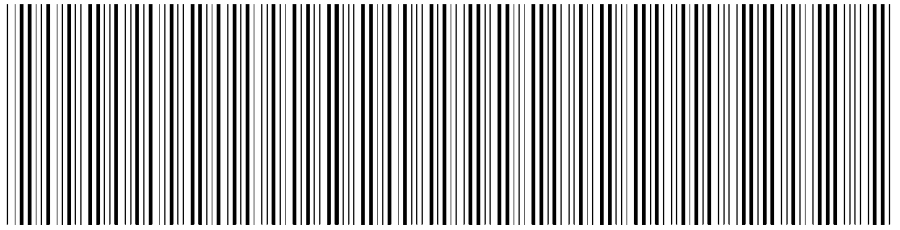
Partners Abstract Corp.

1025 Old Country Road Suite 420

Westbury, NY 11590

Telephone (516) 338-2655 Fax (516) 338-2751

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2022091400947001001S7FA3

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2022091400947001
Document Type: DEED

Document Date: 09-13-2022

Preparation Date: 09-14-2022

ASSOCIATED TAX FORM ID: 2022091300305

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING
RP - 5217 REAL PROPERTY TRANSFER REPORT
SMOKE DETECTOR AFFIDAVIT

1
2
1



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 7
- (2) Property Address: 43-27 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: 43-25 52 LLC
- Additional Name:

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

~~46-02~~ 46-02 70th ST unit PH Woodside

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, at the property address or to an alternate mailing address. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner: 43-25-52 LLC

Signature: *[Signature]*

Date (mm/dd/yyyy) 9/15/2022

Name and Title of Person Signing for Owner, if applicable:

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page

C5. CRFN



REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-27 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name 43-25 52 LLC
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address
 LAST NAME / COMPANY FIRST NAME
 STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

8. Seller Name A&F REALTY MANAGEMENT LLC
 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A ☐ One Family Residential C ☐ Residential Vacant Land E ☒ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☐ Community Service J ☐ Public Service

 4A. Planning Board Approval - N/A for NYC
 4B. Agricultural District Notice - N/A for NYC

Check the boxes below as they apply:

6. Ownership Type is Condominium ☐7. New Construction on Vacant Land ☐

SALE INFORMATION

10. Sale Contract Date 6 / 27 / 2022
 Month Day Year

11. Date of Sale / Transfer 9 / 13 / 2022
 Month Day Year

12. Full Sale Price \$ 2 0 5 0 0 0 0
 (Full Sale Price is the total amount paid for the property including personal property.
 This payment may be in the form of cash, other property or goods, or the assumption of
 mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None


ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class G, 2 16. Total Assessed Value (of all parcels in transfer) 8 9 5 5 0
 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))
 QUEENS 1321 7

202209130030520103

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

 BUYER 43-25 52ND STREET LLC 46-02 70th St Unit PH WOODSIDE CITY OR TOWN		DATE 9/12/2022	BUYER'S ATTORNEY Wei-Chi LAST NAME WEI FIRST NAME CHI AREA CODE 718 TELEPHONE NUMBER 359-9898	
		STATE NY	ZIP CODE 11377	SELLER Augustus Pym SELLER SIGNATURE DATE

2022091300305201

**AFFIDAVIT OF COMPLIANCE
WITH SMOKE DETECTOR REQUIREMENT
FOR ONE- AND TWO-FAMILY DWELLINGS**

State of New York }
County of Kings } SS.:

The undersigned, being duly sworn, depose and say under penalty of perjury that they are the grantor and grantee of the real property or of the cooperative shares in a cooperative corporation owning real property located at
43-27 52ND STREET

Street Address Unit/Apt.

QUEENS
Borough

New York,

1321
Block

7
Lot

(the "Premises");

That the Premises is ^{not} a one or two family dwelling, or a cooperative apartment or condominium unit in a one- or two-family dwelling, and that installed in the Premises is an approved and operational smoke detecting device in compliance with the provisions of Article 6 of Subchapter 17 of Chapter 1 of Title 27 of the Administrative Code of the City of New York concerning smoke detecting devices;

That they make affidavit in compliance with New York City Administrative Code Section 11-2105 (g). (The signatures of at least one grantor and one grantee are required, and must be notarized).

A&F Realty Management LLC
Name of Grantor (Type or Print)

Augustine I. Iguero
Signature of Grantor

43-25 12 LCC
Name of Grantee (Type or Print)

by [Signature]
Signature of Grantee

Member

Sworn to before me

this 13th day of September 2022

[Signature]
ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2026

Sworn to before me

this 13th day of September 2022

[Signature]
ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2026

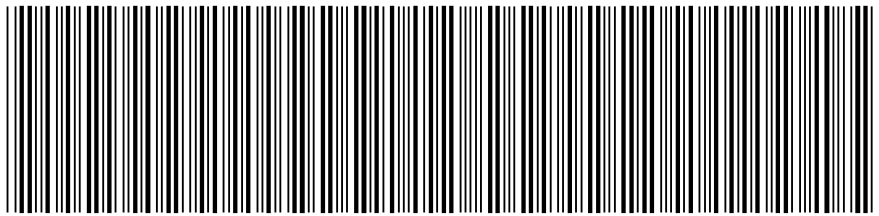
These statements are made with the knowledge that a willfully false representation is unlawful and is punishable as a crime of perjury under Article 210 of the Penal Law.

NEW YORK CITY REAL PROPERTY TRANSFER TAX RETURNS FILED ON OR AFTER FEBRUARY 6th, 1990, WITH RESPECT TO THE CONVEYANCE OF A ONE- OR TWO-FAMILY DWELLING, OR A COOPERATIVE APARTMENT OR A CONDOMINIUM UNIT IN A ONE- OR TWO-FAMILY DWELLING, WILL NOT BE ACCEPTED FOR FILING UNLESS ACCOMPANIED BY THIS AFFIDAVIT.

2022091300305101

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2012122700593001003E9EC6

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 3

Document ID: 2012122700593001

Document Date: 12-17-2012

Preparation Date: 01-07-2013

Document Type: DEED

Document Page Count: 2

PRESENTER:

TINAMARIE FRANZONI, ESQ.
REDVISION (DL)
16 COURT STREET, STE 714 (P/U RV)
BROOKLYN, NY 11241
999-999-9999
dinora.lopez@redvision.com

RETURN TO:

TINAMARIE FRANZONI, ESQ.
591 STEWART AVENUE
SUITE 513
GARDEN CITY, NY 11530
516-418-2444

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	7	Entire Lot	43-27 52ND STREET
Property Type: COMMERCIAL REAL ESTATE				

CROSS REFERENCE DATA

CRFN _____ or Document ID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

A&F RECREATIONAL VENTURES, INC.
40-31 201 ST
BAYSIDE, NY 11361

GRANTEE/BUYER:

A&F REALTY MANAGEMENT LLC
40-31 201ST STREET
BAYSIDE, NY 11361

FEES AND TAXES

Mortgage		Filing Fee:	
Mortgage Amount:	\$ 0.00		\$ 250.00
Taxable Mortgage Amount:	\$ 0.00	NYC Real Property Transfer Tax:	
Exemption:			\$ 0.00
TAXES: County (Basic):	\$ 0.00	NYS Real Estate Transfer Tax:	
City (Additional):	\$ 0.00		\$ 0.00
Spec (Additional):	\$ 0.00		
TASF:	\$ 0.00		
MTA:	\$ 0.00		
NYCTA:	\$ 0.00		
Additional MRT:	\$ 0.00		
TOTAL:	\$ 0.00		
Recording Fee:	\$ 47.00		
Affidavit Fee:	\$ 0.00		

**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE
CITY OF NEW YORK**

Recorded/Filed 01-11-2013 11:39
City Register File No.(CRFN):

2013000014710



Annette McHill

City Register Official Signature

THIS INDENTURE, made the 17th day of December, 2012

BETWEEN

A&F Recreational Ventures, Inc
40-31 201 St
Bayside, New York

party of the first part, and

A&F REALTY MANAGEMENT LLC
40-31 201ST STREET
BAYSIDE, NEW YORK, 11361

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

TEN dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

Borough and county of Queens, City and state of New York, known and designated on a certain map entitled, "Map of 276 Valuable Building Lots, situate in Woodside Heights, near the line of Long Island City in the Village of Woodside, Town of Newton, Queens County, Long Island, New York surveyed August 1885 by Cornelius Hyatt" filed in the Office of the clerk of the county of Queens, New York, October 4, 1886 as and by Lots Numbers 34 and 35 in Block #2 and which said lots when taken together are more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street (formerly Hancock Avenue), distant 120 feet northerly from the corner formed by the intersection of the northerly side of Queens Boulevard (formerly Thompson Avenue) with the easterly side of 52nd Street (formerly Hancock Avenue); running thence easterly, parallel with Queens Boulevard, 100 feet; thence northerly, parallel with 52nd Street, 40 feet; thence westerly and again parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street; thence southerly along the easterly side of 52nd Street, 40 feet to the point or place of the BEGINNING.

Said property being known as and by the street address 43-27 52nd Street, Woodside, New York; and being the same property conveyed by Frank Franzoni and Frances Franzoni to A&F Recreational Ventures, Inc by deed dated February 14, 1997 and recorded on January 2, 1998 at Reel 4768 page 1110 at the Office of City Register, Queens County.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" when ever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


Augustus Franzoni- A&F Recreational Ventures, Inc

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Nassau, ss:

On the 17 day of December in the year 2012,
before me, the undersigned, personally appeared

Augustus Franzoni

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ANNA BOGUNOVA

SEAL

NOTARY PUBLIC-STATE OF NEW YORK

No. 02806265080

Qualified in Kings County

My Commission Expires July 09, 2016

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN
IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____,
before me, the undersigned, a Notary Public in and for said State,
personally appeared _____,
the subscribing witness to the foregoing instrument, with whom I am
personally acquainted, who, being by me duly sworn, did depose and say
that he/she/they reside(s) in _____

(If the place of residence is in a city, include the street and street number if any, thereof).
that he/she/they know(s) _____

to be the individual described in and who executed the foregoing
instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed
his/her/their name(s) as a witness thereto

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____,
before me, the undersigned, personally appeared _____

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK
STATE

*State of _____, County of _____, ss:

*(Or insert District of Columbia, Territory, Possession or Foreign County)

On the _____ day of _____ in the year _____,
before me, the undersigned personally appeared _____

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the _____

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

**Bargain and Sale Deed
With Covenants**

Title No. _____

TO _____

SECTION: _____

BLOCK: 1321

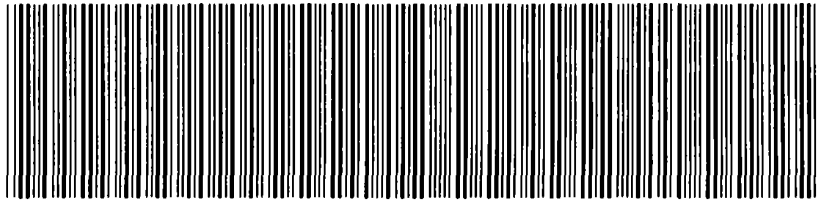
LOT: 7

COUNTY OR TOWN: _____

RETURN BY MAIL TO:

**Tinamarie Franzoni, Esq.
591 Stewart Avenue, Suite 513
Garden City, NY 11530**

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2012122700593001003S5047

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2012122700593001

Document Date: 12-17-2012

Preparation Date: 01-07-2013

Document Type: DEED

ASSOCIATED TAX FORM ID: 2012122100011

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING
RP - 5217 REAL PROPERTY TRANSFER REPORT

1
1

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT
 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES
RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-27 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name A&F REALTY MANAGEMENT LLC
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address
 LAST NAME / COMPANY FIRST NAME

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

8. Seller Name A&F RECREATIONAL VENTURES, INC.
 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A ☐ One Family Residential C ☐ Residential Vacant Land E ☒ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☐ Community Service J ☐ Public Service

CITY REGISTER
DEC 27 '12

SALE INFORMATION

10. Sale Contract Date 12 / 17 / 2012
 Month Day Year

11. Date of Sale / Transfer 12 / 17 / 2012
 Month Day Year

12. Full Sale Price \$ 0
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale 0

14. Check one or more of these conditions as applicable to transfer:

A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

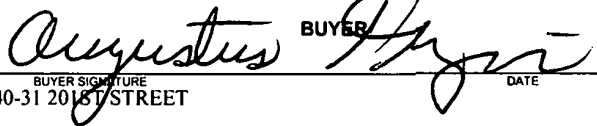
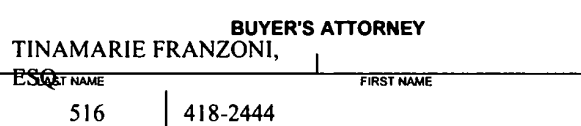
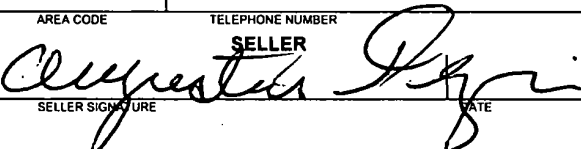
ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class G, 9 16. Total Assessed Value (of all parcels in transfer) 7 2 0 0 0
 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional Identifier(s))
 QUEENS 1321 7

201212210001120101

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

 BUYER		 BUYER'S ATTORNEY	
BUYER SIGNATURE 40-31 201ST STREET		FIRST NAME TINAMARIE FRANZONI,	
STREET NUMBER 40-31		FIRST NAME TINAMARIE	
STREET NAME (AFTER SALE) BAYSIDE		FIRST NAME TINAMARIE	
CITY OR TOWN BAYSIDE		FIRST NAME TINAMARIE	
STATE NY		FIRST NAME TINAMARIE	
ZIP CODE 11361		FIRST NAME TINAMARIE	
SELLER SIGNATURE 		FIRST NAME TINAMARIE	

2012122100011201

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

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REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-27 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name A&F REALTY MANAGEMENT LLC
 LAST NAME / COMPANY FIRST NAME

LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)

 LAST NAME / COMPANY FIRST NAME

STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

4A. Planning Board Approval - N/A for NYC
 4B. Agricultural District Notice - N/A for NYC

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

Check the boxes below as they apply:

6. Ownership Type is Condominium ☐7. New Construction on Vacant Land ☐

8. Seller Name A&F RECREATIONAL VENTURES, INC.
 LAST NAME / COMPANY FIRST NAME

LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A ☐ One Family Residential C ☐ Residential Vacant Land E ☒ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☐ Community Service J ☐ Public Service

SALE INFORMATION

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 Month Day Year

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 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
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 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class G, 9 16. Total Assessed Value (of all parcels in transfer) 7 2 0 0 0

17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))

QUEENS 1321 7

201212210001120103

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER**BUYER'S ATTORNEY**

BUYER SIGNATURE		DATE		TINAMARIE FRANZONI,		ESQ.		FIRST NAME	
40-31 201ST STREET				516		418-2444			
STREET NUMBER		STREET NAME (AFTER SALE)		AREA CODE		TELEPHONE NUMBER			
BAYSIDE						SELLER			
CITY OR TOWN		STATE		ZIP CODE		SELLER SIGNATURE		DATE	
		NY		11361					

2012122100011201

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
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REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-27 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name A&F REALTY MANAGEMENT LLC
 LAST NAME / COMPANY FIRST NAME

LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address
 Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form) LAST NAME / COMPANY FIRST NAME

STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

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4A. Planning Board Approval - N/A for NYC
 4B. Agricultural District Notice - N/A for NYC

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

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ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

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17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))

QUEENS 1321 7

201212210001120102

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER**BUYER'S ATTORNEY**BUYER SIGNATURE
40-31 201ST STREET

DATE

TINAMARIE FRANZONI,

ESQ.

LAST NAME

FIRST NAME

516

418-2444

STREET NUMBER

STREET NAME (AFTER SALE)

AREA CODE

TELEPHONE NUMBER

BAYSIDE

NY

11361

SELLER

CITY OR TOWN

STATE

ZIP CODE

SELLER SIGNATURE

DATE



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 7
- (2) Property Address: 43-27 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: A&F REALTY MANAGEMENT LLC
- Additional Name: _____

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, **at the property address or to an alternate mailing address**. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner: _____

Signature: _____ Date (mm/dd/yyyy) _____

Name and Title of Person Signing for Owner, if applicable: _____



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

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59-17 Junction Boulevard
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Customer Registration Form for Water and Sewer Billing

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Print Name of Owner:

Signature:

Augusta Perry

Date (mm/dd/yyyy)

12/23/12

Name and Title of Person Signing for Owner, if applicable:

President

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 28th day of April, nineteen hundred and ninety-six
BETWEEN MARIA FRANZONI, residing at 40-31 201st Street,
Bayside, New York 11361

party of the first part, and FRANK FRANZONI and FRANCES FRANZONI, residing at
40-31 201st Street, Bayside, New York 11361

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated on a certain map entitled, "Map of 276 Valuable Building Lots, situate in Woodside Heights, near the line of Long Island City in the Village of Woodside, Town of Newton, Queens County, Long Island, New York surveyed August 1885 by Cornelius Hyatt" filed in the Office of the Clerk of the County of Queens, New York, October 4, 1886 as and by Lots Numbers 34 and 35 in Block #2 and which said lots when taken together are more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street (formerly Hancock Avenue), distant 120 feet northerly from the corner formed by the intersection of the northerly side of Queens Boulevard (formerly Thompson Avenue) with the easterly side of 52nd Street (formerly Hancock Avenue); running thence easterly, parallel with Queens Boulevard, 100 feet; thence northerly, parallel with 52nd Street, 40 feet; thence westerly and again parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street; thence southerly along the easterly side of 52nd Street, 40 feet to the point or place of the BEGINNING.

Said property being known as and by the street address 43-27 52nd Street, Woodside, New York; and being the same property conveyed by Augustus Franzoni to Maria Franzoni by deed dated March 27, 1975 and recorded on April 9, 1975 at Reel 826 page 1804 at the Office of City Register, Queens County.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Maria Franzoni
MARIA FRANZONI

REEL 826 PAGE 1804

STATE OF NEW YORK, COUNTY OF **DRANGE**
On the **23** day of April 1996, before me personally came Maria Franzoni

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that she executed the same.

[Signature]
PETER KUPERSMITH
Notary Public, State of New York
No. 022007164312
Qualified in Orange County
Commission Expires 12-31-96

STATE OF NEW YORK, COUNTY OF
On the day of 19, before me personally came to me known, who, being by me duly sworn, did depose and say that he resides at No.

that he is the of

, the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is sur' corporate seal; that it was so affixed by order of the board of directors of said corporation, and that he signed his name thereto by like order.

STATE OF NEW YORK, COUNTY OF
On the **23** day of April 1996, before me personally came

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that he executed the same.

STATE OF NEW YORK, COUNTY OF
On the day of 19, before me personally came the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he resides at No.

that he knows

to be the individual described in and who executed the foregoing instrument; that he, said subscribing witness, was present and saw execute the same; and that he, said witness, at the same time subscribed his name as witness thereto.

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS
TITLE No. **TR-1655**

TO

SECTION
BLOCK
LOT
COUNTY OR TOWN

Recorded At Request of
First American Title Insurance Company of New York
RETURN BY MAIL TO:

Zip No.

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

REEL 118181931

**CITY REGISTER RECORDING AND ENDORSEMENT PAGE
- QUEENS COUNTY -**

(This page forms part of the instrument)

Block(s) 1321
Lot(s) 7

Record & Return to: PETER KUPERSMITH
Rock Acres Home 641 Cornwall NY
12618
Title/Agent Company name: Tomar
Title Company number: TR 1655

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

Examined by (s): _____

Mile Tax Serial No. _____

Mile Amount \$ _____

Taxable Amount \$ _____

Exemption (✓) YES ☐ NO ☐

Type: ☒ 339EE ☐ 255 ☐ OTHER _____

Dwelling Type: ☐ 1 & 2 ☐ 3 ☐ 4 & 6 ☐ OVER 6

TAX RECEIVED ON ABOVE MORTGAGE ▼

County (basic) \$ _____

City (Add'l) \$ _____

Spec Add'l \$ _____

TASF \$ _____

MTA \$ _____

NYCTA \$ _____

TOTAL TAX \$ _____

Apportionment Mortgage (✓) YES ☐ NO ☐

Joy A. Bobrow, City Register

City Register Serial Number **084942**

Indexed By (s): B Verified By (s): [Signature]

Block(s) and Lot(s) verified by (✓): [Signature]

Address ☒ Tax Map ☐

Extra Block(s) _____ Lot(s) _____

Recording Fee ☒ \$ 320

Affidavit Fee (C) \$ _____

TP-584/582 Fee (Y) \$ _____

RPTT Fee (R) \$ 25

HPD-A ☒ HPD-C ☐

New York State Real Estate Transfer Tax ▼
\$ 320-

Serial Number ⇒ 605701

New York City Real Property Transfer Tax
Serial Number ⇒ **022791**

New York State Gains Tax
Serial Number ⇒ _____

REEL 11 81 PG 1937

273562 \$32.00

DEED



**RECORDED IN QUEENS COUNTY
OFFICE OF THE CITY REGISTER**

1996 JUN 10 P 3:31

Witness My Hand and Official Seal

Joy A. Bobrow
City Register

CRG14590 BPG 1-93

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 20th day of September, nineteen hundred and seventy-four
BETWEEN

RICHARD A. ALFARO, residing at 105 Robbins Drive, East
Williston, New York and

AUGUSTUS FRANZONI, residing at 6900 78th Street, Middle
Village, New York

party of the first part, and

AUGUSTUS FRANZONI, residing at 6900 78th Street, Middle
Village, New York

REF 791 PAGE 51

party of the second part,

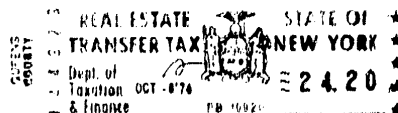
WITNESSETH, that the party of the first part, in consideration of ten dollars paid by the party of the second part, does hereby remise, release and quitclaim unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated on a certain map entitled, "Map of 276 Valuable Building Lots, situate in Woodside Heights, near the line of Long Island City in the Village of Woodside, Town of Newtown, Queens County, Long Island, New York surveyed August 1885 by Cornelius Hyatt" and filed in the Office of the Clerk of the County of Queens, New York, October 4, 1886 as and by Lots Numbers 34 and 35 in Block #2 and which said lots when taken together are more particularly bounded and described as follows: -

BEGINNING at a point on the easterly side of 52nd Street (formerly Hancock Avenue), distant 120 feet northerly from the corner formed by the intersection of the northerly side of Queens Boulevard (formerly Thomson Avenue) with the easterly side of 52nd Street (formerly Hancock Avenue); running thence easterly, parallel with Queens Boulevard, 100 feet; thence northerly, parallel with 52nd Street, 40 feet; thence westerly and again parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street; thence southerly along the easterly side of 52nd Street, 40 feet to the point or place of BEGINNING.

SUBJECT to a first mortgage now a lien on the premises held by Martin and Susan Daniels and Gilbert & Carole Chollick.

SUBJECT to any state of facts an accurate survey may show.



TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, hereby covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

RICHARD A. ALFARO

AUGUSTUS FRANZONI

[Handwritten signature]

CITY REGISTER

OCT-8 AM 9 06

78
2420

WQ 4-4686

1032

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 11th day of March, nineteen hundred and thirty three
BETWEEN

AUGUSTUS FRANZONI, residing at 40 West 107th Street,
 Bay Ridge, Queens, New York

party of the first part, and

MARIA FRAMONCHI, residing at 40 West 107th Street,
 Bay Ridge, Queens, New York

REEL 826 PAGE 1804

party of the second part,

WITNESSETH, that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of

New York, known and designated on a certain map entitled, "Map of 176 Valuable Building Lots, situate in Woodside Heights, near the line of Long Island City in the Village of Woodside, Town of Newtown, Queens County, Long Island, New York surveyed August 1885 by Cornelius Hyatt" filed in the Office of the Clerk of the County of Queens, New York, October 4, 1886 as and by Lots Numbers 34 and 35 in Block #2 and which said lots when taken together are more particularly bounded and described as follows: -

BEGINNING at a point on the easterly side of 52nd Street (formerly Hancock Avenue), distant 120 feet northerly from the corner formed by the intersection of the northerly side of Queens Boulevard (formerly Thomson Avenue) with the easterly side of 52nd Street (formerly Hancock Avenue); running thence easterly, parallel with Queens Boulevard, 100 feet; thence northerly, parallel with 52nd Street, 40 feet; thence westerly and again parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street; thence southerly along the easterly side of 52nd Street, 40 feet to the point or place of **BEGINNING**.

SUBJECT to a first mortgage now a lien on the premises held by Martin and Susan Kanols and Gilbert & Charles Chellick

SUBJECT to any state of facts an accurate survey

may show

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

[Signature]

[Signature]
 AUGUSTUS FRANZONI

1321
 7

STATE OF NEW YORK, COUNTY OF **QUEEN** SS:

On the 19 day of August, 1975, before me personally came

AUGUSTINE FRANKONE

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that he executed the same

JOS. M. I. FILARDI
NOTARY PUBLIC, State of New York
No. 10 1210650 - Queens County
Term Expires March 30, 1976

STATE OF NEW YORK, COUNTY OF **QUEEN** SS:

On the 19 day of August, 1975, before me personally came to me known, who, being by me duly sworn, did depose and say that he resides at No.

that he is the of

the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation, and that he signed his name thereto by like order.

STATE OF NEW YORK, COUNTY OF **QUEEN** SS:

On the 19 day of August, 1975, before me personally came

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that executed the same.



STATE OF NEW YORK, COUNTY OF **QUEEN** SS:

On the 19 day of August, 1975, before me personally came the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he resides at No.

that he knows

to be the individual described in and who executed the foregoing instrument; that he, said subscribing witness, was present and saw execute the same; and that he, said witness, at the same time subscribed his name as witness thereto.

REFL 826 PAGE 1805

Bargain and Sale Deed

WITH COVENANT AGAINST GRANTOR'S AGES

TITLE NO. 61121-54224

TO

16051

SECTION

BLOCK 1221

LOT 7

COUNTY OR TOWN

Recorded at Request of
CHICAGO TITLE INSURANCE COMPANY

Return by Mail to

JOSEPH J. FILARDI, Esq.,
121 10th Ave. East
Kew Gardens, New York

Zip No. 11413

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDERWRITERS

Distributed by

**CHICAGO TITLE
INSURANCE COMPANY**

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

1975 APR -9 AM 11 12

OFFICE OF CITY REGISTER
Queens County
per my hand
and official seal

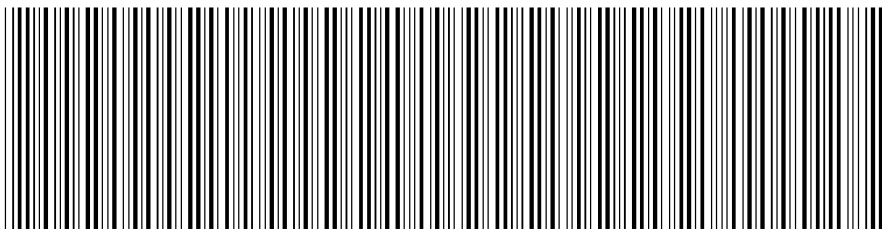
Matthew K. Dwyer
CITY REGISTER

REC. FEE
179

RECORDED BY CHICAGO TITLE INSURANCE COMPANY

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2022051200697001001ED24F

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 5

Document ID: 2022051200697001

Document Date: 05-06-2022

Preparation Date: 05-12-2022

Document Type: DEED

Document Page Count: 3

PRESENTER:

PARTNERS ABSTRACT CORP. NY
1025 OLD COUNTRY RD # 409
WESTBURY, NY 11590

RETURN TO:

WEN-CHI WEI, ESQ.
39-07 PRINCE STREET, 5C
FLUSHING, NY 11354

				PROPERTY DATA	
Borough	Block	Lot	Unit	Address	
QUEENS	1321	10	Entire Lot	43-25 52ND STREET	
Property Type: RELIGIOUS STRUCTURE					

CROSS REFERENCE DATA

CRFN _____ or DocumentID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

GABRIEL BLAU, AS TRUSTEE
76-19 113TH STREET
FOREST HILLS, NY 11375

GRANTEE/BUYER:

43-25 52 LLC
46-02 70TH STREET #PH
WOODSIDE, NY 11377

☒ Additional Parties Listed on Continuation Page

FEES AND TAXES

Mortgage :

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 52.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 85,312.50

NYS Real Estate Transfer Tax:

\$ 21,125.00

**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE**

CITY OF NEW YORK

Recorded/Filed 05-18-2022 15:16

City Register File No.(CRFN):

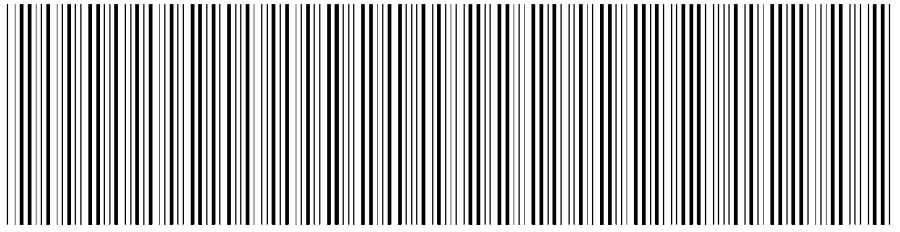
2022000205476



Annette McMill

City Register Official Signature

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2022051200697001001CD0CF

RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION)

PAGE 2 OF 5

Document ID: 2022051200697001

Document Date: 05-06-2022

Preparation Date: 05-12-2022

Document Type: DEED

PARTIES

GRANTOR/SELLER:

GABRIEL BLAU 2012 IRREVOCABLE TRUST
76-19 113TH STREET
FOREST HILLS, NY 11375

GRANTOR/SELLER:

LRS FUNDING INC.
6 COACHMAN'S COURT
OLD WESTBURY, NY 11568

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 6th day of May, 2022

BETWEEN GABRIEL BLAU, as Trustee of the GABRIEL BLAU 2012 IRREVOCABLE TRUST as to 50% Tenants in Common Interest, 76-19 113th Street, Forest Hills, N.Y. 11375 and LRS FUNDING INC. as to 50% Tenants in Common Interest, 6 Coachman's Court, Old Westbury, N.Y. 11568

party of the first part, and

43-25 52 LLC, 46-20 70th Street #PH, Woodside, N.Y. 11377

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Three Million Two Hundred Fifty Thousand and 00/100 dollars (\$3,250,000.00) paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the County of Queens, City and State of New York, commonly known as 43-25 52nd Street, Woodside, N.Y.

Block 1321

Lot 10

SEE LEGAL DESCRIPTION ATTACHED

BEING the same premises described in a deed between LRS FUNDING INC. who acquired a 50% Tenants in Common Interest by deed from GABRIEL BLAU, as Trustee of the GABRIEL BLAU 2012 IRREVOCABLE TRUST dated 7/10/20 and recorded on 7/14/20 in CRFN 2020000199690 and GABRIEL BLAU, as Trustee under the GABRIEL BLAU 2012 IRREVOCABLE TRUST who acquired title by deed from ALEXANDER BLAU dated 12/20/12 and recorded on 5/1/13 in CRFN 2013000172505.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof;

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises;

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of

the same for any other purpose. The word party shall be construed as if it read parties whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

GABRIEL BLAU 2012 IRREVOCABLE
TRUST

BY: 
GABRIEL BLAU, as Trustee

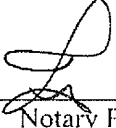
LRS FUNDING INC.

BY: 
JOSHUA DEUTSCH, Vice President

STATE OF NEW YORK, COUNTY OF QUEENS, ss:

On the 6th day of May, 2022, before me, the undersigned, personally appeared GABRIEL BLAU, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2026

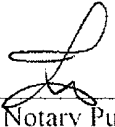

Notary Public

ACKNOWLEDGMENT FOR LRS FUNDING

STATE OF NEW YORK, COUNTY OF QUEENS, ss:

On the 6th day of May, 2022, before me, the undersigned, personally appeared JOSHUA DEUTSCH, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2026


Notary Public

SCHEDULE A

PROPERTY DESCRIPTION

Page 1 of 1

ALL that certain plot, piece or parcel of land with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots situate in Woodside Heights near the line of L.I.C. in Village of Woodside, Town of Newton, Queens County, LI., N.Y.", surveyed August 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;

THENCE easterly parallel with Queens Boulevard, 100 feet;

THENCE northerly parallel with 52nd Street, 50 feet;

THENCE westerly parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;

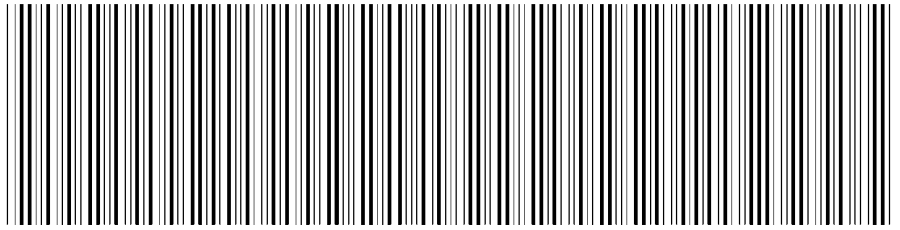
THENCE southerly along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

Our policies of title insurance include such buildings and improvements thereon which by law constitute real property, unless specifically excepted therein. Now is the time to determine whether we have examined all of the property and easements which you desire to be insured. If there are appurtenant easements to be insured, please request such insurance. In some cases, our rate manual provided for an additional charge for such insurance.

FOR CONVEYANCING ONLY

TOGETHER with all right, title and interest of, in and to any land lying in the street and roads abutting the above described premises.

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2022051200697001001S1CCE

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2022051200697001
Document Type: DEED

Document Date: 05-06-2022

Preparation Date: 05-12-2022

ASSOCIATED TAX FORM ID: 2022050300297

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING
RP - 5217 REAL PROPERTY TRANSFER REPORT
SMOKE DETECTOR AFFIDAVIT

1
4
1



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 43-25 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: 43-25 52 LLC
- Additional Name:

Affirmation:



Your water & sewer bills will be sent to the property address shown ^{below} above.

46-02 70th ST Unit PH
Woodside NY 11377

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, at the property address or to an alternate mailing address. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature:

[Signature] 5.6.2022 Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable:

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-25 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name 43-25 52 LLC
 LAST NAME / COMPANY FIRST NAME

 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent
 If other than buyer address (at bottom of form)
 LAST NAME / COMPANY FIRST NAME

 STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

4A. Planning Board Approval - N/A for NYC
 4B. Agricultural District Notice - N/A for NYC

Check the boxes below as they apply:

6. Ownership Type is Condominium ☐7. New Construction on Vacant Land ☐

8. Seller Name GABRIEL BLAU, AS TRUSTEE
 LAST NAME / COMPANY FIRST NAME

 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A ☐ One Family Residential C ☐ Residential Vacant Land E ☐ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☒ Community Service J ☐ Public Service

SALE INFORMATION

10. Sale Contract Date 2 / 8 / 2022
 Month Day Year

11. Date of Sale / Transfer 5 / 6 / 2022
 Month Day Year

12. Full Sale Price \$ 3 2 5 0 0 0 0
 (Full Sale Price is the total amount paid for the property including personal property.
 This payment may be in the form of cash, other property or goods, or the assumption of
 mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class M 1 16. Total Assessed Value (of all parcels in transfer) 3 4 0 2 0 0

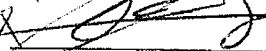

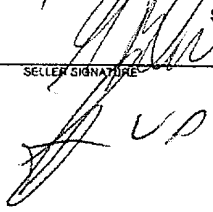
17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))

 QUEENS 1321 10

202205030029720102

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

 BUYER SIGNATURE 46-02 70TH STREET #PH		BUYER 5.6.2022 DATE	 BUYER'S ATTORNEY LAST NAME Wei		FIRST NAME Wen Chi
STREET NUMBER WOODSIDE		STREET NAME (AFTER SALE)		AREA CODE 718	TELEPHONE NUMBER 339-9898
CITY OR TOWN		STATE NY	ZIP CODE 11377		SELLER  SELLER SIGNATURE
				DATE 5.6.2022	

2022050300297201

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LRS FUNDING INC.

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

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Grantor (Seller)

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FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYERS

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

Date

Buyer Signature

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SELLERS

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Seller Signature

Date

2022050300297201

**AFFIDAVIT OF COMPLIANCE
WITH SMOKE DETECTOR REQUIREMENT
FOR ONE- AND TWO-FAMILY DWELLINGS**

State of New York }
County of Queens } SS.:

The undersigned, being duly sworn, depose and say under penalty of perjury that they are the grantor and grantee of the real property or of the cooperative shares in a cooperative corporation owning real property located at

43-25 52ND STREET

Street Address Unit/Apt.

QUEENS
Borough

New York,

1321
Block

10
Lot

(the "Premises");

That the Premises is a ^{NOT} one or two family dwelling, or a cooperative apartment or condominium unit in a one- or two-family dwelling, and that installed in the Premises is an approved and operational smoke detecting device in compliance with the provisions of Article 6 of Subchapter 17 of Chapter 1 of Title 27 of the Administrative Code of the City of New York concerning smoke detecting devices;

That they make affidavit in compliance with New York City Administrative Code Section 11-2105 (g). (The signatures of at least one grantor and one grantee are required, and must be notarized).

LRS Funding Inc
Name of Grantor (Type or Print)
X [Signature]
Signature of Grantor

43-25 52 LLC
Name of Grantee (Type or Print)
X [Signature]
Signature of Grantee Alamber

Sworn to before me

this 6th day of May 2022
[Signature]
ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2024

Sworn to before me

this 6th day of May 2022
[Signature]
ERNEST LEE
Notary Public, State of New York
Registration No. 01LE6221256
Qualified in Kings County
Commission Expires April 26, 2024

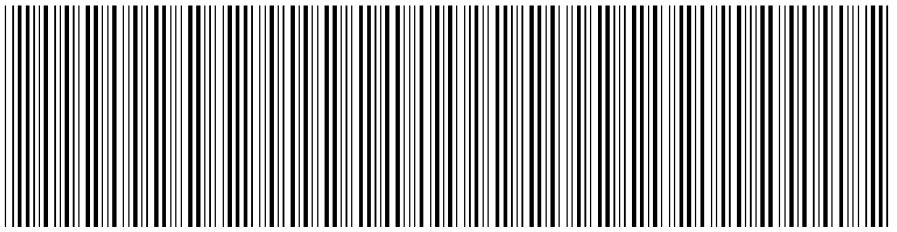
These statements are made with the knowledge that a willfully false representation is unlawful and is punishable as a crime of perjury under Article 210 of the Penal Law.

NEW YORK CITY REAL PROPERTY TRANSFER TAX RETURNS FILED ON OR AFTER FEBRUARY 6th, 1990, WITH RESPECT TO THE CONVEYANCE OF A ONE- OR TWO-FAMILY DWELLING, OR A COOPERATIVE APARTMENT OR A CONDOMINIUM UNIT IN A ONE- OR TWO-FAMILY DWELLING, WILL NOT BE ACCEPTED FOR FILING UNLESS ACCOMPANIED BY THIS AFFIDAVIT.

2022050300297101

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2020071400691001001E5FE5

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 6

Document ID: 2020071400691001

Document Date: 07-10-2020

Preparation Date: 07-14-2020

Document Type: DEED

Document Page Count: 4

PRESENTER:

DEUTSCH & SCHNEIDER LLP
79-37 MYRTLE AVENUE
GLENDALE, NY 11385
718-417-1700
BG@DANDSLAW.COM

RETURN TO:

DEUTSCH & SCHNEIDER LLP
79-37 MYRTLE AVENUE
GLENDALE, NY 11385
718-417-1700
BG@DANDSLAW.COM

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	10	Entire Lot	43-25 52ND STREET
Property Type: RELIGIOUS STRUCTURE				

CROSS REFERENCE DATA

CRFN _____ or DocumentID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

GABRIEL BLAU, TRUSTEE
76-19 113TH STREET
FOREST HILLS, NY 11375

GRANTEE/BUYER:

LRS FUNDING INC.
6 COACHMAN'S COURT
OLD WESTBURY, NY 11568

☒ Additional Parties Listed on Continuation Page

FEES AND TAXES

Mortgage :

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 57.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 26,250.00

NYS Real Estate Transfer Tax:

\$ 4,000.00

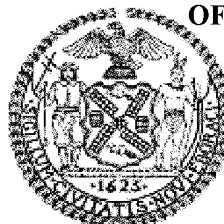
**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE**

CITY OF NEW YORK

Recorded/Filed 07-14-2020 15:38

City Register File No.(CRFN):

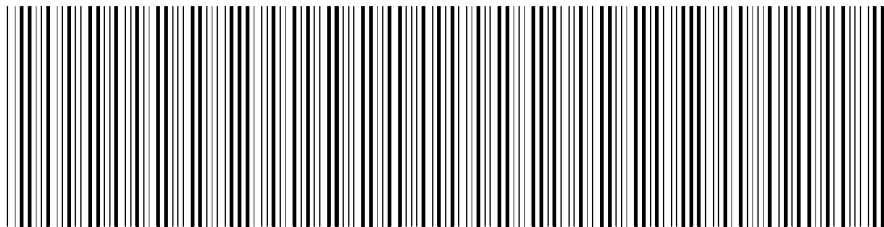
2020000199690



Annette McMill

City Register Official Signature

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2020071400691001001C5D65

RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION)

PAGE 2 OF 6

Document ID: 2020071400691001

Document Date: 07-10-2020

Preparation Date: 07-14-2020

Document Type: DEED

PARTIES

GRANTOR/SELLER:

GABRIEL BLAU 2012 IRREVOCABLE TRUST
76-19 113TH STREET
FOREST HILLS, NY 11375

BARGAIN AND SALE DEED

THIS INDENTURE, made July 16th, 2020, between GABRIEL BLAU, as Trustee of the GABRIEL BLAU 2012 IRREVOCABLE TRUST, having an address at 76-19 113th Street, Forest Hills, N.Y. 11375 ("Grantor"), and LRS FUNDING INC., a corporation, having an address at 6 Coachman's Court, Old Westbury, N.Y. 11568 ("Grantee").

WITNESSETH, that Grantor, in consideration of Ten Dollars and other valuable consideration, the receipt and sufficiency of which hereby are acknowledged, does hereby grant and release unto Grantee and the legal representatives, successors and assigns of Grantee forever, a fifty (50%) percent Tenants in Common interest in

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the County of Queens, City and State of New York, being more particularly described in Exhibit A attached hereto and made a part hereof, more commonly known as 43-25 52nd Street, Elmhurst, New York.

Block 1321 Lot 10

TOGETHER with all right, title and interest, if any, of Grantor in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of Grantor in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto Grantee and the legal representatives, successors and assigns of Grantee forever.

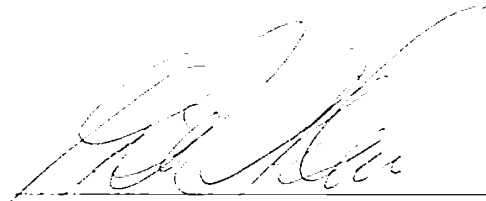
Grantor is the owner of said premises. Said premises is not located in an agricultural district.

Grantor covenants that Grantor has not done or suffered anything whereby said premises have been encumbered in any way whatever, except as set forth herein.

Grantor, in compliance with Section 13 of the Lien Law, covenants that Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement before using any part of the total of the same for any other purpose.

IN WITNESS WHEREOF Grantor has duly executed this deed on the date first

above written.

A handwritten signature in black ink, appearing to read 'Gabriel Blau', written over a horizontal line.

GABRIEL BLAU, as Trustee of the
GABRIEL BLAU 2012 IRREVOCABLE TRUST
Seller as to a Fifty (50%) Percent Tenants in
Common Interest in the Real Property

SCHEDULE A
(Description of the Land)

ALL that certain plot, piece or parcel of land situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots situate in Woodside Heights near the line of L.I.C. in Village of Woodside, Town of Newton, Queens County, L.I., N.Y.", surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;

THENCE easterly parallel with Queens Boulevard, 100 feet;

THENCE northerly parallel with 52nd Street, 50 feet;

THENCE westerly parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;

THENCE southerly along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

FOR INFORMATION ONLY: Premises also known as 43-25 52nd Street, Woodside, NY
Block 1321 Lot 10

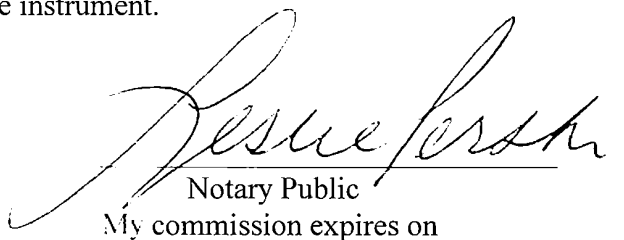
THE POLICY TO BE ISSUED under this commitment will insure the title to such buildings and improvements on the premises which by law constitute real property.

FOR CONVEYANCING ONLY: Together with all the right, title and interest of the party of the first part, of in and to the land lying in the street in front of and adjoining said premises.

END OF SCHEDULE A

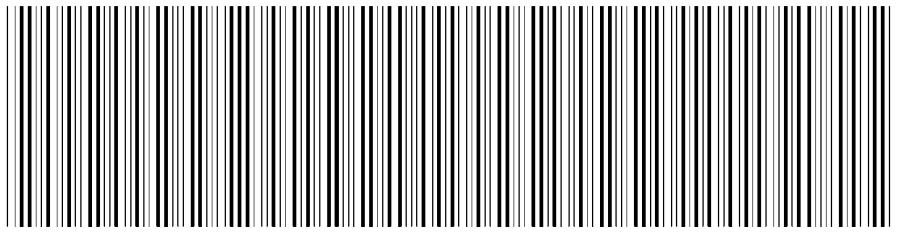
STATE OF NEW YORK, COUNTY OF QUEENS, ss.

On the 10th day of July, 2020, before me, the undersigned, personally appeared GABRIEL BLAU, as Trustee of the GABRIEL BLAU 2012 IRREVOCABLE TRUST, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Notary Public
My commission expires on

Leslie Perski
Notary Public State of New York
No. 01PE5014126
Qualified in Queens County
Commission Expires 7/15/2023

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2020071400691001001S9164

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2020071400691001
Document Type: DEED

Document Date: 07-10-2020

Preparation Date: 07-14-2020

ASSOCIATED TAX FORM ID: 2020071000165

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

RP - 5217 REAL PROPERTY TRANSFER REPORT

1

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

STATE OF NEW YORK
STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-25 52ND STREET QUEENS 11377
 2. Buyer Name LRS FUNDING INC.
 3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)
 4. Indicate the number of Assessment Roll parcels transferred on the deed # of Parcels OR ☐ Part of a Parcel
 5. Deed Property Size FRONT FEET X DEPTH OR ACRES
 6. Ownership Type is Condominium ☐
 7. New Construction on Vacant Land ☐
 8. Seller Name GABRIEL BLAU, TRUSTEE
 9. Check the box below which most accurately describes the use of the property at the time of sale:
 A ☐ One Family Residential C ☐ Residential Vacant Land E ☐ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☒ Community Service J ☐ Public Service

SALE INFORMATION

10. Sale Contract Date 7 / 10 / 2020
 11. Date of Sale / Transfer 7 / 10 / 2020
 12. Full Sale Price \$ 1,000,000
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations) Please round to the nearest whole dollar amount
 13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

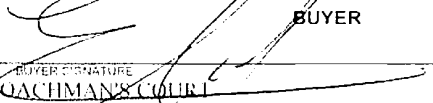
A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☒ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☒ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class M, 1 16. Total Assessed Value (of all parcels in transfer) 4,189,500
 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))
 QUEENS 1321 10

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

 BUYER		7/10/2018 DATE		BUYER'S ATTORNEY	
6 COACHMAN'S COURT BUYER SIGNATURE		LAST NAME		FIRST NAME	
STREET NUMBER		STREET NAME (AFTER SALE)		AREA CODE	
OLD WESTBURY		NY		TELEPHONE NUMBER	
CITY OR TOWN		STATE		ZIP CODE	
11568		SELLER		SELLER SIGNATURE	
DATE		DATE		DATE	

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

GABRIEL BLAU 2012 IRREVOCABLE TRUST

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

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Grantee (Buyer)

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Grantor (Seller)

LAST NAME / COMPANY

FIRST NAME

Grantee (Buyer)

LAST NAME / COMPANY

FIRST NAME

Grantor (Seller)

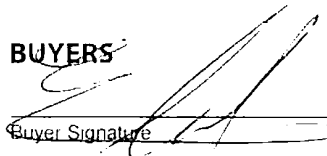
LAST NAME / COMPANY

FIRST NAME

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYERS


Buyer Signature _____ Date 7/10/2020

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____


Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

Buyer Signature _____ Date _____

SELLERS


Seller Signature _____ Date 7/10/2020

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

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Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

Seller Signature _____ Date _____

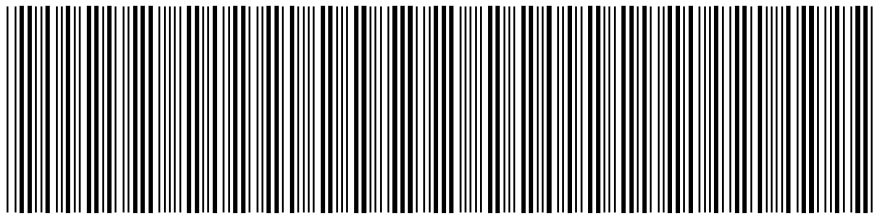
Seller Signature _____ Date _____

Seller Signature _____ Date _____

2020071000165201

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2013021500713002001EB5D1

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 4

Document ID: 2013021500713002

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

Document Page Count: 2

PRESENTER:

NEW YORK ABSTRACT SERVICES, INC
66 EAST OLD COUNTRY ROAD
(AIS WILL PICKUP) - CTSY-1146
MINEOLA, NY 11501
516-248-8115
jsantangelo@nyabstractinc.com

RETURN TO:

KAROL HAUSMAN & SOSNIK PC
600 OLD COUNTRY ROAD
GARDEN CITY, NY 11530

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	10	Entire Lot	43-25 52ND STREET
Property Type: RELIGIOUS STRUCTURE				

CROSS REFERENCE DATA

CRFN _____ or Document ID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

ALEXANDER BLAU
76-19 113TH STREET
FOREST HILLS, NY 11375

GRANTEE/BUYER:

THE GABRIEL BLAU 2012 IRREVOCABLE TRUST
76-19 113TH STREET
FOREST HILLS, NY 11375

x Additional Parties Listed on Continuation Page

FEES AND TAXES

Mortgage

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 47.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 0.00

NYS Real Estate Transfer Tax:

\$ 0.00

**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE
CITY OF NEW YORK**

Recorded/Filed 05-01-2013 10:23

City Register File No.(CRFN):

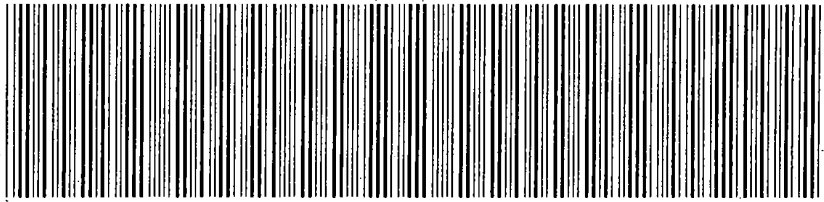
2013000172505



Annette McHill

City Register Official Signature

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2013021500713002001CB751

RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION) PAGE 2 OF 4

Document ID: 2013021500713002

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

PARTIES

GRANTEE/BUYER:

GABRIEL BLAU, TRUSTEE

76-19 113TH STREET

FOREST HILLS, NY 11375

THIS INDENTURE, made the 20th day of December, two thousand and twelve.

BETWEEN

ALEXANDER BLAU, residing at 76-19 113th Street, Forest Hills, New York 11375,

party of the first part, and

GABRIEL BLAU, as Trustee under **THE GABRIEL BLAU 2012 IRREVOCABLE TRUST**, with a trust address of 76-19 113th Street, Forest Hills, New York 11375,

party of the second part,

No Consideration

Block 1321
Lot 10

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots situate in Woodside Heights near the line of L.I.C. in Village of Wooside, Town of Newton, Queens County, L.I., N.Y." surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;
thence Easterly parallel with Queens Boulevard, 100 feet;
thence Northerly parallel with 52nd Street, 50 feet;
thence Westerly parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;
thence Southerly along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

In presence of:

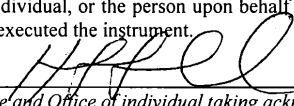

ALEXANDER BLAU

ACKNOWLEDGMENT IN NEW YORK STATE (RPL 309-a)

State of New York, County of Nassau

ss.:

On the 20th day of December, in the year 2012, before me, the undersigned, a Notary Public in and for said state, personally appeared **Alexander Blau** personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Signature and Office of individual taking acknowledgment

HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2017

**ACKNOWLEDGMENT OUTSIDE OF NEW YORK STATE (RPL 309-B)**

State of

Count of

ss.:

On the ___ day of _____ in the year _____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity (ies), that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the _____.
(Insert the city or other political subdivision and the state or country or other place the acknowledgment was taken).

Signature and Office of individual taking acknowledgment

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS
TITLE NO. CTSH-1146

ALEXANDER BLAU

TO

THE GABRIEL BLAU 2012
IRREVOCABLE TRUST

ACKNOWLEDGMENT BY SUBSCRIBING WITNESS

State of

County of

)

) ss.:

On the ___ day of _____ in the year _____ before me, the undersigned, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in (if the place of residence is in a city, include the street and street number, if any, thereof);

that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.
(If taken outside New York State insert city or political subdivision and state or country or other place acknowledgment taken And that said subscribing witness(es) made such appearance before the undersigned in _____

Signature and Office of individual taking acknowledgment

SECTION

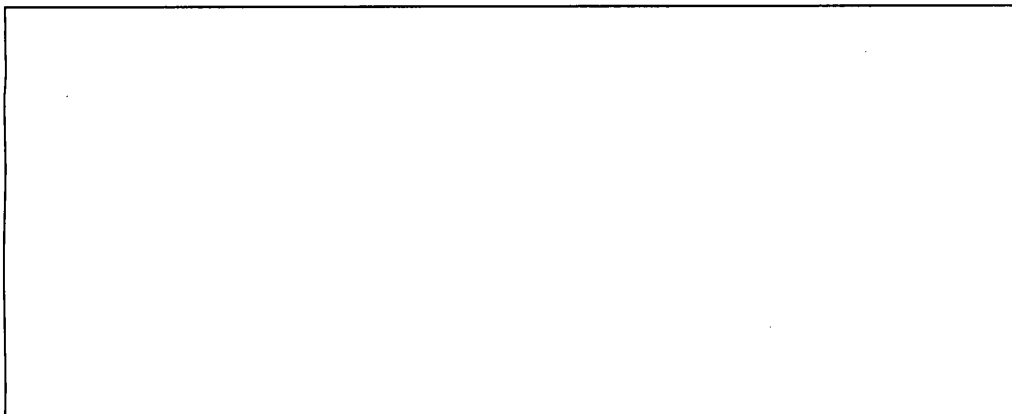
BLOCK 1321

LOT 10

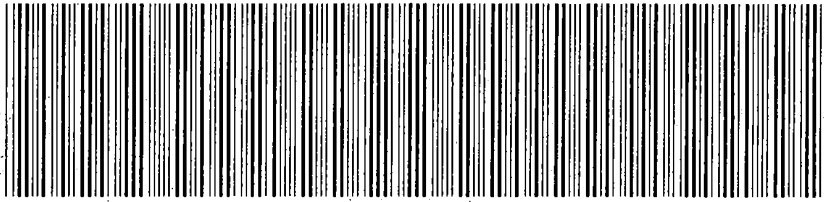
COUNTY OR TOWN Queens

RETURN BY MAIL TO:

Howard L. Sosnik, Esq.
Karol Hausman & Sosnik, P.C.
600 Old Country Road, Suite 505
Garden City, New York 11530



**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2013021500713002001S7B50

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2013021500713002

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

ASSOCIATED TAX FORM ID: 2012121900878

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING
RP - 5217 REAL PROPERTY TRANSFER REPORT
SMOKE DETECTOR AFFIDAVIT

1
2
1



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 43-25 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: THE GABRIEL BLAU 2012 IRREVOCABLE TRUST
- Additional Name: GABRIEL BLAU, TRUSTEE

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, **at the property address or to an alternate mailing address**. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature: _____ Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable:



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 43-25 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: THE GABRIEL BLAU 2012 IRREVOCABLE TRUST
- Additional Name: GABRIEL BLAU, TRUSTEE

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, **at the property address or to an alternate mailing address**. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature:

12/20/12

Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable: Gabriel Blau, Trustee

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-25 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name THE GABRIEL BLAU 2012 IRREVOCABLE TRUST
 LAST NAME / COMPANY FIRST NAME
 GABRIEL BLAU, TRUSTEE
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)
 LAST NAME / COMPANY FIRST NAME
 STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

4A. Planning Board Approval - N/A for NYC
 4B. Agricultural District Notice - N/A for NYC

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

Check the boxes below as they apply:
 6. Ownership Type is Condominium ☐
 7. New Construction on Vacant Land ☐

8. Seller Name BLAU ALEXANDER
 LAST NAME / COMPANY FIRST NAME
 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A <input type="checkbox"/> One Family Residential	C <input type="checkbox"/> Residential Vacant Land	E <input type="checkbox"/> Commercial	G <input type="checkbox"/> Entertainment / Amusement	I <input type="checkbox"/> Industrial
B <input type="checkbox"/> 2 or 3 Family Residential	D <input type="checkbox"/> Non-Residential Vacant Land	F <input type="checkbox"/> Apartment	H <input checked="" type="checkbox"/> Community Service	J <input type="checkbox"/> Public Service

SALE INFORMATION

10. Sale Contract Date 12 / 20 / 2012
 Month Day Year

11. Date of Sale / Transfer 12 / 20 / 2012
 Month Day Year

12. Full Sale Price \$ 0
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

A <input type="checkbox"/> Sale Between Relatives or Former Relatives
B <input type="checkbox"/> Sale Between Related Companies or Partners in Business
C <input type="checkbox"/> One of the Buyers is also a Seller
D <input type="checkbox"/> Buyer or Seller is Government Agency or Lending Institution
E <input type="checkbox"/> Deed Type not Warranty or Bargain and Sale (Specify Below)
F <input type="checkbox"/> Sale of Fractional or Less than Fee Interest (Specify Below)
G <input type="checkbox"/> Significant Change in Property Between Taxable Status and Sale Dates
H <input type="checkbox"/> Sale of Business is Included in Sale Price
I <input type="checkbox"/> Other Unusual Factors Affecting Sale Price (Specify Below)
J <input checked="" type="checkbox"/> None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class M 1

16. Total Assessed Value (of all parcels in transfer) 2 9 9 7 0 0

17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))
 QUEENS 1321 10

201212190087820102

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER

BUYER SIGNATURE
76-19 113TH STREET

DATE

STREET NUMBER

STREET NAME (AFTER SALE)

FOREST HILLS

STATE
NY

ZIP CODE
11375

CITY OR TOWN

STATE

ZIP CODE

BUYER'S ATTORNEY

KAROL HAUSMAN &

SOENIK PC

FIRST NAME

516

745-0066

AREA CODE

TELEPHONE NUMBER

SELLER

SELLER SIGNATURE

DATE

2012121900878201

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

STATE OF NEW YORK
STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-25 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name THE GABRIEL BLAU 2012 IRREVOCABLE TRUST
 LAST NAME / COMPANY FIRST NAME
 GABRIEL BLAU, TRUSTEE
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)
 LAST NAME / COMPANY FIRST NAME

 STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size FRONT FEET ☒ X DEPTH OR ACRES

6. Ownership Type is Condominium ☐
 7. New Construction on Vacant Land ☐

8. Seller Name BLAU ALEXANDER
 LAST NAME / COMPANY FIRST NAME

 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

- A ☐ One Family Residential C ☐ Residential Vacant Land E ☐ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☒ Community Service J ☐ Public Service

SALE INFORMATION

10. Sale Contract Date 12 / 20 / 2012
 Month Day Year

11. Date of Sale / Transfer 12 / 20 / 2012
 Month Day Year

12. Full Sale Price \$ 0
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

- A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

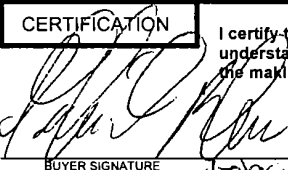

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class M, 1 16. Total Assessed Value (of all parcels in transfer) 2 9 9 7 0 0
 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional Identifier(s))
 QUEENS 1321 10

201212190087820101

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

 BUYER		12/20/12 DATE		KAROL HAUSMAN & BUYER'S ATTORNEY	
76-19 113TH STREET STREET NUMBER		FOREST HILLS STREET NAME (AFTER SALE)		SOSNICK PC SELLER	
CITY OR TOWN		NY STATE		11375 ZIP CODE	
		516 AREA CODE		745-0066 TELEPHONE NUMBER	
		 SELLER SIGNATURE		12/20/12 DATE	
		Alexander Blau			

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYERS

Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
Buyer Signature	Date
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Buyer Signature	Date
Buyer Signature	Date

SELLERS

Seller Signature	Date
Seller Signature	Date
Seller Signature	Date
Seller Signature	Date
Seller Signature	Date
Seller Signature	Date
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Seller Signature	Date
Seller Signature	Date

2012121900878201

2012121900878101

**AFFIDAVIT OF COMPLIANCE
WITH SMOKE DETECTOR REQUIREMENT
FOR ONE- AND TWO-FAMILY DWELLINGS**

State of New York)
) SS.:
County of NASSAU)

The undersigned, being duly sworn, depose and say under penalty of perjury that they are the grantor and grantee of the real property or of the cooperative shares in a cooperative corporation owning real property located at

43-25 52ND STREET

<u>QUEENS</u>		<u>New York,</u>	<u>1321</u>	<u>10</u>	<u>10</u>
<u>Borough</u>			<u>Block</u>	<u>Lot</u>	(the "Premises");

That the Premises is a one or two family dwelling, or a cooperative apartment or condominium unit in a one- or two-family dwelling, and that installed in the Premises is an approved and operational smoke detecting device in compliance with the provisions of Article 6 of Subchapter 17 of Chapter 1 of Title 27 of the Administrative Code of the City of New York concerning smoke detecting devices;

That they make affidavit in compliance with New York City Administrative Code Section 11-2105 (g). (The signatures of at least one grantor and one grantee are required, and must be notarized).

Alexander Blau
Name of Grantor (Type or Print)
Alex Blau
Signature of Grantor

Gabriel Blau, Trustee
Name of Grantee (Type or Print)
[Signature]
Signature of Grantee

Sworn to before me
this 20 date of December 20 12
HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2018

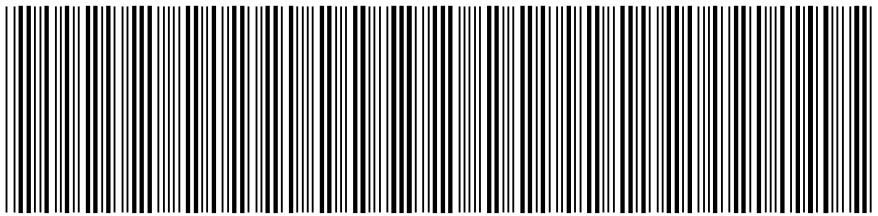
Sworn to before me
this 20 date of December 20 12
HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2018

These statements are made with the knowledge that a willfully false representation is unlawful and is punishable as a crime of perjury under Article 210 of the Penal Law.

NEW YORK CITY REAL PROPERTY TRANSFER TAX RETURNS FILED ON OR AFTER FEBRUARY 6th, 1990, WITH RESPECT TO THE CONVEYANCE OF A ONE- OR TWO-FAMILY DWELLING, OR A COOPERATIVE APARTMENT OR A CONDOMINIUM UNIT IN A ONE- OR TWO-FAMILY DWELLING, WILL NOT BE ACCEPTED FOR FILING UNLESS ACCOMPANIED BY THIS AFFIDAVIT.

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2013021500713001001EB595

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 4

Document ID: 2013021500713001

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

Document Page Count: 2

PRESENTER:

NEW YORK ABSTRACT SERVICES, INC
66 EAST OLD COUNTRY ROAD
(AIS WILL PICKUP) - CTSY-1146
MINEOLA, NY 11501
516-248-8115
jsantangelo@nyabstractinc.com

RETURN TO:

KAROL HAUSMAN & SOSNIK PC
600 OLD COUNTRY ROAD
GARDEN CITY, NY 11530

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	10	Entire Lot	43-25 52ND STREET
Property Type: RELIGIOUS STRUCTURE				

CROSS REFERENCE DATA

CRFN _____ or Document ID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

THE ALEXANDER BLAU REVOCABLE LIVING TRUST
76-19 113TH STREET
FOREST HILLS, NY 11375

x Additional Parties Listed on Continuation Page

GRANTEE/BUYER:

ALEXANDER BLAU
76-19 113TH STREET
FOREST HILLS, NY 11375

FEES AND TAXES

Mortgage

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 47.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 0.00

NYS Real Estate Transfer Tax:

\$ 0.00

**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE
CITY OF NEW YORK**

Recorded/Filed 05-01-2013 10:23

City Register File No.(CRFN):

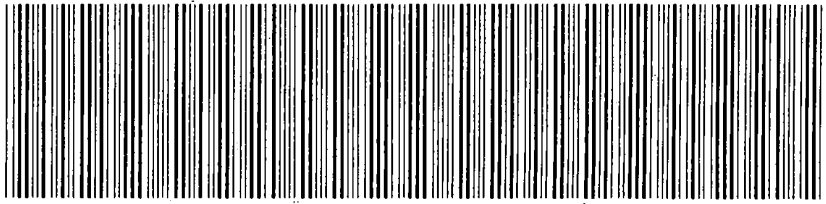
2013000172504



Annette McHill

City Register Official Signature

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2013021500713001001CB715

RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION)

PAGE 2 OF 4

Document ID: 2013021500713001

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

PARTIES

GRANTOR/SELLER:

ALEXANDER BLAU, TRUSTEE

76-19 113TH STREET

FOREST HILLS, NY 11375

THIS INDENTURE, made the 20th day of December, two thousand and twelve.

BETWEEN

ALEXANDER BLAU, as Trustee under **THE ALEXANDER BLAU REVOCABLE LIVING TRUST**, with
a trust address of 76-19 113th Street, Forest Hills, New York 11375,

No Consideration

party of the first part, and

ALEXANDER BLAU, residing at 76-19 113th Street, Forest Hills, New York 11375

party of the second part,

Block 1321
Lot 10

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots situate in Woodside Heights near the line of L.I.C. in Village of Wooside, Town of Newton, Queens County, L.I., N.Y." surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;
thence Easterly parallel with Queens Boulevard, 100 feet;
thence Northerly parallel with 52nd Street, 50 feet;
thence Westerly parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;
thence Southerly along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid. AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

In presence of:

**THE ALEXANDER BLAU REVOCABLE
LIVING TRUST**

By: 
ALEXANDER BLAU, Trustee

ACKNOWLEDGMENT IN NEW YORK STATE (RPL 309-a)

State of New York, County of Nassau

ss.:

On the 20th day of December, in the year 2012, before me, the undersigned, a Notary Public in and for said state, personally appeared **Alexander Blau** personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Signature and Office of individual taking acknowledgment

HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2014

**ACKNOWLEDGMENT OUTSIDE OF NEW YORK STATE
(RPL 309-B)**

State of

Count of

ss.:

On the ___ day of _____ in the year _____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity (ies), that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the _____.
(Insert the city or other political subdivision and the state or country or other place the acknowledgment was taken).

Signature and Office of individual taking acknowledgment

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS
TITLE NO. CTSC-1146

THE ALEXANDER BLAU
REVOCABLE LIVING TRUST

TO

ALEXANDER BLAU

ACKNOWLEDGMENT BY SUBSCRIBING WITNESS

State of

County of

)

) ss.:

On the ___ day of _____ in the year _____ before me, the undersigned, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in (if the place of residence is in a city, include the street and street number, if any, thereof);

that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

(If taken outside New York State insert city or political subdivision and state or country or other place acknowledgment taken And that said subscribing witness(es) made such appearance before the undersigned in _____)

Signature and Office of individual taking acknowledgment

SECTION

BLOCK 1321

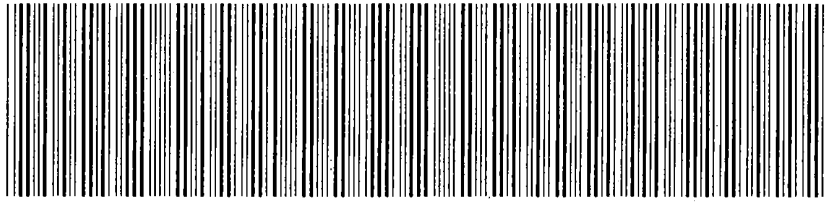
LOT 10

COUNTY OR TOWN Queens

RETURN BY MAIL TO:

Howard L. Sosnik, Esq.
Karol Hausman & Sosnik, P.C.
600 Old Country Road, Suite 505
Garden City, New York 11530

NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER



2013021500713001001S7B14

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF 1

Document ID: 2013021500713001

Document Date: 12-20-2012

Preparation Date: 02-15-2013

Document Type: DEED

ASSOCIATED TAX FORM ID: 2012121900872

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING
MISCELLANEOUS
RP - 5217 REAL PROPERTY TRANSFER REPORT
SMOKE DETECTOR AFFIDAVIT

1
33
2
1



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 43-25 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: BLAU, ALEXANDER

Additional Name: _____

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
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Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner: _____

Signature: _____ Date (mm/dd/yyyy) _____

Name and Title of Person Signing for Owner, if applicable: _____



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

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Additional Name:

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Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature: Alex Blau 12/20/12 Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable: Alexander Blau

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

PROPERTY INFORMATION

1. Property Location 43-25 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name BLAU ALEXANDER
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address
 LAST NAME / COMPANY FIRST NAME

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size FRONT FEET X DEPTH OR ACRES

6. Ownership Type is Condominium ☐

7. New Construction on Vacant Land ☐

8. Seller Name THE ALEXANDER BLAU REVOCABLE LIVING TRUST
 LAST NAME / COMPANY FIRST NAME

9. Check the box below which most accurately describes the use of the property at the time of sale:

A ☐ One Family Residential C ☐ Residential Vacant Land E ☐ Commercial G ☐ Entertainment / Amusement I ☐ Industrial
 B ☐ 2 or 3 Family Residential D ☐ Non-Residential Vacant Land F ☐ Apartment H ☒ Community Service J ☐ Public Service

SALE INFORMATION

10. Sale Contract Date 12 / 20 / 2012
 Month Day Year

11. Date of Sale / Transfer 12 / 20 / 2012
 Month Day Year

12. Full Sale Price \$ 0
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.

13. Indicate the value of personal property included in the sale

14. Check one or more of these conditions as applicable to transfer:

A ☐ Sale Between Relatives or Former Relatives
 B ☐ Sale Between Related Companies or Partners in Business
 C ☐ One of the Buyers is also a Seller
 D ☐ Buyer or Seller is Government Agency or Lending Institution
 E ☐ Deed Type not Warranty or Bargain and Sale (Specify Below)
 F ☐ Sale of Fractional or Less than Fee Interest (Specify Below)
 G ☐ Significant Change in Property Between Taxable Status and Sale Dates
 H ☐ Sale of Business is Included in Sale Price
 I ☐ Other Unusual Factors Affecting Sale Price (Specify Below)
 J ☒ None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

15. Building Class M, 1 16. Total Assessed Value (of all parcels in transfer) 2 9 9 7 0 0
 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional identifier(s))
 QUEENS 1321 10

201212190087220102

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYERBUYER SIGNATURE
76-19 113TH STREET

DATE

STREET NUMBER

STREET NAME (AFTER SALE)

FOREST HILLS

STATE
NYZIP CODE
11375

CITY OR TOWN

STATE

ZIP CODE

BUYER'S ATTORNEY

KAROL HAUSMAN &

SOSNICK PC

FIRST NAME

516

745-0066

AREA CODE

TELEPHONE NUMBER

SELLER

SELLER SIGNATURE

DATE

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BUYERS

_____ Buyer Signature	_____ Date
_____ Buyer Signature	_____ Date
_____ Buyer Signature	_____ Date
_____ Buyer Signature	_____ Date
_____ Buyer Signature	_____ Date
_____ Buyer Signature	_____ Date
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_____ Buyer Signature	_____ Date

SELLERS

_____ Seller Signature	_____ Date
_____ Seller Signature	_____ Date
_____ Seller Signature	_____ Date
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_____ Seller Signature	_____ Date
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2012121900872201

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



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6. Ownership Type is Condominium ☐

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 17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional Identifier(s))
 QUEENS 1321 10

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I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER			BUYER'S ATTORNEY		
BUYER SIGNATURE <i>Alex Blau</i>		DATE <i>12-20-12</i>	SIGNATURE <i>KAROL HAUSMAN & SORIN, PC</i>		
76-19 113TH STREET			516	745-0066	
STREET NUMBER		STREET NAME (AFTER SALE)	AREA CODE	TELEPHONE NUMBER	
FOREST HILLS				SELLER	
CITY OR TOWN	STATE NY	ZIP CODE 11375	SELLER SIGNATURE <i>Alex Blau, Trustee</i>		DATE <i>12-20-12</i>

2012121900872201

**AFFIDAVIT OF COMPLIANCE
WITH SMOKE DETECTOR REQUIREMENT
FOR ONE- AND TWO-FAMILY DWELLINGS**

State of New York)
) SS.:
County of NASSAU)

The undersigned, being duly sworn, depose and say under penalty of perjury that they are the grantor and grantee of the real property or of the cooperative shares in a cooperative corporation owning real property located at

43-25 52ND STREET

Street Address		Unit/Apt.
<u>QUEENS</u>	New York, <u>1321</u>	<u>10</u>
Borough	Block	Lot (the "Premises");

That the Premises is a one or two family dwelling, or a cooperative apartment or condominium unit in a one- or two-family dwelling, and that installed in the Premises is an approved and operational smoke detecting device in compliance with the provisions of Article 6 of Subchapter 17 of Chapter 1 of Title 27 of the Administrative Code of the City of New York concerning smoke detecting devices;

That they make affidavit in compliance with New York City Administrative Code Section 11-2105 (g). (The signatures of at least one grantor and one grantee are required, and must be notarized).

Alexander Blau, Trustee
Name of Grantor (Type or Print)
Alex Blau
Signature of Grantor

Alexander Blau
Name of Grantee (Type or Print)
Alex Blau
Signature of Grantee

Sworn to before me
this 20 date of December 20 12

HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2014

Sworn to before me
this 20 date of December 20 12

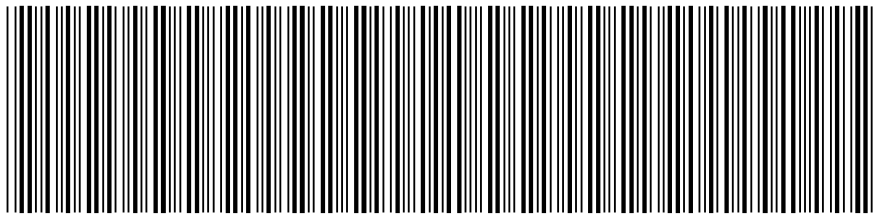
HOWARD L. SOSNIK
Notary Public, State of New York
No. 02SO5033683
Qualified in Nassau County
Commission Expires September 26, 2014

These statements are made with the knowledge that a willfully false representation is unlawful and is punishable as a crime of perjury under Article 210 of the Penal Law.

NEW YORK CITY REAL PROPERTY TRANSFER TAX RETURNS FILED ON OR AFTER FEBRUARY 6th, 1990, WITH RESPECT TO THE CONVEYANCE OF A ONE- OR TWO-FAMILY DWELLING, OR A COOPERATIVE APARTMENT OR A CONDOMINIUM UNIT IN A ONE- OR TWO-FAMILY DWELLING, WILL NOT BE ACCEPTED FOR FILING UNLESS ACCOMPANIED BY THIS AFFIDAVIT.

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**

This page is part of the instrument. The City Register will rely on the information provided by you on this page for purposes of indexing this instrument. The information on this page will control for indexing purposes in the event of any conflict with the rest of the document.



2010072700846001001E586B

RECORDING AND ENDORSEMENT COVER PAGE

PAGE 1 OF 4

Document ID: 2010072700846001

Document Date: 05-25-2010

Preparation Date: 07-27-2010

Document Type: DEED

Document Page Count: 2

PRESENTER:

NEW YORK ABSTRACT SERVICES, INC
66 EAST OLD COUNTRY ROAD
RICHMOND EX W/UP REJECTIONS - CTSY-1146
MINEOLA, NY 11501
516-248-8115
jsantangelo@nyabstractinc.com

RETURN TO:

KAROL HAUSMAN & SOSNIK PC
600 OLD COUNTRY ROAD
GARDEN CITY, NY 11530

PROPERTY DATA

Borough	Block	Lot	Unit	Address
QUEENS	1321	10	Entire Lot	4325 52ND STREET
Property Type: RELIGIOUS STRUCTURE				

CROSS REFERENCE DATA

CRFN _____ or Document ID _____ or _____ Year _____ Reel _____ Page _____ or File Number _____

PARTIES

GRANTOR/SELLER:

ALEX BLAU
7619 113TH STREET
FOREST HILLS, NY 11375

GRANTEE/BUYER:

THE ALEXANDER BLAU REVOCABLE LIVING TRUST
7619 113TH STREET
FOREST HILLS, NY 11375

x Additional Parties Listed on Continuation Page

FEES AND TAXES

Mortgage

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

TOTAL: \$ 0.00

Recording Fee: \$ 47.00

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 250.00

NYC Real Property Transfer Tax:

\$ 0.00

NYS Real Estate Transfer Tax:

\$ 0.00

**RECORDED OR FILED IN THE OFFICE
OF THE CITY REGISTER OF THE
CITY OF NEW YORK**

Recorded/Filed 08-17-2010 12:57

City Register File No.(CRFN):

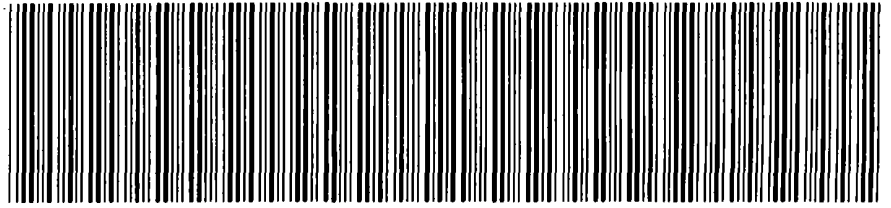
2010000277323



Annette McHill

City Register Official Signature

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2010072700846001001C5AEB

RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION) PAGE 2 OF

Document ID: 2010072700846001

Document Date: 05-25-2010

Preparation Date: 07-27-201

Document Type: DEED

PARTIES

GRANTEE/BUYER:

ALEXANDER BLAU, TRUSTEE
7619 113TH STREET
FOREST HILLS, NY 11375

THIS INDENTURE, made the 20th day of May, two thousand and 2010

BETWEEN **ALEX BLAU**, residing at 76-19 113th Street, Forest Hills, New York 11375

No Consideration

party of the first part, and

ALEXANDER BLAU, as Trustee under **THE ALEXANDER BLAU
REVOCABLE LIVING TRUST**, with a trust address of 76-19 113th Street, Forest
Hills, New York 11375,

Block 1321
Lot 10

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots, situate in Woodside Heights near the line of L.I.C. in Village of Wooside, Town of Newton, Queens County, L.I., N.Y." surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;

thence Easterly parallel with Queens Boulevard, 100 feet;

thence Northerly parallel with 52nd Street, 50 feet;

thence Westerly parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;


thence Southerly along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written. In presence of:



ALEX BLAU

ACKNOWLEDGMENT IN NEW YORK STATE (RPL 309-a)

State of New York, County of Queens

SS.:

On the 27th day of July, in the year 2014, before me, the undersigned, a Notary Public in and for said state, personally appeared Alex Blau personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Signature and Office of individual taking acknowledgment

MIKHAIL IBRAGIMOV
NOTARY PUBLIC, State of New York
No. 01IB6098295, Queens County
Term Expires September 8, 2011



**ACKNOWLEDGMENT OUTSIDE OF NEW YORK STATE
(RPL 309-B)**

State of	Count of
----------	----------

SS.:

On the ____ day of _____ in the year ____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity (ies), that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the _____. (Insert the city or other political subdivision and the state or country or other place the acknowledgment was taken).

Signature and Office of individual taking acknowledgment

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS
TITLE NO. CTSI-1146

Alex Blau

TO

The Alexander Blau Revocable Living Trust

ACKNOWLEDGMENT BY SUBSCRIBING WITNESS

State of _____)
County of _____) ss.:

On the ____ day of _____ in the year ____ before me, the undersigned, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in *(if the place of residence is in a city, include the street and street number, if any, thereof)*:

that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.
(☐ *if taken outside New York State insert city or political subdivision and state or country or other place acknowledgment taken* And that said subscribing witness(es) made such appearance before the undersigned in

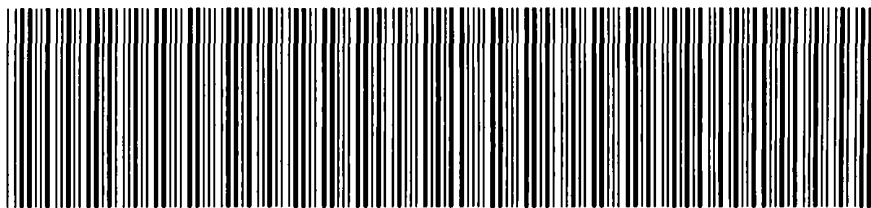
Signature and Office of individual taking acknowledgment

SECTION
BLOCK 1321
LOT 10
COUNTY OR TOWN Queens

RETURN BY MAIL TO:

Howard L. Sosnik, Esq.
Karol Hausman & Sosnik, P.C.
600 Old Country Road, Suite 505
Garden City, New York 11530

**NYC DEPARTMENT OF FINANCE
OFFICE OF THE CITY REGISTER**



2010072700846001001S96EA

SUPPORTING DOCUMENT COVER PAGE

PAGE 1 OF

Document ID: 2010072700846001

Document Date: 05-25-2010

Preparation Date: 07-27-201

Document Type: DEED

ASSOCIATED TAX FORM ID: 2010050400417

SUPPORTING DOCUMENTS SUBMITTED:

Page Count

DEP CUSTOMER REGISTRATION FORM FOR WATER AND SEWER BILLING

1

RP - 5217 REAL PROPERTY TRANSFER REPORT

2

SMOKE DETECTOR AFFIDAVIT

1

FOR CITY USE ONLY

C1. County Code C2. Date Deed Recorded / /
 Month Day Year

C3. Book OR C4. Page
 C5. CRFN



REAL PROPERTY TRANSFER REPORT

 STATE OF NEW YORK
 STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217NYC

(Rev 11/2002)

PROPERTY INFORMATION

1. Property Location 4325 52ND STREET QUEENS 11377
 STREET NUMBER STREET NAME BOROUGH ZIP CODE

2. Buyer Name THE ALEXANDER BLAU REVOCABLE LIVING TRUST
 LAST NAME / COMPANY FIRST NAME
ALEXANDER BLAU, TRUSTEE
 LAST NAME / COMPANY FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)
 LAST NAME / COMPANY FIRST NAME

 STREET NUMBER AND STREET NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR ☐ Part of a Parcel

5. Deed Property Size X OR ACRES
 FRONT FEET DEPTH

6. Ownership Type is Condominium ☐
 7. New Construction on Vacant Land ☐

8. Seller Name BLAU ALEX
 LAST NAME / COMPANY FIRST NAME

 LAST NAME / COMPANY FIRST NAME

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BUYER
Ally Plece 5/25/10
 BUYER SIGNATURE DATE
7619 113th Street
 STREET NUMBER STREET NAME (AFTER SALE)
Forest Hills N.Y. 11375
 CITY OR TOWN STATE ZIP CODE

BUYER'S ATTORNEY
Carol Hausman Sosnik
 LAST NAME FIRST NAME
516 745-0066
 AREA CODE TELEPHONE NUMBER
 SELLER
Ally Plece 5/25/10
 SELLER SIGNATURE DATE

2010050400417201

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BUYER**BUYER'S ATTORNEY**

BUYER SIGNATURE		DATE	LAST NAME		FIRST NAME
			516		745-0066
STREET NUMBER	STREET NAME (AFTER SALE)		AREA CODE		TELEPHONE NUMBER
					SELLER
CITY OR TOWN	STATE	ZIP CODE	SELLER SIGNATURE		DATE

2010050400417201

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C3. Book C4. Page

OR

C5. CRFN



RP - 5217NYC

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	STREET NUMBER	STREET NAME	BOROUGH	ZIP CODE

2. Buyer Name	THE ALEXANDER BLAU REVOCABLE LIVING TRUST	
	LAST NAME / COMPANY ALEXANDER BLAU, TRUSTEE	FIRST NAME

3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address (at bottom of form)

LAST NAME / COMPANY		FIRST NAME	
STREET NUMBER AND STREET NAME		CITY OR TOWN	STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed  # of Parcels OR  Part of a Parcel

4A. Planning Board Approval - N/A for NYC
4B. Agricultural District Notice - N/A for NYC

5. Deed
Property
Size

_____ X _____ OR _____ ACRES

FRONT FEET DEPTH

Check the boxes below as they apply:

6. Ownership Type is Condominium

7. New Construction on Vacant Land

8. Seller Name	BLAU	ALEX
	LAST NAME / COMPANY	FIRST NAME

A	<input type="checkbox"/>	One Family Residential	C	<input type="checkbox"/>	Residential Vacant Land	E	<input type="checkbox"/>	Commercial	G	<input type="checkbox"/>	Entertainment / Amusement	I	<input type="checkbox"/>	Industrial
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I	<input checked="" type="checkbox"/>	Other Unusual Factors Affecting Sale Price (Specify Below)
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15. Building Class M 1

16. Total Assessed Value (of all parcels in transfer) _____

17. Borough, Block and Lot / Roll Identifier(s) (If more than three, attach sheet with additional Identifier(s))

QUEENS 1321 10

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BUYER'S ATTORNEY

[illegible]

STREET NUMBER	STREET NAME (AFTER SALE)
---------------	--------------------------

CITY OR TOWN _____ STATE _____ ZIP CODE _____

LAST NAME FIRST NAME

516	745-0066
AREA CODE	TELEPHONE NUMBER

SELLER SIGNATURE _____ DATE _____

2010050400417201

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and understand that the making of any willful false statement of material fact herein will subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER**BUYER'S ATTORNEY**

BUYER SIGNATURE		DATE	LAST NAME		FIRST NAME
			516		745-0066
STREET NUMBER	STREET NAME (AFTER SALE)		AREA CODE	TELEPHONE NUMBER	
			SELLER		
CITY OR TOWN	STATE	ZIP CODE	SELLER SIGNATURE		DATE

2010050400417201

**AFFIDAVIT OF COMPLIANCE
WITH SMOKE DETECTOR REQUIREMENT
FOR ONE- AND TWO-FAMILY DWELLINGS**

State of New York)
County of Queens) SS.:

The undersigned, being duly sworn, depose and say under penalty of perjury that they are the grantor and grantee of the real property or of the cooperative shares in a cooperative corporation owning real property located at

4325 52ND STREET

Street Address		Unit/Apt.
<u>QUEENS</u>	New York, <u>1321</u>	<u>10</u>
Borough	Block	Lot

(the "Premises");

That the Premises is a one or two family dwelling, or a cooperative apartment or condominium unit in a one- or two-family dwelling, and that installed in the Premises is an approved and operational smoke detecting device in compliance with the provisions of Article 6 of Subchapter 17 of Chapter 1 of Title 27 of the Administrative Code of the City of New York concerning smoke detecting devices;

That they make affidavit in compliance with New York City Administrative Code Section 11-2105 (g). (The signatures of at least one grantor and one grantee are required, and must be notarized).

Alex Blau
Name of Grantor (Type or Print)
[Signature]
Signature of Grantor

The Alexander Blau Removable Living Trust
Name of Grantee (Type or Print)
[Signature]
Signature of Grantee
Alexander Blau, Trustee

Sworn to before me
this 25th date of May 2010

[Signature]
MIKHAIL IBRAGIMOV
NOTARY PUBLIC, State of New York
No. 011B6098295, Queens County
Term Expires September 8, 2011

Sworn to before me
this 25th date of May 2010

[Signature]
MIKHAIL IBRAGIMOV
NOTARY PUBLIC, State of New York
No. 011B6098295, Queens County
Term Expires September 8, 2011

These statements are made with the knowledge that a willfully false representation is unlawful and is punishable as a crime of perjury under Article 210 of the Penal Law.

NEW YORK CITY REAL PROPERTY TRANSFER TAX RETURNS FILED ON OR AFTER FEBRUARY 6th, 1990, WITH RESPECT TO THE CONVEYANCE OF A ONE- OR TWO-FAMILY DWELLING, OR A COOPERATIVE APARTMENT OR A CONDOMINIUM UNIT IN A ONE- OR TWO-FAMILY DWELLING, WILL NOT BE ACCEPTED FOR FILING UNLESS ACCOMPANIED BY THIS AFFIDAVIT.



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 4325 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: THE ALEXANDER BLAU REVOCABLE LIVING TRUST
- Additional Name: ALEXANDER BLAU, TRUSTEE

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, **at the property address or to an alternate mailing address**. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature:

Alexander Blau

5/25/10

Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable:



The City of New York
Department of Environmental Protection
Bureau of Customer Services
59-17 Junction Boulevard
Flushing, NY 11373-5108

Customer Registration Form for Water and Sewer Billing

Property and Owner Information:

- (1) Property receiving service: BOROUGH: QUEENS BLOCK: 1321 LOT: 10
- (2) Property Address: 4325 52ND STREET, QUEENS, NY 11377
- (3) Owner's Name: THE ALEXANDER BLAU REVOCABLE LIVING TRUST
- Additional Name: ALEXANDER BLAU, TRUSTEE

Affirmation:



Your water & sewer bills will be sent to the property address shown above.

Customer Billing Information:

Please Note:

- A. Water and sewer charges are the legal responsibility of the owner of a property receiving water and/or sewer service. The owner's responsibility to pay such charges is not affected by any lease, license or other arrangement, or any assignment of responsibility for payment of such charges. Water and sewer charges constitute a lien on the property until paid. In addition to legal action against the owner, a failure to pay such charges when due may result in foreclosure of the lien by the City of New York, the property being placed in a lien sale by the City or Service Termination.
- B. Original bills for water and/or sewer service will be mailed to the owner, **at the property address or to an alternate mailing address**. DEP will provide a duplicate copy of bills to one other party (such as a managing agent), however, any failure or delay by DEP in providing duplicate copies of bills shall in no way relieve the owner from his/her liability to pay all outstanding water and sewer charges. Contact DEP at (718) 595-7000 during business hours or visit www.nyc.gov/dep to provide us with the other party's information.

Owner's Approval:

The undersigned certifies that he/she/it is the owner of the property receiving service referenced above; that he/she/it has read and understands Paragraphs A & B under the section captioned "Customer Billing Information"; and that the information supplied by the undersigned on this form is true and complete to the best of his/her/its knowledge.

Print Name of Owner:

Signature: _____ Date (mm/dd/yyyy)

Name and Title of Person Signing for Owner, if applicable:

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 24th day of January, nineteen hundred and seventy seven
BETWEEN VOJTECH BLAU, 980 Madison Avenue, New York City, New York

REEL 966 PAGE 516

party of the first part, and ALEX BLAU, 43-25 52nd Street, Woodside,
Queens, N.Y. 11377

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever, all of his right, title and interest in and to ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots, situate in Woodside Heights near the line of L.I.C. in Village of Woodside, Town of Newtown, Queens County, L.I., N.Y." surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;
thence EASTERLY parallel with Queens Boulevard, 100 feet;
thence NORTHERLY parallel with 52nd Street, 50 feet;
thence WESTERLY parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;
thence SOUTHERLY along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.

Being the same premises heretofore conveyed by 43-23 Woodside Corp. to Vojtech Blau and Alex Blau, as tenants in common, by deed dated June 3, 1974 and recorded in the office of the Register, County of Queens in Reel 760, Page 1024 on June 5, 1974

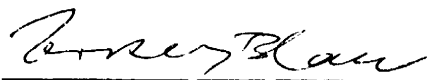
TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


Vojtech Blau

STATE OF NEW YORK, COUNTY OF NEW YORK

On the 24 day of January 19 77, before me personally came

VOJTECH BLAU

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that he executed the same.

S. Sherman Steinberg
S. SHERMAN STEINBERG
NOTARY PUBLIC, State of New York
No. 31-9172273
Qualified in New York County
Commission Expires March 30, 1978

STATE OF NEW YORK, COUNTY OF

On the day of 19, before me personally came

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that executed the same.

REEL 966 PAGE 517

STATE OF NEW YORK, COUNTY OF

On the day of 19, before me personally came to me known, who, being by me duly sworn, did depose and say that he resides at No.

that he is the of

the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation, and that he signed his name thereto by like order.

STATE OF NEW YORK, COUNTY OF

On the day of 19, before me personally came the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he resides at No.

that he knows

to be the individual described in and who executed the foregoing instrument; that he, said subscribing witness, was present and saw execute the same; and that he, said witness, at the same time subscribed his name as witness thereto.

VS
Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS
TITLE No.

VOJTECH BLAU

TO
ALEX BLAU

SECTION
BLOCK 1321
LOT 10
COUNTY ~~QUEEN~~ of Queens

Recorded At Request of The Title Guarantee Company

RETURN BY MAIL TO:

S. SHERMAN STEINBERG
25 West 43rd Street
New York, N.Y.

Zip No. 10036



RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

1271 JAN-31-77 3 5 4 11 11-12-NY

1411 JAN 31 AM 9 08

OFFICE OF CITY REGISTER
Queens County
RECORDED
Witness my hand
and official seal

Maxine E. Snyder
CITY REGISTER

RECEIVED
REAL ESTATE
JAN 31 1977
TRANSACTION
QUEENS COUNTY

REC. FEE 41.25
SST \$
RET \$ 1603
MAX PAID

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 3 day of June, nineteen hundred and seventy-four
 BETWEEN 43-23 WOODSIDE CORP., in care of Max Blitz, 131 Beach 126th
 Street, Belle Harbor, New York

party of the first part, and VOJTECH BLAU and ALEX BLAU, as tenants in common,
 980 Madison Avenue, New York, New York,

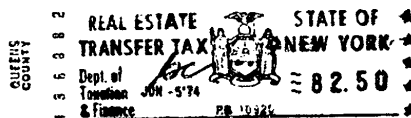
party of the second part,

REEL 760-1024

WITNESSETH, that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough and County of Queens, City and State of New York, known and designated as and by Lots 32 and 33 and part of Lot 31 in Block 2 on "Map of 276 Valuable Building Lots, situate in Woodside Heights near the line of L.I.C. in Village of Woodside, Town of Newtown, Queens County, L.I., N.Y." surveyed Aug. 1885 by Cornelius Hyatt, Surveyor and filed in Queens County Clerk's Office 10-4-1886 as Map No. 225, more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet northerly from the corner formed by the intersection of said easterly side of 52nd Street and the northerly side of Queens Boulevard;
 thence EASTERLY parallel with Queens Boulevard, 100 feet;
 thence NORTHERLY parallel with 52nd Street, 50 feet;
 thence WESTERLY parallel with Queens Boulevard, 100 feet to the easterly side of 52nd Street;
 thence SOUTHERLY along the easterly side of 52nd Street, 50 feet to the point or place of BEGINNING.



TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

[Signature]



43-23 WOODSIDE CORP.
 BY *[Signature]*

STATE OF NEW YORK, COUNTY OF

SS:

STATE OF NEW YORK, COUNTY OF

SS:

On the day of 19 , before me
personally came

On the day of 19 , before me
personally came

to me known to be the individual described in and who
executed the foregoing instrument, and acknowledged that
executed the same.

to me known to be the individual described in and who
executed the foregoing instrument, and acknowledged that
executed the same.

REF 760 MAY 10 1975

STATE OF NEW YORK, COUNTY OF

NEW YORK SS:

STATE OF NEW YORK, COUNTY OF

SS:

On the 3 day of JUNE 1974 , before me
personally came

On the day of 19 , before me
personally came

to me known, who, being by me duly sworn, did depose and
say that he resides at No. 131 Beach 126th Street

the subscribing witness to the foregoing instrument, with
whom I am personally acquainted, who, being by me duly
sworn, did depose and say that he resides at No.

Belle Harbor, N.Y.
that he is the president

that he knows

of 43-23 WOODSIDE CORP

to be the individual

the corporation described
in and which executed the foregoing instrument; that he
knows the seal of said corporation; that the seal affixed
to said instrument is such corporate seal; that it was so
affixed by order of the board of directors of said corpora-
tion, and that he signed his name thereto by like order.

described in and who executed the foregoing instrument;
that he, said subscribing witness, was present and saw
execute the same; and that he, said witness,
at the same time subscribed his name as witness thereto.

[Signature]

Commissioner of the State of New York
Commissioner of the State of New York
Commissioner of the State of New York

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS

TITLE NO. 05-34458

43-23 WOODSIDE CORP.

TO

VOJTECH BLAU and ALEX
BLAU

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDERWRITERS

Distributed by

**CHICAGO TITLE
INSURANCE COMPANY**

GUARANTEED TITLE DIVISION
AMERICAN TITLE INSURANCE COMPANY
Member of N.Y. Board of Title Underwriters
89-50 - 161st Street
JAMAICA, N. Y. 11432

SECTION 17X
BLOCK 1321
LOT 10
COUNTY OR TOWN

Recorded at Request of
CHICAGO TITLE INSURANCE COMPANY

Return by Mail to

S. SHERMAN STEINBERG
25 West 43rd Street
New York, N.Y.

Zip No. 10036

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

1974 JUN -5 AM 10 31

OFFICE OF CITY REGISTER
Queens County
RECORDED
Witness my hand
and official seal
Melvin Goldstein
ACTING CITY REGISTER

REC. FEE

SST

REF #

TAX PAID

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT.—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

REEL 677 PAGE 164

THIS INDENTURE, made the 17th day of April, nineteen hundred and seventy-three
BETWEEN JACOB HUETHER and FRANCESCA HUETHER, his wife, both residing
at ~~3543 BARNHART AVENUE, NEW YORK CITY~~ 3543 BARNHART AVENUE, Titusville, Florida

★ \$2 IN ORIGINAL

party of the first part, and 43-23 WOODSIDE CORP., c/o MAX BLITZ, 131 Beach 126th
Street, Belle Harbor, New York

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the at Newtown, in the Second Ward, Borough and County of Queens, City and State of New York, comprising lots nos. 32 and 33, and part of lot No. 31, in block 2, shown and designated on a certain map entitled, "Map of 276 valuable building lots situate on Woodside Heights near the line of Long Island City, in the Village of Woodside, Town of Newtown, Queens County, L.I., N.Y.", surveyed August 1885, by Cornelius Hyatt, Surveyor, and filed in the Office of the Clerk of the County of Queens October 4th, 1886, as Map No. 225, being more particularly bounded and described as follows: BEGINNING at a point on the Easterly side of 52nd Street, formerly called Hancock Place, distant 160 feet Northerly from the corner formed by the intersection of the said Easterly side of 52nd Street and the northerly side of Queens Boulevard; RUNNING THENCE Easterly parallel with Queens Boulevard, 100 feet; THENCE Northerly parallel with 52nd Street, 50 feet THENCE Westerly again parallel with Queens Boulevard 100 feet to the Easterly side of 52nd Street, and; THENCE Southerly along the Easterly side of 52nd Street, 50 feet to the point or place of BEGINNING. Said premises being known as and by the street number 43-23 and 43-25 52nd Street, Woodside, New York

Being the same premises as acquired by grantor herein by deeds dated August 9, 1923, and recorded August 13, 1923, in Liber 2535 cp 138 and dated January 9, 1931 and recorded January 13, 1931, in Liber 3453 cp 493.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Charles F. Brown
Carroll Wilson

Jacob Huether
Francesca Huether

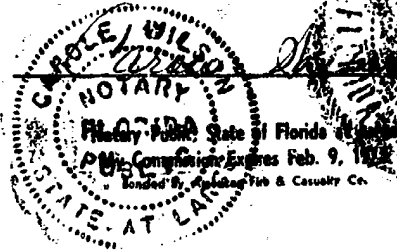
N.Y.S.
Stamps
\$72.05

1321
10

FLORIDA
STATE OF NEW YORK, COUNTY OF BREVARD
GREENE

On the 17th day of April 19 73, before me personally came
JACOB HUETHER and
FRANCESCA HUETHER

to me known to be the individuals described in and who executed the foregoing instrument, and acknowledged that they executed the same.



SS: STATE OF NEW YORK, COUNTY OF

On the day of 19 , before me personally came

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that they executed the same.

STATE OF NEW YORK, COUNTY OF

On the day of 19 , before me personally came
to me known, who, being by me duly sworn, did depose and say that he resides at No.

that he is the
of

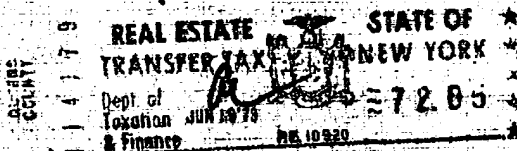
, the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation, and that he signed his name thereto by like order.

SS: STATE OF NEW YORK, COUNTY OF

On the day of 19 , before me personally came
the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he resides at No.

that he knows

to be the individual described in and who executed the foregoing instrument; that he, said subscribing witness, was present and saw execute the same; and that he, said witness, at the same time subscribed his name as witness thereto.



REF. 677 PAGE 165

OFFICE OF CITY REGISTRAR
Queens County,
RECORDED
Witness my hand
and official seal

State of Florida)
County of Brevard)

Ref 677 A-165-A-5054

I, Curtis R. Barnes, Clerk of the County of Brevard (and also Clerk of the Circuit Court for said County, the same being a Court of record of the aforesaid County having by law, a seal) do hereby certify that

Carole Wilson
acknowledgement, proof or affidavit, was at the time of taking said acknowledgement, proof or affidavit, a
Notary Public

and was as such, an officer of said state, duly commissioned and sworn and residing in said county well as to take and certify the proof and acknowledgement of deeds and other instruments in writing to be recorded in said state, and that full faith and credit are and ought to be given to his official acts; and I further certify that I am well acquainted with his handwriting, and I believe that the signature to the attached certificate is his genuine signature. The impression of the seal of said person who took said acknowledgement or proof is not required by law to be filed in this office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal this 12th day of April

Seal
12M-10-2-42

Curtis R. Barnes
Clerk Circuit Court

Bargain and Sale Deed

THIRD COVENANT AGAINST GRANTOR'S ACTS

TITLE NO. Q 122 537

JACOB HUETHER and FRANCESCA
HUETHER

TO

43-23 Woodside Corp.
C/O Max Blitz.

SECTION 24
BLOCK 1321
LOT 10
COUNTY OR TOWN Queens

LOG. REC.

Recorded

RETURN BY MAIL TO:

Seymour Frank Esq.
15 Park Row
N.Y.C. N.Y.

Zip No.

Recorded by

METROPOLITAN TITLE GUARANTY COMPANY



23770

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

1973 JUN 19 PM 12 27

JUN-19-73 8 28 65

OFFICE OF CITY RECORDER
Queens County
RECORDED
Witness my hand
and official seal

REC. FEE

SS: 6

RPT 4

11062

TAX PAID

State of Florida)
County of Brevard)

Ref 677 B-165-A-5391

I, Curtis R. Barnes, Clerk of the County of Brevard (and also Clerk of the Circuit Court for said County, the same being a Court of record of the aforesaid county having by law, a seal) do hereby certify that

Carole Wilson
acknowledgement, proof or affidavit, was at the time of taking said acknowledgement, proof or affidavit, a
Notary Public

duly commissioned and sworn and residing in said county and was as such, an officer of said state, duly authorized by the laws thereof, to take and certify the same, as well as to take and certify the proof and acknowledgement of deeds and other instruments in writing to be recorded in said state, and that full faith and credit are and ought to be given to his official acts; and I further certify that I am well acquainted with his handwriting, and verily believe that the signature to the attached certificate is his genuine signature. The impression of the seal of said person who took said acknowledgement or proof is not required by law to be filed in this office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal this 10th day of April 1973

Seal
10M-10-4-48

Curtis R. Barnes
Clerk Circuit Court

Bargain and Sale Deed

WITH COVENANT AGAINST GRANTORS ACTS

FILE NO. Q 122 537

JACOB HUETHER and FRANCESCA
HUETHER

TO

43-23 Woodside Corp.
c/o Max Blitz.

SECTION **24**

BLOCK 1321

LOT 10

COUNTY OR TOWN Queens

LOG. VER.

Recorded at **10:00 AM** on **10-10-73**
RETURN BY MAIL TO:

Seymour Frank Esq.
15 Park Row
N.Y.C. N.Y.

Zip No.

Recorded by

METROPOLITAN TITLE GUARANTY COMPANY



23770

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE

1973 JUN 19 PM 12 27

8 28 6 5

JUN-19-73

OFFICE OF CITY REGISTRY
Queens County
RECORDED
Witness my hand
and official seal

ASC. FEE

SS7 6

321 4

11062

TAX PAID

TAX PAID

Attachment E – Requestor Information

ATTACHMENT E

Section V Requestor Information

Requestor Information

43-25 52 LLC consists of the following members:

Xiao Ke Tang
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (646) 255-8960
jennyqu2006@yahoo.com

Xiao Jing Qu
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (917) 605-7628
jennyqu2006@yahoo.com

Jiansheng Yu
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (917) 968-7336
jennyqu2006@yahoo.com

A copy of the entity information from the NYS Department of State's Corporation & Business Entity Database is included with this attachment.

Consultant Information

Andrew Leung, P.E. from

YU & Associates Engineers, P.C.
611 Riverfront, 3rd Floor, Elmwood Park, NJ 07407
Phone: (201) 791-0075, EXT 105
Cell: (201) 310-2501
aleung@yu-associates.com

The Brownfield Cleanup Program (BCP) application documents are prepared by Andrew Leung P.E. (license #063018-01) of YU & Associates Engineers, P.C. A copy of authorization to provide professional engineering services in the state of New York for YU & Associates Engineers, P.C. (certificate # 0019110) is included in this attachment.

Requestor Certificates

**NEW YORK STATE DEPARTMENT OF STATE
DIVISION OF CORPORATIONS, STATE RECORDS AND UNIFORM COMMERCIAL CODE
FILING RECEIPT**

ENTITY NAME : 43-25 52 LLC
DOCUMENT TYPE : ARTICLES OF ORGANIZATION
ENTITY TYPE : DOMESTIC LIMITED LIABILITY COMPANY

DOS ID : 6410739
FILE DATE : 02/22/2022
FILE NUMBER : 220222003200
TRANSACTION NUMBER : 202202220003028-650406
EXISTENCE DATE : 02/22/2022
DURATION/DISSOLUTION : PERPETUAL
COUNTY : QUEENS



SERVICE OF PROCESS ADDRESS : 43-25 52 LLC
46-02 70TH STREET UNIT PH,
WOODSIDE, NY, 11377, USA
FILER : XIAO KE TANG
46-02 70TH STREET UNIT PH,
WOODSIDE, NY, 11377, USA

You may verify this document online at : <http://ecorp.dos.ny.gov>
AUTHENTICATION NUMBER : 100001122574

TOTAL FEES:	\$205.00	TOTAL PAYMENTS RECEIVED:	\$205.00
FILING FEE:	\$200.00	CASH:	\$0.00
CERTIFICATE OF STATUS:	\$0.00	CHECK/MONEY ORDER:	\$0.00
CERTIFIED COPY:	\$0.00	CREDIT CARD:	\$205.00
COPY REQUEST:	\$5.00	DRAWDOWN ACCOUNT:	\$0.00
EXPEDITED HANDLING:	\$0.00	REFUND DUE:	\$0.00

**ARTICLES OF ORGANIZATION
OF
43-25 52 LLC
Under Section 203 of the Limited Liability Company Law**

- FIRST:** The Name of the limited liability company is: **43-25 52 LLC**
- SECOND:** The county, within this state, in which the office of the limited liability company is to be located is **QUEENS**
- THIRD:** The Secretary of State is designated as agent of the limited liability company upon whom process against it may be served. The address within or without this state to which the Secretary of State shall mail a copy of any process against the limited liability company served upon him or her is:
**43-25 52 LLC
46-02 70TH STREET UNIT PH
WOODSIDE, NY 11377**

I certify that I have read the above statements, I am authorized to sign these Articles of Organization, that the above statements are true and correct to the best of my knowledge and belief and that my signature typed below constitutes my signature.

XIAO KE TANG (Signature)

**XIAO KE TANG, ORGANIZER
46-02 70TH STREET UNIT PH
WOODSIDE, NY 11377**

Filed by:

**XIAO KE TANG
46-02 70TH STREET UNIT PH
WOODSIDE, NY 11377**

LLC OPERATING AGREEMENT

This LLC Operating Agreement (this "Agreement") is made this 22 day of February, 2022.

I. Introductory Provisions

- 1. Name.** The name of the company shall be 43-25 52 LLC (the "Company").
- 2. Principal Place of Business.** The Company's principal place of business shall be at 43-25 52nd St Woodside NY 11377
- 3. Purpose.** The purpose of the Company is to engage in any lawful act or activity for which a Limited Liability Company may be formed within the State of New York
- 4. Registered Agent.** Xiao Ke Tang is the Company's initial registered agent. The registered office is 4602 70th St Unit PH Woodside NY 11377
- 5. Term.** The term of the Company commences on February 22, 2022 and shall continue until dissolved pursuant to this Agreement.
- 6. Fiscal Year.** The fiscal year of the Company shall end on December 31, 2022.

II. Membership Interests and Management

- 1. Initial Members.** The initial members are Xiao Ke Tang, Xiao Jing Qu and JianSheng Yu ("Members")
- 2. Delegation.** The Members may delegate the Members' powers but not the Members' responsibilities to officers or agents or employees of the Company.
- 3. Limitation of Liability.** The liability of the Member and each employee of the Company shall be limited to the fullest extent provided by law.

III. Capital Contributions

- 1. Initial Contributions.** The Members' initial capital contribution is described in Exhibit 1 of this Agreement.
- 2. Additional Contributions.** Exhibit 1 shall be amended to reflect any additional contributions by the Members.

IV. Allocation of Profits and Losses

- 1. Profits/Losses.** For accounting and tax purposes, net profits or net losses shall be determined on an annual basis. For tax purposes only, the Company shall be treated as a partnership.
- 2. Distributions.** The Company shall make distributions annually or such time(s) as the Company deems appropriate.

V. Salaries, Reimbursement, and Expenses

- 1. Organization Expenses.** All expenses in connection with the management and organization of the Company will be paid by the Company.
- 2. Salary.** No salary will be paid for the performance of duties under this Agreement unless approved by the Member.
- 3. Legal and Accounting Services.** The Company may obtain legal and accounting services to the extent reasonably necessary.

VI. Records and Reporting

- 1. Books.** The Company shall maintain complete and accurate accounts in proper books of all transactions.
- 2. Records.** The Company shall maintain at its principal office the following: (a) the full name and last known business or residence address of the Member; (b) records detailing the Member's capital account, including entries for contributions and distributions; (c) a copy of the certificate of formation of the Company and any and all amendments; (d) copies of all federal, state and local income tax or returns and reports for the six most recent taxable years; (e) a copy of this Agreement and any amendments; (f) copies of financial statements of the Company for the six most recent fiscal years; (g) the books or records as related to the internal affairs of the Company; and (h) true and full information regarding the status of the business and financial conditions of the Company, including the amount of cash and description of the agreed value of any property or services contributed or that will be contributed by the Member.
- 3. Accountings.** At the close of each fiscal year, the Company shall provide to the Member a full and accurate accounting of the affairs of the Company, including a balance sheet, a profit and loss statement, and a statement of the Member's equity showing the Member's capital account and distributions, if any, and any other information necessary for a complete and fair presentation of the financial condition of the Company.

VII. Dissolution and Liquidation

- 1. Dissolution.** The Company shall be dissolved upon the occurrence of any the following:
 - a. Decision of the Member.
 - b. Bankruptcy, death, dissolution, expulsion, or incapacity of the Member.
 - c. As required by law or judicial decree.
- 2. Winding Up and Distribution.** Upon dissolution of the Company, the Member shall wind up the Company's affairs, liquidate the property and assets, and terminate any remaining business. The assets and liabilities may be liquidated by selling the assets and distributing the net proceeds. The proceeds of the liquidation shall be distributed in this order: (1) the expenses of liquidation; (2) debts and liabilities of the Company (including debts of the Company to the Member or the Member's affiliates); (3) a reserve for contingent or unforeseen liabilities or obligations to third parties (to be held in escrow by an agent chosen by the Member); (4) to the Member.

VIII. Indemnification

- 1. Members.** The Members shall not be liable to the Company for damages or otherwise with respect to any actions taken in good faith and reasonably believed to be in the best interests of the Company unless the Member has committed fraud, gross negligence, willful or want misconduct, or a material breach of this Agreement or the fiduciary duties of the Member.
- 2. Indemnification by Company.** The Company shall indemnify, hold harmless and defend the Member in the Member's capacity as the Member, manager or officer from and against any loss, expense, damage, or injury sustained as a result of any acts or omissions arising out of the Member's activities on behalf of the Company or in the Company's interest unless the Member has committed fraud, gross negligence, willful or want misconduct, or a material breach of this Agreement or the fiduciary duties of the Member.

3. Indemnification by the Members. The Members agrees to indemnify and defend the Company and hold it harmless from and against any and all claims, liabilities, damages, costs, and expenses arising out of any breach of this Agreement by the Members.

4. Insurance. The Company shall have the power to purchase and maintain insurance on behalf of any person who is or was a Member or agent of the Company against any liability asserted against the person arising out of the Member's status as a Member or agent of the Company, regardless of whether the Company would have power to indemnify such person against liability under this Agreement or applicable law.

IX. Miscellaneous

1. Binding Effect. This Agreement shall be binding upon and inure to the benefit of the Member and the Member's respective legal representatives, heirs, administrators, executors, successors and permitted assigns.

2. Severability. If any provision of this Agreement is held to be invalid, illegal or unenforceable in whole or in part, the remaining provisions shall be enforceable to the fullest extent permitted by law and the offending portion shall be modified so as to be legal and enforceable in a manner that, as closely as possible, reflects the Member's original intent.

3. Governing Law. The terms of this Agreement shall be governed by and construed in accordance with the laws of the State of New York, not including its conflicts of law provisions.

4. Headings. The section headings herein are for reference purposes only and shall not otherwise affect the meaning, construction or interpretation of any provision in this Agreement.

5. Entire Agreement. This Agreement contains the entire understanding between the Member and the Company, and supersedes and cancels all prior agreements, whether oral or written, with respect to such subject matter.

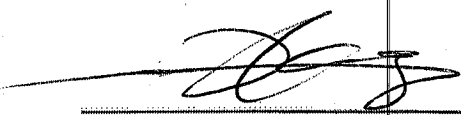
6. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all of which together, shall constitute one and the same document.

7. Amendment. This Agreement may be amended or modified only by a written agreement signed by the Member and the Company.

8. Notices. Any notice or other communication given or made under this Agreement shall be in writing and delivered by hand, sent by overnight courier service or sent by certified or registered mail, return receipt requested, to the address in Exhibit 1 or to another address as a party may subsequently designate by notice and shall be deemed given on the date of delivery.

9. Waiver. The Member shall not be deemed to have waived any provision of this Agreement or the exercise of any rights held under this Agreement unless such waiver is made expressly and in writing. Waiver by the Member of a breach or violation of any provision of this Agreement shall not constitute a waiver of any other subsequent breach or violation.

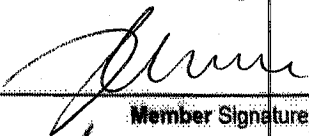
IN WITNESS WHEREOF, this Agreement has been executed and delivered as of the date first written above.



Member Signature

Xiao Ke Tang

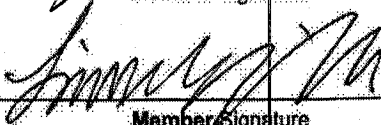
Member Full Name



Member Signature

Xiao Jing Qu

Member Full Name



Member Signature

Jiansheng Yu

Member Full Name

EXHIBIT 1

NAME AND ADDRESS		UNITS	PERCENTAGE INTEREST	CAPITAL CONTRIBUTION
Xiao Ke Tang 4602 70 th St Unit PH Woodside NY 11377			80%	
Xiao Jing Qu 4602 70 th St Unit PH Woodside NY 11377			10%	
Jiansheng Yu 2-63 150 St Whitestone NY 11357			10%	

Department of State

Division of Corporations

Entity Information

Return to Results

Return to Search

Entity Details



ENTITY NAME: 43-25 52 LLC	DOS ID: 6410739
FOREIGN LEGAL NAME:	FICTITIOUS NAME:
ENTITY TYPE: DOMESTIC LIMITED LIABILITY COMPANY	DURATION DATE/LATEST DATE OF DISSOLUTION:
SECTIONOF LAW: LIMITED LIABILITY COMPANY LAW - 203 LIMITED LIABILITY COMPANY LAW - LIMITED LIABILITY COMPANY LAW	ENTITY STATUS: ACTIVE
DATE OF INITIAL DOS FILING: 02/22/2022	REASON FOR STATUS:
EFFECTIVE DATE INITIAL FILING: 02/22/2022	INACTIVE DATE:
FOREIGN FORMATION DATE:	STATEMENT STATUS: CURRENT
COUNTY: QUEENS	NEXT STATEMENT DUE DATE: 02/29/2024
JURISDICTION: NEW YORK, UNITED STATES	NFP CATEGORY:

- ENTITY DISPLAY
- NAME HISTORY
- FILING HISTORY
- MERGER HISTORY
- ASSUMED NAME HISTORY

Service of Process Name and Address

Name: 43-25 52 LLC

Address: 46-02 70TH STREET UNIT PH, WOODSIDE, NY, UNITED STATES, 11377

Chief Executive Officer's Name and Address

Name:

Address:

Principal Executive Office Address

Address:

Registered Agent Name and Address

Name:

Address:

Entity Primary Location Name and Address

Name:

Address:

Farmcorpflag

Is The Entity A Farm Corporation: NO

Stock Information

Share Value	Number Of Shares	Value Per Share

Certificate of Professional Engineer and Engineering Form

**THE UNIVERSITY OF THE STATE OF NEW YORK
EDUCATION DEPARTMENT**


THIS IS TO CERTIFY THAT HAVING MET THE REQUIREMENTS OF SECTION 7210 OF THE
EDUCATION LAW AND IN ACCORDANCE THEREWITH THIS CERTIFICATE OF AUTHORIZATION
IS GRANTED WHICH ENTITLES

**YU & ASSOCIATES ENGINEERS PC
200 RIVERFRONT BLVD
ELMWOOD PARK, NJ 07407-0000**

TO PROVIDE PROFESSIONAL ENGINEERING SERVICES IN THE STATE OF NEW YORK FOR
THE PERIOD 12/01/2021 TO 11/30/2024.



CERTIFICATE NUMBER
0019110


BETTY ROSA
COMMISSIONER OF EDUCATION

The University of the State of New York
Education Department
Office of the Professions
REGISTRATION CERTIFICATE
Do not accept a copy of this certificate

License Number: 063018-01

Certificate Number: 1104226

LEUNG ANDREW
25 BIRCHWOOD LANE
BOONTON TOWNSHIP NJ 07005-0000



is registered to practice in New York State through 09/30/2023 as a(n)
PROFESSIONAL ENGINEER

LICENSEE/REGISTRANT

Joe S. Yeh
EXECUTIVE SECRETARY

Sharon S. Varoe
INTERIM COMMISSIONER OF EDUCATION

DEPUTY COMMISSIONER
FOR THE PROFESSIONS

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Attachment F – Requestor Eligibility Information

ATTACHMENT F

Section VI: Requestor Eligibility

43-25 52 LLC (the Requestor) has been the owner of the Site, located at 43-25 & 43-27 52nd Street, Queens, NY (Block 1321 Lot 7 and Lot 10), since September 13, 2022 for Lot 7 and May 06, 2022 for Lot 10, and is now requesting to participate in the Brownfield Cleanup Program as a “Volunteer” as defined in Environmental Conservation Law (ECL) 27-1405.1. The Requestor’s Liability arises solely as a result of site ownership.

During the Requestor’s period of site ownership, no activities have been in operation at the Site that would cause the release of hazardous materials. The Site had been used as Autoshop facility and church. Within one year of acquiring the Site, all tenants ceased operations and moved out, leaving the site unoccupied until the buildings were demolished. No manufacturing operations or other activities that could cause potential release of contaminants took place at the Site during the time period in which the Site was unoccupied.

Attachment G – Contact List Information

ATTACHMENT G

Section VI. Site Contact List

Item1

Mayor of the City of New York

Honorable Eric Adams
Mayor of the City of New York
City Hall, NY 10007
Tel: (212) 788-9600

Chair of New York City Planning Commission

Dan Garodnick
New York City Planning Commission
120-55 Queens Blvd., Room 201
Kew Gardens, NY 11424
Tel: (212) 720-3480
Fax: (212) 720-3488

Project Manager of NYSDEC Division of Environmental Remediation Remedial Bureau B, Section B

Gerard Burke
625 Broadway, Albany, NY
Tel: 518 402-9817

Queens Borough President

Donovan Richards
120-55 Queens Boulevard
Kew Gardens, NY 11424
Tel: (718) 286-3000
Fax: (718) 286-2885
Email: info@queensbp.org

Speaker, City Council

Adrienne E. Adams
165-90 Baisley Blvd
Jamaica, NY 11434
Tel: 718-206-2068

Chairman of Queens Community Board, Community Board 2

Morry Galonoy
43-22 50th Street, Suite 2B
Woodside, New York 11377
Tel: 718-533-8773
Fax: 718-533-8777

Email: qn02@cb.nyc.gov

District Manager of Queens Community Board, Community Board 2

Debra Markell Kleinert
43-22 50th Street, Suite 2B
Woodside, New York 11377
Tel: 718-533-8773
Fax: 718-533-8777
Email: qn02@cb.nyc.gov

NYC Comptroller

Brad Lander
1 Centre Street
New York, NY 10007
Tel: (212)-669-3916

NYC Public Advocate

Jumaane Williams
Public Advocate
1 Centre Street, 15th Floor
New York, NY 10007
Tel: (212)669-7200
Fax: (212)669-4701

NYC Councilmember

Tiffany Cabán
30-83 31st St.
Astoria, NY 11102
Tel: 718-274-4500
Fax: 347-597-8570

NYS Senator

Michael Gianaris
31-19 Newtown Avenue, Suite 402
Astoria, NY 11102
Tel: (718)-728-0960
Fax: (718)-728-0963

NYS Assemblyman

Brian Barnwell
55-19 69th Street
Maspeth, NY 11378
Tel: 718-651-3185

U.S. Senator

Kirsten Gillibrand
780 Third Avenue, Suite 2301
New York, NY 10017
Tel. (212) 688-6262
Fax (866) 824-6340

Chuck Schumer
780 Third Avenue, Suite 2601
New York, NY 10017
Tel: (212) 486-4430
Fax: (202) 228-2838

U.S. House of Representatives

Nydia M. Velazques
266 Broadway, Suite 201
Brooklyn, NY, 11211
Tel: (718) 599-3658

County Clerk

Audrey I. Pfeffer
Queens Supreme Court, Criminal Term
Correspondence Unit, Room E121
125-01 Queens Blvd
Kew Gardens, NY 11415

Director of Mayor's Office of Environmental Coordination

Hilary Semel
100 Gold Street - 2nd Floor
New York, NY 10038
Telephone: (212) 788-6801

Item 2

Owner:

Xiao Ke Tang
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (646) 022-8960
jennyqu2006@yahoo.com

Xiao Jing Qu
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (917) 605-7628
jennyqu2006@yahoo.com

Jiansheng Yu
46-02 70th street, Unit PH, Woodside, NY 11377
Phone: (917) 968-7336
jennyqu2006@yahoo.com

Adjacent Properties:

9-Story Mixed-Use Building
Owner: 52-01, LLC.
43-41 52 Street,
Woodside, New York 11377

2 2-story Residential Buildings
Owner: 53 ROOSEVELT LLC.
43-28 53 STREET
Woodside, New York 11377

Vacant Land
Owner: POMERANTZ, STEVEN M
4315A 52 STREET 11377
Woodside, New York 11377

2 3-story residential building
Owner: Unavailable Owner
43-26 53 Street
Woodside, New York 11377

2-story residential building
Owner: TASHI YANGZOM
43-20 53 STREET
Woodside, New York 11377

2-story residential building
Owner: FRAN CASSO
43-22 53 STREET
Woodside, New York 11377

Item 3

Newspapers:

New York Times
229 West 43rd Street
New York, NY 10036
Tel: (212) 556-3622

New York Daily News
450 W 33rd St
New York, NY 10001
Tel: (212) 210-2100
Fax: (212) 643-7831

New York Post
1211 Avenue of the Americans
New York, NY 10036-8790
Tel: (212) 930-8700

Sing Tao Daily
188 Lafayette St
New York, NY 10013
Tel: (212) 699-3800

Queens Chronicle
62-33 Woodhaven Boulevard
P.O. Box 74-7769
Tel: (718) 205-8000, ext. 114
Fax: (718) 205-0150

NY 1 News
75 Ninth Avenue
New York, NY 10011

Times-Ledger Newspapers
41-02 Bell Boulevard, 2nd Floor
Bayside, NY 11361
Tel: (718) 260-4545

Queens Tribune
150-50 14th Road
Whitestone, NY 11357
Tel: (718) 357-7400

Item 4

Public Water Supplier

Ms. Emily Lloyd
NYC Department of Environmental Protection
Bureau of Water and Sewer Operations
59-17 Junction Boulevard
Flushing, NY 11373

Item 6

School and Day Care

Seyed Hesam Karimi
Principal
Razi School
55-11 Queens Blvd
Woodside, NY 11377
Tel: 718-779-0711

Jacques Patterson
Principal
Greater New York Academy of Seventh-day Adventists
4132 58th Street
Woodside, NY 11377
Tel: 718-639-1752

High Five Early Childhood Center
50-11 Queens Blvd
Queens, NY 11377
Tel: (646) 580-2431

Pena-Jorge
Principal
P.S. 11 - The Kathryn M. Phelan School
54-25 Skillman Avenue
Woodside, NY 11377
Tel: (718) 779-2090

Kids Rainbowland Nursery School
39-60 54th St,
Queens, NY 11377
Tel: (718) 899-7590

Little Friends School Sunnyside
43-42 47th Steet
Queens, NY 11104
Tel: (718)786-4644

P.S. 150 Queens
41-12 44th St
Queens, NY 11104
Tel: (718)784-2252

The Children's Lab School
45-45 42nd St
Queens, NY 11104
Tel (718)361-3300

Item 7

Document Repository

Queens Public Library at Woodside
54-22 Skillman Ave
Woodside, NY 11377
Tel: (718) 429-4700

Queens Community Board, Community Board 2

Debra Markell Kleinert
District Manager
43-22 50th Street, Suite 2B
Woodside, New York 11377
Tel: 718-533-8773
Fax: 718-533-8777
Email: qn02@cb.nyc.gov

LETTER OF ACKNOWLEDGMENT

Chengyu Hang

From: Chengyu Hang
Sent: Wednesday, February 1, 2023 11:19 AM
To: QN02@cb.nyc.gov (CB)
Cc: Sixuan Wang
Subject: RE: Confirmation of Brownfield Cleanup Program document repository of 43-25 52nd Street

Thank you for your confirmation!

Chengyu
Supervising Engineer



611 River Drive, 3rd Floor
Elmwood Park, NJ 07407
O: 201.791.0075 **M:** 201.873.7543
www.yu-associates.com

MBE – SBE – DBE

From: QN02@cb.nyc.gov (CB) <QN02@cb.nyc.gov>
Sent: Tuesday, January 31, 2023 11:22 AM
To: Chengyu Hang <chang@yu-associates.com>
Cc: Sixuan Wang <swang@yu-associates.com>
Subject: Confirmation of Brownfield Cleanup Program document repository of 43-25 52nd Street

[EXTERNAL]

Hi

Received.

Sincerely,
Debra Markell Kleinert
District Manager, CB 2Q
43-22 50th Street, 2nd Floor
Woodside, NY 11377
Tel: (718) 533-8773
Fax: (718) 533-8777
Email: qn02@cb.nyc.gov
CB2 Website: www.nyc.gov/queenscb2
Facebook: <https://facebook.com/Queenscb2>
Twitter: <https://twitter.com/Queenscb2>

From: Chengyu Hang <chang@yu-associates.com>

Sent: Tuesday, January 31, 2023 11:19 AM

To: QN02@cb.nyc.gov (CB) <QN02@cb.nyc.gov>

Cc: Sixuan Wang <swang@yu-associates.com>

Subject: [EXTERNAL] Confirmation of Brownfield Cleanup Program document repository of 43-25 52nd Street

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To whom it may concern,

My name is Chengyu Hang, and I'm an environmental engineer from YU & Associates. We currently have a job site located at 43-25 52nd Street, Woodside NY that enrolls in the New York State Brownfield Cleanup Program. Per the program regulations, we need to file the related environmental reports and associated applications to the local community board as a document repository.

Could you please confirm through email if Queens Community Board 2 can house the document? If storage spacing is a concern, we can also provide electronic copy of the file.

Thanks,

Chengyu Hang
Supervising Engineer



611 River Drive, 3rd Floor
Elmwood Park, NJ 07407
O: 201.791.0075 **M:** 201.873.7543
www.yu-associates.com

MBE – SBE – DBE

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Chengyu Hang

From: Chengyu Hang
Sent: Wednesday, February 1, 2023 11:21 AM
To: 'Pei, Jingru'
Subject: RE: Confirmation of electronic document repository 43-25 52nd Street BCP

Thank you for the confirmation!

Best,
Chengyu Hang
Supervising Engineer



611 River Drive, 3rd Floor
Elmwood Park, NJ 07407
O: 201.791.0075 **M:** 201.873.7543
www.yu-associates.com

MBE – SBE – DBE

From: Pei, Jingru <Jingru.Pei@queenslibrary.org>
Sent: Friday, January 27, 2023 4:07 PM
To: Chengyu Hang <chang@yu-associates.com>
Subject: Re: Confirmation of electronic document repository 43-25 52nd Street BCP

[EXTERNAL]

Thanks, Chengyu, for contacting us re: Brownfield Program! Yes, we can only hold the electronic document repository (on flash drive) at this location.

Jingru Pei

Queens Public Library at Woodside

54-22 Skillman Avenue

Woodside, NY 11377

718-429-4700 Fax: 718-429-2576

www.queenslibrary.org

From: Chengyu Hang <chang@yu-associates.com>
Sent: Friday, January 27, 2023 3:28 PM
To: Pei, Jingru <Jingru.Pei@queenslibrary.org>
Cc: Sixuan Wang <swang@yu-associates.com>
Subject: Confirmation of electronic document repository 43-25 52nd Street BCP

Hi Jingru,

This is Chengyu from YU & Associates, it was nice speaking with you today. Per our conversation, we currently have a job site that enrolls into the New York State Brownfield Program, located at 43-25 52nd Street, Woodside NY. As per the Brownfield Program regulations, we need to file the environmental reports and application documents to the local library.

We understand that the Woodside library has limited space for paper copy archives, please confirm that electronic document repository is feasible, thanks!

Thanks,
Chengyu Hang
Supervising Engineer



611 River Drive, 3rd Floor
Elmwood Park, NJ 07407
O: 201.791.0075 **M:** 201.873.7543
www.yu-associates.com

MBE – SBE – DBE

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