

Principals

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June 5, 2025

via email: matthew.hubicki@dec.ny.gov

New York State Department of Environmental Conservation
Division of Environmental Remediation
625 Broadway, Albany, New York 12233

RE: 120 & 130 Midland Avenue
NYSDEC BCP C360195
Port Chester, New York
SESI Project No. 12365C

Dear Mr. Hubicki:

The scope of work described below details the planned development for 120 Midland Ave, Port Chester, New York which is located on Site No. C360195 (the "Site") that achieved a Track 4 Commercial Use remedy in December 2023 in the New York State Department of Environmental Conservation (NYSDEC) Brownfield Cleanup Program (BCP).

After completion of the remedial work, some contamination was left at this site, which is referred to as "remaining contamination". Institutional and Engineering Controls (ICs and ECs) have been incorporated into the site remedy to control exposure to remaining contamination to ensure protection of public health and the environment. An Environmental Easement was granted to the NYSDEC and recorded with the Westchester County Clerk, which requires compliance with the NYSDEC-approved Site Management Plan ("SMP") and all ICs and ECs placed on the site.

1.0 SUMMARY OF ENVIRONMENTAL CONDITIONS

The Site has achieved a Track 4 remedy and received a Certificate of Completion (COC) on December 29, 2023. Soils were excavated down to approximately 4 ft-bgs beneath footprint of the existing Floor and Decor building located on the portion of the Site designated as 130 Midland Avenue (See C-1). Eighteen (18) documentation end-point samples were collected at a minimum frequency of 1 per 5,000 ft² in each grid in accordance with Interim Remedial Measures Work Plan and analyzed for Target Compound List (TCL)/Target Analyte List (TAL)+30 and per- and

polyfluoroalkyl substances (PFAS). End-point documentation samples identified Commercial SCO exceedances benzo(a)pyrene in nine (9) samples, barium in two (2) samples, cadmium in one (1) sample, and PCBs in one (1) sample.

Exposure to remaining contamination at the Site is prevented by an engineered composite cover system (CCS) placed over the Site. A cover system was installed to prevent exposure to remaining soil contamination. Approximately 5.90 of 6.195 acres of the Site was covered by at least four (4) inches of concrete or asphalt. Approximately 0.29 acres in the southwestern portion of the Site was capped with 12 inches of clean soil meeting the Commercial SCO. Figure 3.1 of the SMP presents the Site capping Plan, and Figure 3.2 of the SMP presents Site Demarcation Plan (attached). The cap is inspected annually and the observations are presented in the annual PRR.

2.0 DESCRIPTION OF WORK TO BE PERFORMED

The following is a summary of work to be performed to redevelop the portion of the Site designated as 120 Midland Avenue. All work performed per the scope of work below will be conducted in general accordance with the Excavation Work Plan (EWP) that is included in Appendix D of the SMP for the Site. The detailed development is depicted on engineering drawings C-1- Cover Sheet, C-10 Removal Plan, C-101 Site Plan, C201 Striping & Sign Plan, C-301 Grading and Utility Plan, C-401 Erosion & Sediment Control Plan, C-501 Details, C502 Details, C503 Details, L101 Landscape Plan, L102 Details, and LP-101 Lighting Photometric Plan, prepared by DTS Provident Design Engineering, LLP. Specifically, the development work includes the following.

- A. Excavation of the existing asphalt cap.
- B. Excavation for foundations and utilities.
- C. Excavation for footings and foundation, using ground improvement rapid compaction will be utilized in the building foundation footprint to achieve proper soil density for the structural load.
- D. Utility excavation and landscaped areas will have the required demarcation fabric installed and then clean fill for the top 12-inches.
- E. Installation of a final concrete foundation cap, asphalt cap, and landscaped area cap.

3.0 APPLICABLE COMPONENTS OF THE EXCAVATION WORK PLAN (EWP)

- A. **HASP:** A HASP for the Site that was provided in Appendix E of the SMP to provide a mechanism for establishing safe working conditions during remedial action activities. The HASP will be adhered to during all ground intrusive activities.
- B. **Soil Screening Methods:** Soil screening will be performed when invasive work is done and will include all excavation and invasive work performed during development, such as excavations for foundations and utility work as specified in Section C-2 of the EWP.
- C. **Soil Excavation and Staging Methods:** All ground intrusive work will be conducted under the oversight of a Qualified Environmental Professional (QEP) as specified in Section C-4 of the EWP. Excavated soils will either be direct loaded for off-site disposal or stockpiled on site. If stockpiled on Site, the material will be temporarily staged in stockpiles and managed as specified in Section C-3 of the EWP. The contractor will place a call to the "Call Before You Dig" number prior to the start of work to mark out the subsurface utilities in the work areas.
- E. **Soil Testing:** The soils planned for off-site disposal will be tested per the receiving facility requirements. The sampling will be conducted either in-situ prior to start of excavation or from the excavated soils stockpiles.
- F. **Materials Transport Off-Site:** Per Section C-5 of the EWP transport of all materials will be performed by licensed haulers in accordance with appropriate local, State, and Federal regulations, including 6 NYCRR Part 364. Haulers will be appropriately licensed and trucks properly placarded. Per Section C-6 of the EWP all material excavated and removed from the Site will be treated as contaminated and regulated material and will be transported and disposed off-Site in a permitted facility in accordance with all local, State and Federal regulations. If disposal of material from this Site is proposed for unregulated off-Site disposal (i.e. clean soil removed for development purposes), a formal request with an associated plan and approval by the NYSDEC project manager. Estimated quantities and a breakdown by class of disposal facility and disposal facilities approvals will be obtained and presented to NYSDEC prior to removal.
- G. **Materials Reuse On-Site:** Re-use of materials is not anticipated. However, if re-use of on-site material is desired, the requirements of Section C-7 of the EWP will be adhered to.
- H. **Fluid Management:** The planned excavation is shallow and therefore, groundwater extraction and treatment is not anticipated. However, if encountered, the requirements of Section C-8 of the EWP will be adhered to.

- I. **Cover System Restoration:** After the completion of soil removal and any other invasive activities the cover system will be restored in a manner that complies with the decision document and Section C-9 of the EWP.
- J. **Backfill from Off-site Sources:** All materials proposed for import onto the Site will be approved by the qualified environmental professional, as defined in 6 NYCRR Part 375, and will be in compliance with provisions in Section C-10 of the EWP prior to receipt at the Site. A Request to Import/Reuse Fill or Soil form, which can be found at <http://www.dec.ny.gov/regulations/67386.html>, will be prepared and submitted to the NYSDEC project manager allowing a minimum of 5 business days for review.
- K. **Stormwater Pollution Prevention:** Erosion control measures for the Site are specified in the C-401 Erosion & Sediment Control Plan and as required in Section C-11 of the EWP.
- L. **Excavation Contingency Plan:** If underground tanks or other previously unidentified contaminant sources are found during post-remedial subsurface excavations or development related construction, excavation activities will be suspended until sufficient equipment is mobilized to address the condition. The NYSDEC project manager will be promptly notified of the discovery as required in Section C-12 of the EWP.
- M. **CAMP Monitoring:** The Community Air Monitoring Plan (CAMP) provided in Appendix E of the SMP and Section C-13 of the EWP will be implemented per NYSDEC requirements during all ground intrusive work. This will require air monitoring equipment to be set up both upwind and downwind of the work area.
- N. **Odor and Dust Control Plan:** All necessary means will be employed to prevent on- and off-Site nuisances. Provision of Section C-14 and C-15 of the EWP will be adhered to.
- O. **The SMP will be revised to include the plan of the new cap once the construction is completed.**

4.0 REPORTING

Weekly reports will be submitted to NYSDEC and NYSDOH Project Managers on Monday following the end of the week of the reporting period and will include:

- Activities relative to the Site during the previous reporting period and those anticipated for the next reporting period, including a quantitative presentation of work performed (i.e. tons of material exported and imported);
- Description of approved activity modifications, including changes of work scope and/or schedule;

- Sampling results received following internal data review and validation, as applicable;
- An update of the remedial schedule including the percentage of project completion, unresolved delays encountered or anticipated that may affect the future schedule, and efforts made to mitigate such delays;
- A description of any CAMP exceedances recorded, and actions taken to remedy any exceedances (exceedances will be reported to the NYSDEC and NYSDOH project managers on a daily basis as well), and;
- In addition to the weekly reports, a description of any CAMP, noise, odor, and/or vibration complaints will be reported to the NYSDEC and NYSDOH project managers on a daily basis.

5.0 WORK SCHEDULE

The planned development will take 16 months to complete and is scheduled to commence July 1, 2025 and to be completed by October 31, 2026.

Sincerely,

SESI CONSULTING ENGINEERS



Fuad Dahan, PE
Principal

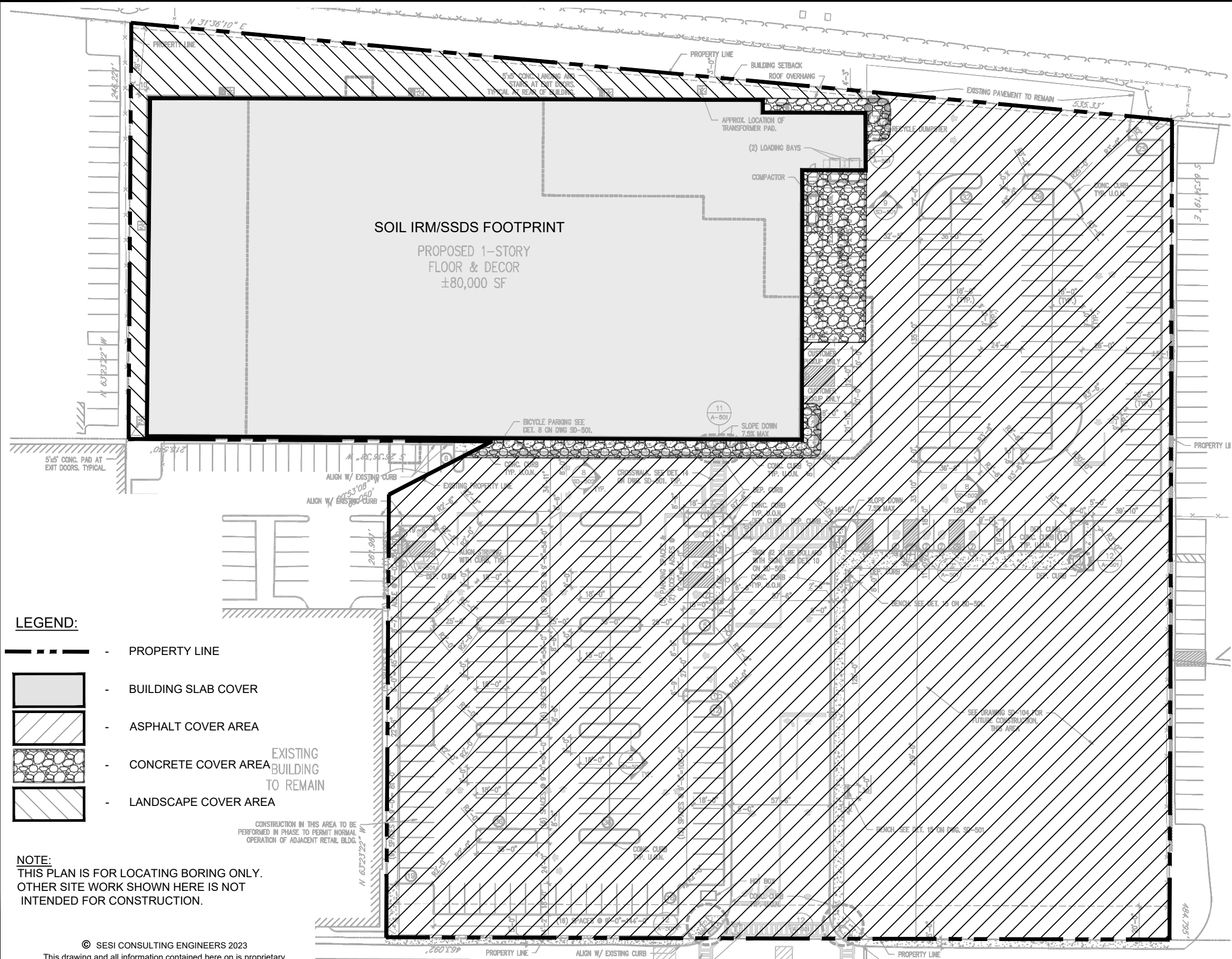
Attachment:

Figures (Site Capping Plan and Site Demarcation Plan)

N:\PROJECTS\12365C-Port Chester NY\Reports\Development Work Plan\Project#12365C Development Workplan 130 Midland Ave_2025.06.03
CLEAN.docx

Figures

N:\ACAD\12365\CADD\12365.DWG SITE CAPPING PLAN (11-08-2023).DWG 11/08/23 04:25:47PM, alan.ward, LAYOUT: FIG-4.4 SITE CAPPING PLAN



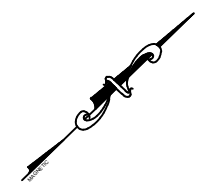
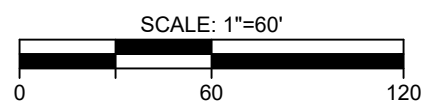
LEGEND:

- PROPERTY LINE
- BUILDING SLAB COVER
- ASPHALT COVER AREA
- CONCRETE COVER AREA
- LANDSCAPE COVER AREA

NOTE:
THIS PLAN IS FOR LOCATING BORING ONLY.
OTHER SITE WORK SHOWN HERE IS NOT
INTENDED FOR CONSTRUCTION.

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REFERENCE
1. EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM "SITE LAYOUT" PREPARED BY PAPP
ARCHITECTS 188 EAST POST ROAD, WHITE PLAINS NY 10601, DATED 02-07-2002.



project: 130 MIDLAND AVENUE
PARCEL #143.53-1-5
PORT CHESTER, WESTCHESTER COUNTY,
NEW YORK 10573
BCP SITE No. C360195

job no: 12365
drawing no:

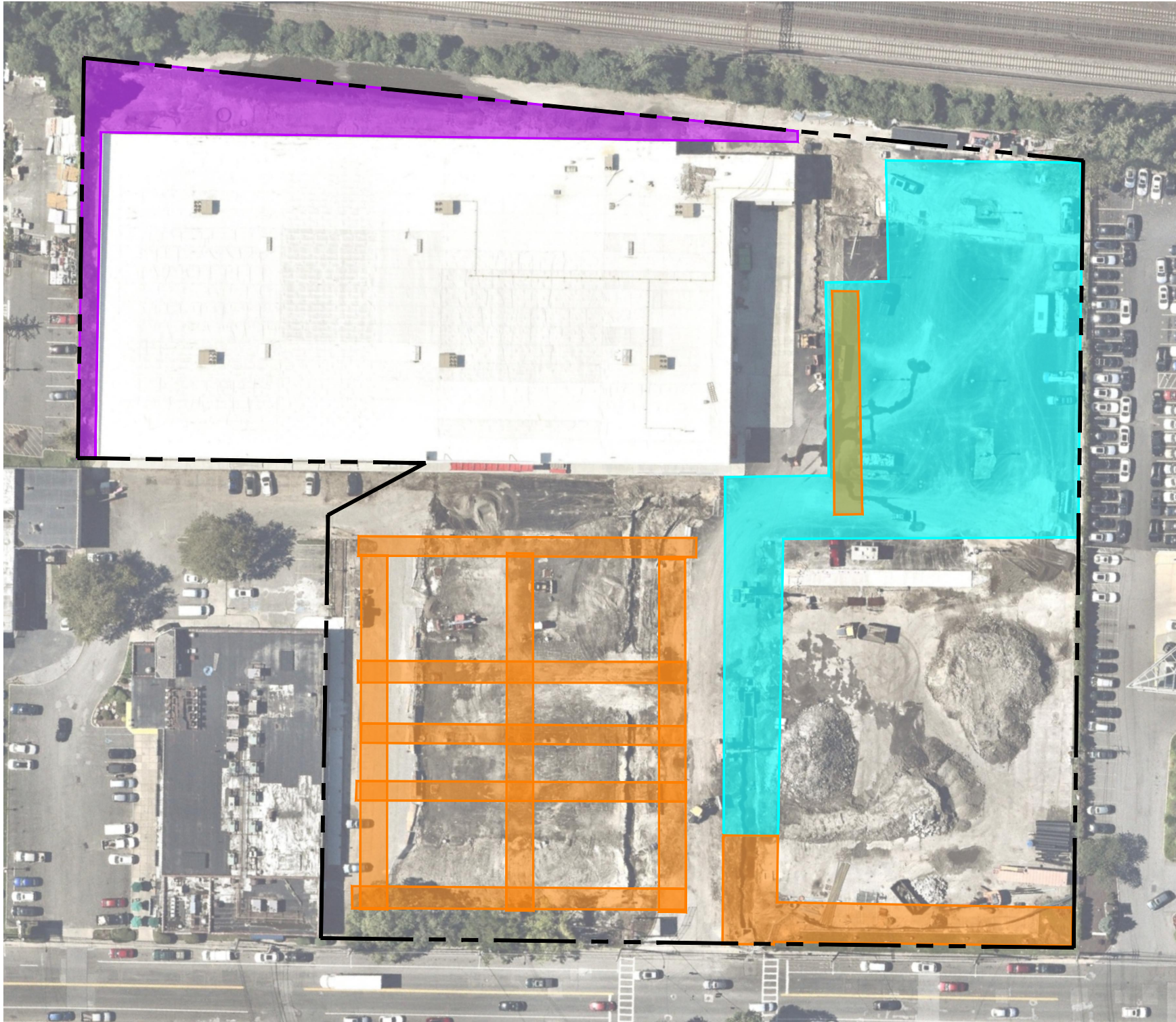
FIG-3.1

SESI CONSULTING ENGINEERS
GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
959 route 46e, 3rd floor, parsippany, nj 07054 ph: 973.808.9050





dwg by: AW
chk by: JM
scale: AS NOTED
date: 11/08/2023

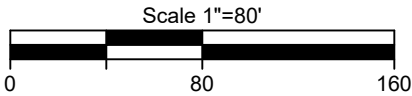
SITE CAPPING PLAN

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LEGEND:

-  - ORANGE SNOW FENCE INSTALLED BETWEEN IMPORTED RCA MATERIAL AND SUB-BASE/ASPHALT
-  - LANDSCAPE AREAS WITH ORANGE SNOW FENCE BELOW ONE FOOT OF TOPSOIL MEETING CSCO's
-  - BLACK GEOTEXTILE FABRIC INSTALLED BETWEEN IMPORTED RCA MATERIAL AND SUB-BASE/ASPHALT
-  - PROPERTY BOUNDARY



project: 130 MIDLAND AVENUE
PARCEL #142.53-1-5
PORT CHESTER, WESTCHESTER COUNTY,
NEW YORK 10573
BCP SITE No. C360195

title:

DEMARCATION PLAN

job no: 12365
drawing no:

FIG-3.2

Cert of Auth #24GA27934700
SESI CONSULTING ENGINEERS
GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
959 ROUTE 46E, 3RD FLOOR, PARSIPPANY, NJ 07054 PH: 973.808.9050

dwg by: AW
chk by: JL
scale: AS NOTED
date: 11/07/2023

[illegible]

VILLAGE OF PORT CHESTER
PLANNING COMMISSION APPROVAL

Owner
120 MIDLAND OWNER LLC
c/o The Renatus Group
168B Irving Avenue Suite 403D
Port Chester, NY 10573
Tel: (646) 872-5660
Fax: (203) 286-1122

Under New York State Education Law Article 145 (Engineering),
Section 7209 (2), It Is A Violation Of This Law For Any Person,
Unless Acting Under The Direction Of A Licensed Professional
Engineer, To Alter This Document

New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

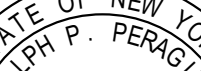
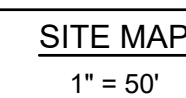
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	Date:	1/9/2024
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	Checked By:	RPP
	Project No.:	1079
	Sheet No.:	1 of 13
Dwg. No.:		C-1

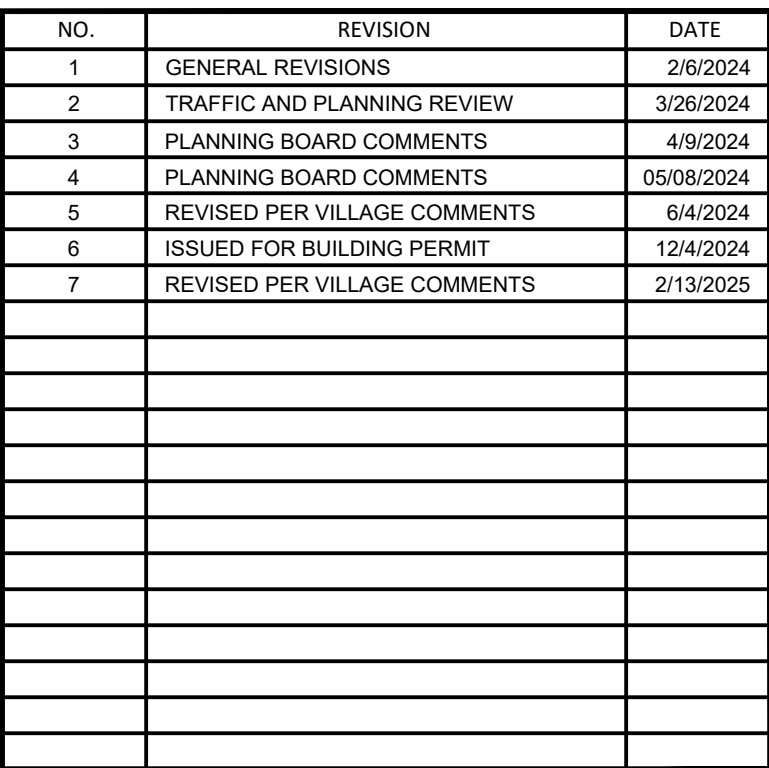


TABLE OF DRAWINGS				
DWG. NO.	TITLE		SHEET	
C-1	COVER SHEET	1	OF	13
C-10	REMOVALS PLAN	2	OF	13
C-101	SITE PLAN	3	OF	13
C-201	STRIPING & SIGN PLAN	4	OF	13
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TM-101	TURNING MOVEMENTS	13	OF	13

FLOOD INSURANCE RATE MAP DATA
MAP NUMBER 36119C0293F
MAP REVISED SEPTEMBER 28, 2007
ZONE AE (EL 12)



1. EXISTING TOPOGRAPHIC AND UTILITY INFORMATION IS A COMPILATION OF SURVEY DATA TAKEN FROM SURVEY AS PREPARED BY WARD CARPENTER ENGINEERS INC.
2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF INDUSTRIAL CODE RULE 753 REGULATIONS EXCAVATORS AND CONTRACTORS MUST CONTACT DIG SAFELY NEW YORK (STAKEOUT REQUESTS: 1-800-962-7962 OR 811) AT LEAST 48 HOURS IN ADVANCE OF ANY MECHANIZED DIGGING OR EXCAVATION WORK TO ENSURE UNDERGROUND UTILITY LINES ARE MARKED.
3. CONTRACTOR SHALL IDENTIFY ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF WORK. ALL EXISTING UTILITIES WITHIN THE LIMITS OF WORK SHALL BE DISCONNECTED BY THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK.
4. THE CONTRACTOR SHALL INSTALL TEMPORARY ORANGE MESH CONSTRUCTION FENCE TO PROTECT ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE.
5. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE, PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S FIELD REPRESENTATIVE AND/OR ENGINEER PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS GOVERNING THE WORK. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE VILLAGE OF PORT CHESTER, APPLICABLE AGENCIES, UTILITY COMPANIES, AND/OR SUB-CONTRACTORS.
7. THE CONTRACTOR IS ADVISED THAT OTHER CONTRACTOR AND/OR UTILITY COMPANIES MAY BE WORKING IN THE AREA AT THE SAME TIME. THE CONTRACTOR SHALL COORDINATE WORK SUCH THAT THERE ARE NO CONFLICTS IN OPERATION.
8. ALL EXCAVATIONS, HOLES, DEPRESSIONS MUST BE FILLED TO GRADE LEVEL WITH CLEAN, COMPACTED FILL.
9. ABOVE OR BELOW GROUND TANKS, SHOULD ANY EXIST, MUST BE PROPERLY EMPTIED, CLEANED AND REMOVED. AS AN ALTERNATIVE, UNDERGROUND TANKS, IF NOT REMOVED, MUST BE PROPERLY EMPTIED, CLEANED & FILLED WITH AN INERT MATERIAL. (REMOVAL OF UNDERGROUND TANKS WILL REQUIRE TANK PERMIT TO BE OBTAINED BY OWNER FROM VILLAGE OF PORT CHESTER BUILDING DEPT.) CONFIRMATION ON WHETHER SOIL REMEDIATION IS REQUIRED SHALL BE PROVIDED BY OWNER SHOULD UNDERGROUND TANKS BE DISCOVERED AND REMOVED.



	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ROAD CENTERLINE
	PROPOSED BUILDING LINE
	PROPOSED SETBACK/YARD LINE
	PROPOSED CURB
	PROPOSED DROP CURB
	PROPOSED GUIDRAIL
	PROPOSED FENCE LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE STAIRS

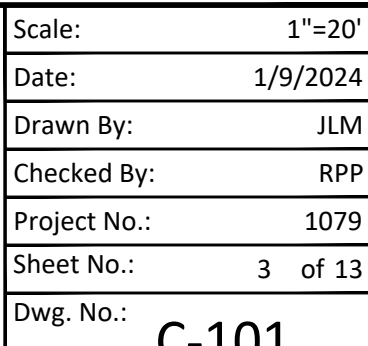


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Under New York State Education Law Article 145 (Engineering),
Section 7209 (2), It Is A Violation Of This Law For Any Person,
Unless Acting Under The Direction Of A Licensed Professional
Engineer, To Alter This Document

New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

SITE PLAN

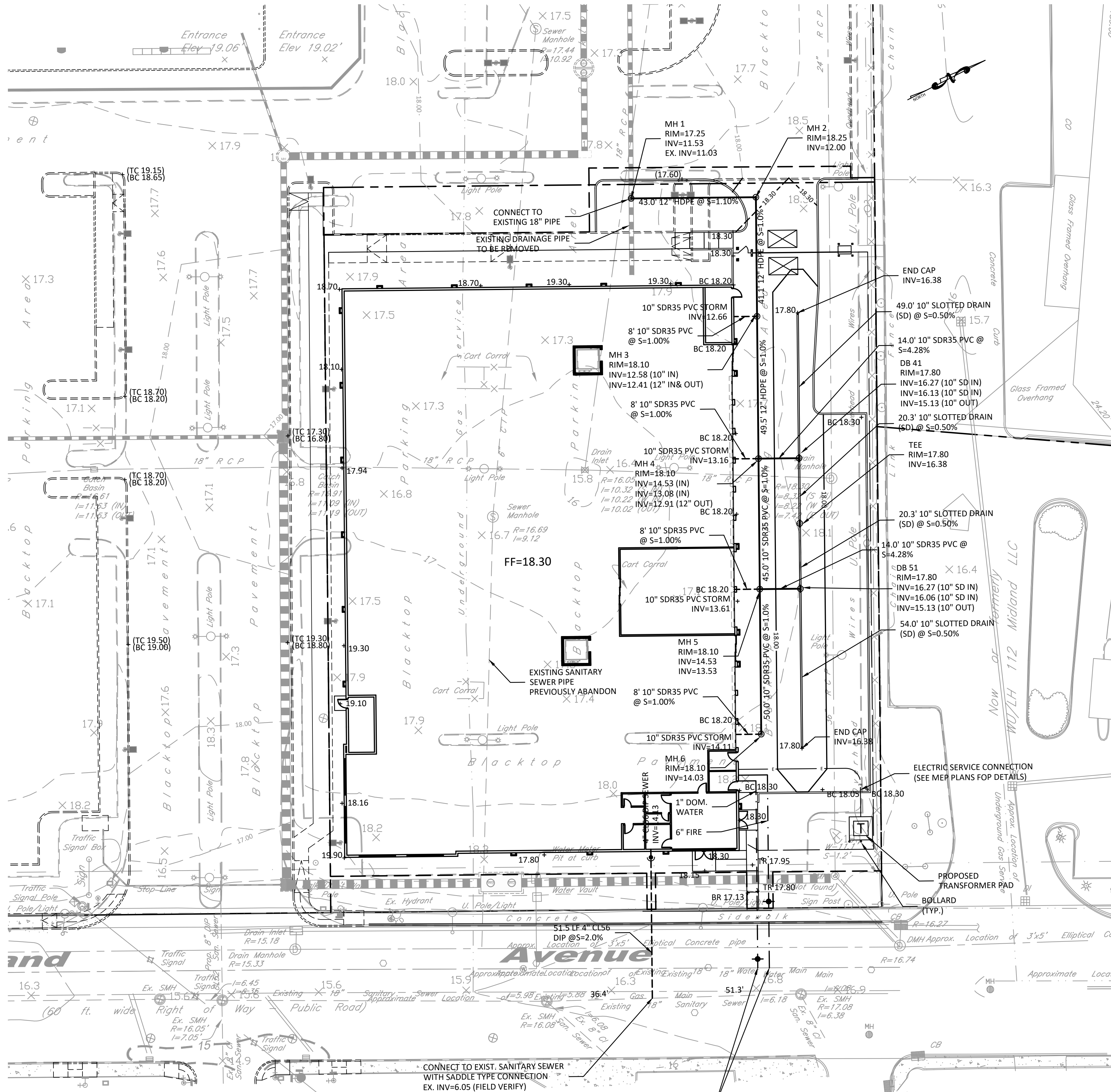
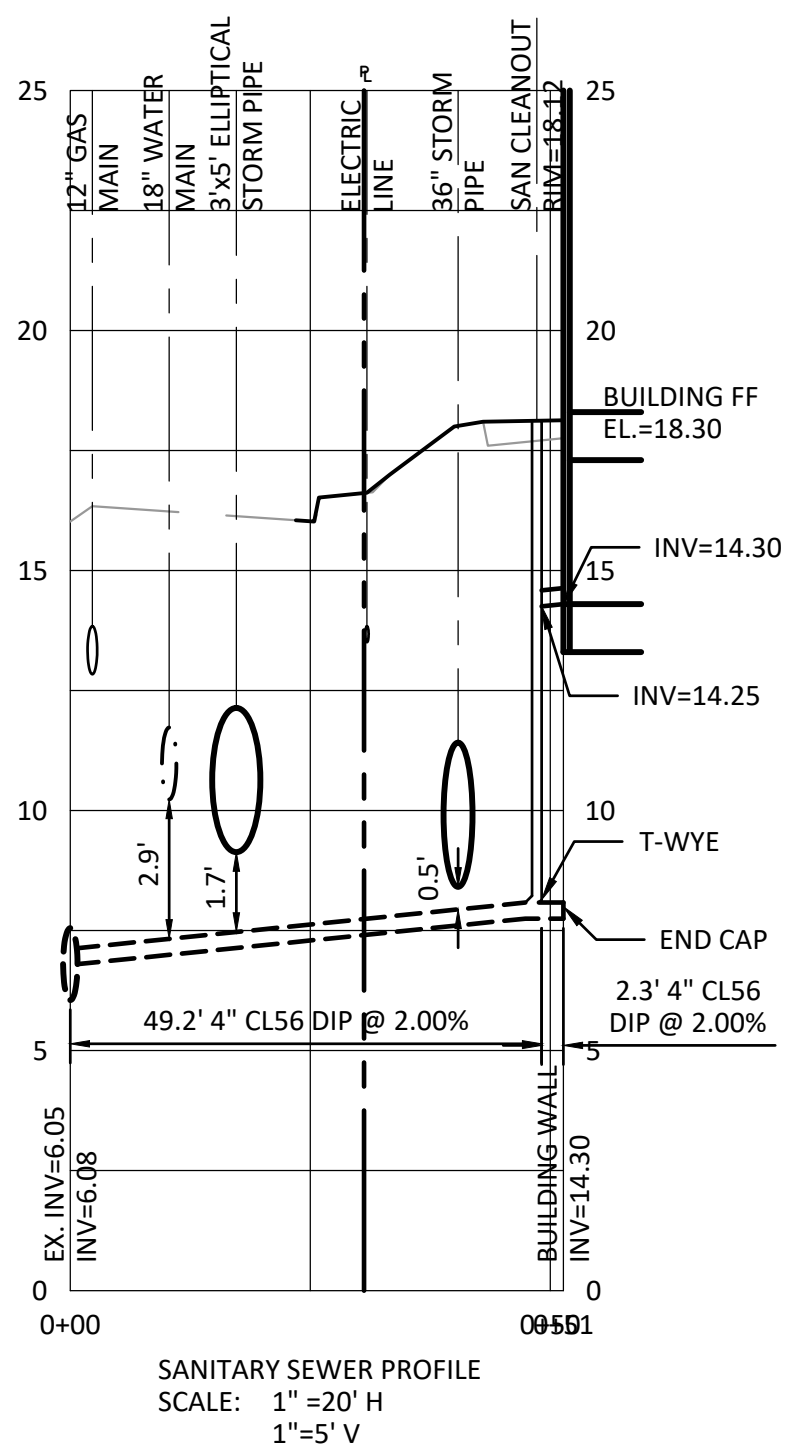


UTILITY NOTES

- GENERAL
 - THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY INFORMATION AND REPORT ANY DISCREPANCIES TO THE CIVIL/SITE ENGINEER FOR RESOLUTION.
 - THE SITE CONTRACTOR SHALL REFER TO THE BUILDING MECHANICAL AND PLUMBING PLANS FOR THE EXACT LOCATIONS AND INVERTS OF ALL BUILDING SERVICE CONNECTIONS.
 - THE SITE CONTRACTOR IS ADVISED THAT THE BUILDING CONTRACTOR SHALL BRING ALL UTILITY SERVICES TO A POINT FIVE (5) FEET OUTSIDE THE EXTERIOR FACE OF THE BUILDING WALL. EXTENSION OF ALL UTILITIES BEYOND THIS POINT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
 - THE SITE CONTRACTOR IS ADVISED THAT OTHER CONTRACTOR AND/OR UTILITY COMPANIES SHALL BE WORKING IN THE AREA AT THE SAME TIME. THE CONTRACTOR SHALL COORDINATE HIS WORK SUCH THAT THERE WILL BE NO CONFLICT IN OPERATIONS.
 - PERMANENT FOUNDATION/ FOOTING DRAINS SHALL NOT BE CONNECTED TO THE VILLAGE OF PORT CHESTER SEWER SYSTEM.
- STORM DRAINAGE
 - PIPE SHALL BE SPECIAL THICKNESS CLASS 52 (CL 52) DUCTILE IRON SEWER PIPE (DIP) CONFORMING WITH THE LATEST VERSIONS OF ASTM A746-09, "STANDARD SPECIFICATION FOR DUCTILE IRON GRAVITY SEWER PIPE," AND AWWA C111 AND C151 (ANSI A21.51) STANDARDS. PIPE SHALL BE NEW AND HAVE THE ASTM OR AWWA DESIGNATION, PRESSURE CLASS AND SIZE OF PIPE STAMPED ON THE OUTSIDE OF EACH JOINT. DUCTILE IRON PIPE JOINTS SHALL BE GASKETED "PUSH-ON" TYPE, INSTALLED IN ACCORDANCE WITH THE PIPE MANUFACTURER'S INSTRUCTIONS.
 - PIPE BEDDING AND INITIAL BACKFILL MATERIAL SHALL BE COMPACTED SCREENED GRAVEL WELL GRADED IN SIZE FROM 3/8 INCH TO 3/4 INCH OR SUCH OTHER SIZED AS MAY BE APPROVED. THE GRAVEL SHALL CONSIST OF CLEAN, HARD, AND DURABLE PARTICLES OR FRAGMENTS, FREE FROM DIRT, VEGETATION, OR OTHER OBJECTIONABLE MATTER AND FREE FROM AN EXCESS OF SOFT, THIN ELONGATED, LAMINATED OR DISINTEGRATED PIECES.
 - PRECAST CONCRETE STRUCTURES
 - PRECAST REINFORCED CONCRETE MANHOLE SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS", ASTM C478 AND AASHTO M199, LATEST REVISIONS.
 - PRECAST CONCRETE CATCH BASIN AND DRAIN INLETS SHALL CONFORM TO THE REQUIREMENTS OF "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES" ASTM C913, LATEST REVISION.
 - JOINTS BETWEEN RISER SECTIONS SHALL BE SEALED USING PREFORMED JOINT SEALANT MADE OF BUTYL RUBBER MATERIAL IN FLEXIBLE ROPE FORM THAT MEETS AND/OR EXCEEDS ALL REQUIREMENTS OF AASHTO M-198 AND ASTM C 990, SECTION 6.2.1.
- WATER MAINS
 - WATER SERVICE MAINS SHALL BE INSTALLED BY VEOLIA WATER.
 - CROSS CONNECTION CONTROL (BACKFLOW PREVENTORS) SHALL BE INSTALLED INTERNAL TO THE BUILDING. PLANS AND SPECIFICATIONS FOR BACKFLOW PREVENTION DEVICES SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE BUILDING MECHANICAL ENGINEER TO VEOLIA WATER AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH FOR REVIEW AND APPROVAL.
- PRIVATE UTILITIES
 - GAS AND ELECTRIC SYSTEM INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF CONSOLIDATED EDISON COMPANY OF NEW YORK, INC. THE DESIGN AND INSTALLATION OF THESE SYSTEMS IS NOT PART OF THIS CONTRACT, AND ANY LINES SHOWN ARE FOR LOCATION AND COORDINATION PURPOSES ONLY.
 - TELEPHONE SYSTEM DESIGN AND INSTALLATION IS NOT PART OF THIS CONTRACT, AND THESE LINES ARE SHOWN FOR LOCATION AND COORDINATION PURPOSES ONLY.
 - THE CONTRACTOR SHALL NOT INSTALL ANY PORTION OF THE PAVEMENT SECTION OR CURBING UNTIL ALL PRIVATE UTILITY LINES AND/OR CONDUITS HAVE BEEN INSTALLED.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH EXCAVATION AND BACKFILL FOR ALL GAS, ELECTRIC AND TELEPHONE LINES/CONDUITS. EXCAVATION AND BACKFILL MATERIAL SHALL CONFORM WITH THE REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY AND THE NYSDOT.
 - THE CONTRACTOR SHALL REFER TO PLANS PREPARED BY THE UTILITY COMPANY OR THE BUILDING ELECTRICAL/MECHANICAL ENGINEER FOR THE EXACT LOCATION, SIZE AND TYPE OF THE PROPOSED GAS, ELECTRIC OR TELEPHONE SYSTEMS. ANY LOCATIONS SHOWN ON THESE DRAWINGS ARE PRELIMINARY AND SHOULD NOT BE USED FOR CONSTRUCTION.

EARTHWORK SUMMARY CHART	
PROJECTED VOLUME OF UNCLASSIFIED	129,060 C.F.
EXCAVATION AND DISPOSAL	4,780 CY.
THE CONTRACTOR SHALL BE REQUIRED TO DISPOSE OF ALL EXCAVATED MATERIAL IN A LEGAL MANNER.	

Sanitary Sewage Flow Rate Table	
Description	Proposed
Estimated No. of Employees =	10
Flow Rate per Employee (gpd) =	12
Average Daily Flow Rate (gpd) =	120
Design Contributing Population =	10
Peaking Factor, PF =	4.41
Peak Flow Rate (gpd) =	529
Peaking Factor, PF =	$\frac{18 + P^{1/2}}{4 + P^{1/2}}$
Where P = design contributing population in thousands	



GRADING & UTILITY LEGEND

- 210 PROPOSED CONTOUR LINE
- + 210.5 PROPOSED SPOT ELEVATION
- PROPOSED MANHOLE
- PROPOSED DRAIN INLET (DI)
- PROPOSED RETAINING WALL
- TP-1 TEST PIT LOCATION & DESIGNATION
- B-1 BORING LOCATION & DESIGNATION
- 12" ST PROPOSED STORM DRAIN
- 8" SAN PROPOSED SANITARY SEWER
- 8" W PROPOSED WATER MAIN
- PROPOSED WATER VALVE
- PROPOSED THRUST BLOCK
- PROPOSED FIRE HYDRANT
- Gas PROPOSED GAS LINE
- E PROPOSED ELECTRIC LINE
- T PROPOSED TELEPHONE LINE
- PROPOSED UTILITY POLE
- PROPOSED CLEAN OUT



Frank G. Relf Architect, P.C.
35 Pinelawn Road, Suite 207W
Melville, NY 11747
Tel: (631) 271-4432
Fax: (631) 271-4532

120 MIDLAND OWNER LLC
c/o The Renatus Group
168B Irving Avenue Suite 403D
Port Chester, NY 10573
Tel: (646) 872-5660
Fax: (203) 286-1122

DTS • PROVIDENT Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

© DTS Provident Design Engineering, LLP
Certificate of Authorization #0017846

New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

TITLE:
GRADING & UTILITY PLAN

Scale: 1"=20'	
Date: 1/9/2024	
Drawn By: JLM/RPP	
Checked By: RPP	
Project No.: 1079	
Sheet No.: 5 of 13	
Dwg. No.: C-301	



SMALL SITE MINIMUM REQUIREMENTS

1. STABILIZED CONSTRUCTION ACCESS:
TO PREVENT VEHICLES AND EQUIPMENT FROM TRACKING SEDIMENT AND MUD OFF-SITE, INSTALL A GRAVEL OR CRUSHED ROCK ACCESS AS SHOWN ON THE E&S PLAN, AND RESTRICT TRAFFIC TO THIS ONE ROUTE. THIS PRACTICE WILL HELP KEEP SOIL FROM STICKING TO TIRES AND STOP SOIL FROM WASHING OFF INTO THE STREET. CARRY OUT PERIODIC INSPECTIONS AND MAINTENANCE INCLUDING WASHING, TOP DRESSING WITH ADDITIONAL STONE, REVERSE SOD, AND COMPACTING. PLAN FOR PERIODIC STREET CLEANING TO REMOVE ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OFF-SITE. REMOVE SEDIMENT BY SHOVELING OR SWEEEPING AND TRANSPORT TO A SUITABLE DISPOSAL AREA WHERE IT CAN BE STABILIZED.
2. STABILIZATION OF DENUDE D AREAS:
IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES (SEE VEGETATION REQUIREMENTS THIS SHEET) MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED FOR CONSTRUCTION OF THE PROJECT. DIRECTLY ADJACENT TO OR DOWN-DRIFT OF THE SEGMENT OF THE CONSTRUCTION GENERAL PERMIT OR IS LOCATED IN ONE OF THE WATERSHEDS LISTED IN APPENDIX C, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.

STABILIZE DISTURBED AREAS BY IMPLEMENTING SOIL COVERING PRACTICES (E.G. MULCHING, MATTING, SODDING). EXPOSED SOILS ARE THE MOST PRONE TO EROSION FROM RAINFALL AND RUNOFF. VEGETATION HELPS PROTECT THE SOIL FROM THESE FORCES AND PROVIDES NATURAL EROSION CONTROL. PLAN CONSTRUCTION TO LIMIT THE AMOUNT OF EXPOSED AREA, AND AVOID GRADING ACTIVITIES DURING THE RAINY SEASON (NOVEMBER THROUGH MARCH) AS MUCH AS POSSIBLE. CLEARING LIMITS SHOULD BE CLEARLY MARKED AND KEPT AS SMALL AS POSSIBLE. ONCE CONSTRUCTION IS COMPLETED, REMAINING UNPAVED/PERVIOUS AREAS THE SITE MUST BE PERMANENTLY STABILIZED WITH TOPSOILING, SEEDING AND PLANTINGS, OR SODDING IF NEEDED.

3. PROTECTION OF ADJACENT PROPERTIES:
KEEP SEDIMENT ON-SITE BY INSTALLING THE STRUCTURAL AND SOURCE CONTROL PRACTICES (E.G. VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS, SOIL BERMS OR DIKES, ETC.) AS SHOWN ON THE E&S PLAN PRIOR TO THE START OF CONSTRUCTION. WHEREVER POSSIBLE, PRESERVE A BUFFER OF EXISTING VEGETATION AROUND THE SITE BOUNDARY. THIS WILL HELP TO DECREASE RUNOFF VELOCITIES AND TRAP SEDIMENT SUSPENDED IN THE RUNOFF. OTHER STRUCTURAL CONTROLS SUCH AS FILTER FENCE OR OTHER APPROVED SEDIMENT BARRIERS SHOULD ALSO BE USED TO FILTER RUNOFF AND TRAP SEDIMENT ON-SITE. IF SUCH CONDITIONS ARISE, NO DISCHARGE OF EXCAVATION Dewatering SHALL BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE VILLAGE ENGINEER/ENGINEERING DEPT/PUBLIC WORKS DEPT.

WHEN EXCAVATING BUILDING FOUNDATION SOILS, MOVE THE SOIL TO PILES SITUATED SO THAT SEDIMENT DOES NOT RUN INTO THE STREET OR ADJOINING YARDS. SOIL PILES SHOULD BE TEMPORARILY COVERED AND CIRCLED WITH SILT FENCE/SEDIMENT BARRIER UNTIL THE SOIL IS EITHER REPLACED OR REMOVED. BACKFILL FOUNDATION WALLS AS SOON AS POSSIBLE, ROUGH GRADE THE LOT, AND PREPARE THE LOT FOR TEMPORARY COVER AS REQUIRED. AFTER BACKFILLING, REMOVE EXCESS SOIL FROM THE SITE QUICKLY, TO ELIMINATE ANY SEDIMENT LOSS POTENTIAL.

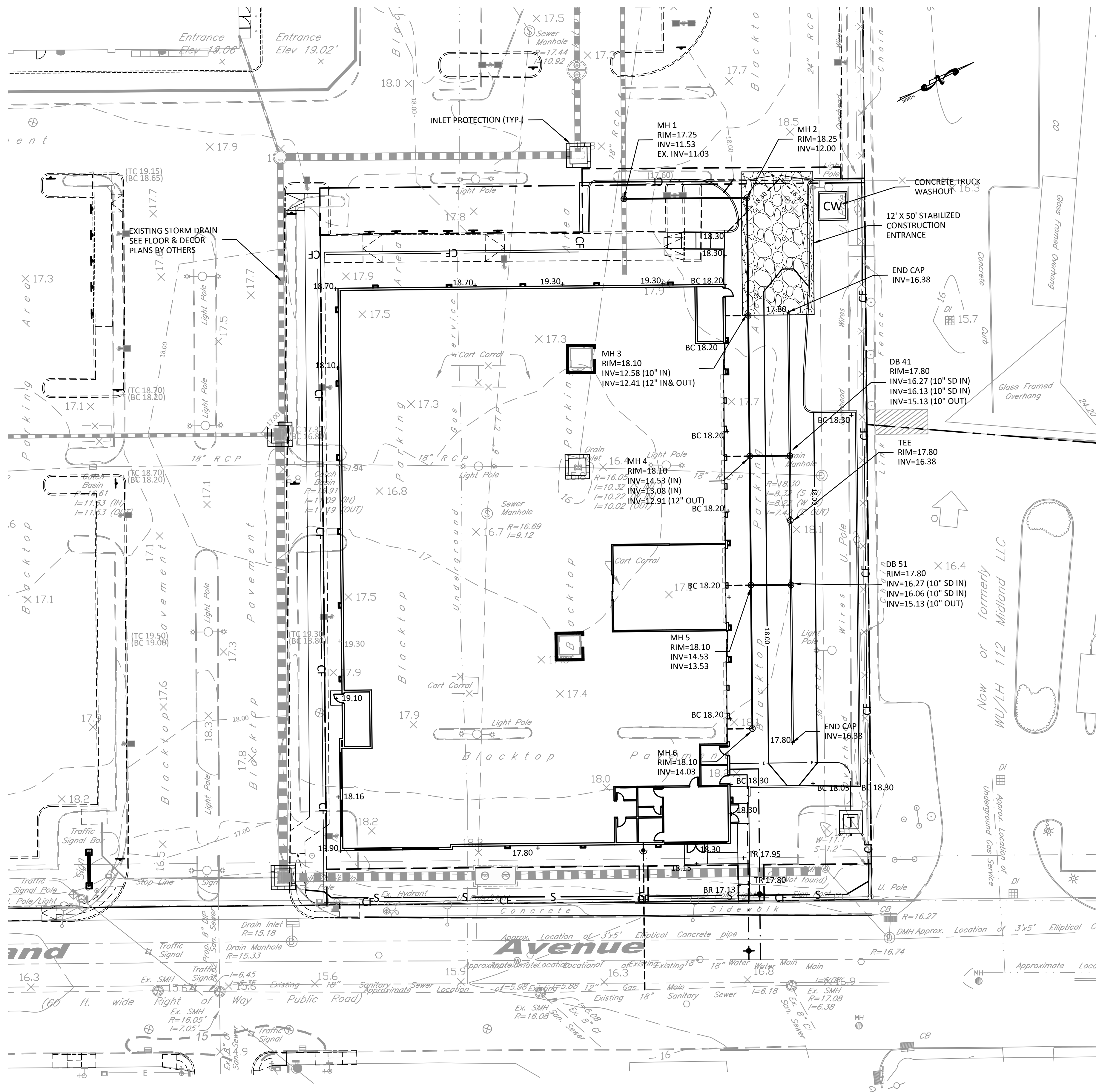
4. **CONCENTRATED FLOW:**
FOR CONSTRUCTED DRAINAGE WAYS, OR OTHER AREAS OF CONCENTRATED FLOW, INSTALL CHECK DAMS ACCORDING TO THE SPECIFICATIONS ON PAGE E.12 OF THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK) TO REDUCE EROSION IN THE CHANNEL/FLOW PATH. AS WITH OTHER EROSION CONTROLS, CHECK DAMS MUST BE INSPECTED REGULARLY. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. REPLACEMENT OF STONE IS NECESSARY TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. SEDIMENT REMOVAL IS CRUCIAL TO THE EFFECTIVENESS OF THE DAM—IF NOT MAINTAINED, HIGH FLOWS COULD CAUSE EROSION AROUND THE SIDES OF THE STRUCTURES, ADDING SIGNIFICANT SEDIMENT LOADS DOWNSTREAM.

5. MAINTENANCE:
MAINTAIN EROSION AND SEDIMENT CONTROL PRACTICES THROUGH REGULAR INSPECTION. REGULAR MAINTENANCE IS EXTREMELY IMPORTANT FOR THE PROPER OPERATION OF STRUCTURAL PRACTICES. AFTER INITIAL GROUNDBREAKING, THE RESPONSIBLE CONTRACTOR SHALL CONDUCT DAILY MAINTENANCE INSPECTIONS WITHIN THE ACTIVE WORK AREA TO ENSURE PRACTICES ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITIONS AT ALL TIMES.

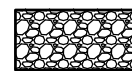
6. OTHER PRACTICES:
USE ADDITIONAL PRACTICES AS REQUIRED BY THE LOCAL PLAN APPROVAL AUTHORITY TO MITIGATE EFFECTS OF INCREASED RUNOFF. THIS MAY INCLUDE PROVIDING ADDITIONAL CONTROLS TO A LOCALLY PROTECTED STREAM OR RESOURCE AREA, PROTECTING RIPARIAN CORRIDORS (VEGETATIVE STREAM BUFFERS), ETC. INDIVIDUAL LANDOWNERS AND/OR DEVELOPERS ARE RESPONSIBLE FOR RESEARCHING ADDITIONAL REQUIREMENTS RELATED TO EROSION AND SEDIMENT RUNOFF CONTROL ESTABLISHED BY THEIR LOCAL JURISDICTIONS.

CONSTRUCTION SEQUENCE NOTES

1. PRE-CONSTRUCTION SET-UP
ERECT PROTECTIVE FENCING AND/OR BARRIERS AROUND SITE PERIMETER.
2. DEMOLITION, POST-DEMOLITION STAGING AREA SET-UP
INSTALL PERIMETER SEDIMENT BARRIERS, INSTALL STABILIZED CONSTRUCTION ACCESS ROAD AND MAINTAIN PROTECTIVE FENCING AND/OR BARRIERS. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
3. ROUGH GRADING (FOUNDATION EXCAVATION), RETAINING WALL, AND FOUNDATION INSTALLATION
INSTALL TEMPORARY SEDIMENT TANK; IMPLEMENT DEWATERING OPERATIONS AS REQUIRED. MAINTAIN PERIMETER SEDIMENT CONTROLS, PROTECTIVE FENCING AND/OR BARRIERS. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
4. BUILDING PAD ESTABLISHMENT, UTILITY INSTALLATION; STORM SEWER, SANITARY, WATER, ETC.
MAINTAIN TEMPORARY SEDIMENT TANK; IMPLEMENT DEWATERING OPERATIONS AS REQUIRED. MAINTAIN PERIMETER SEDIMENT CONTROLS, PROTECTIVE FENCING AND/OR BARRIERS. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
5. FINE GRADING
REMOVE TEMPORARY SEDIMENT TANK. MAINTAIN PERIMETER SEDIMENT CONTROLS, PROTECTIVE FENCING AND/OR BARRIERS. ESTABLISH PAVEMENT AND SIDEWALK SUBBASE COURSES IN AREAS OF NO FURTHER DISTURBANCE. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
6. MISCELLANEOUS FINISHED SITE WORK INSTALLATION (LIGHTING, SITE FURNISHINGS);
INSTALL FINAL PAVING (BINDER AND TOP COURSES); CONCRETE CURB AND SIDEWALK, AND; FINAL PLANTINGS AND OTHER STREETScape FURNISHINGS. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
7. CLEAN-UP
REMOVE SEDIMENT BARRIERS, PROTECTIVE FENCING AND/OR BARRIERS AFTER ESTABLISHMENT OF PERMANENT COVER.
8. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED BEFORE THE START OF EARTHWORK
WHEREVER POSSIBLE, OR AS SOON AS THE SEQUENCE OF CONSTRUCTION PERMITS.

[illegible]

EROSION CONTROL LEGEND



STABILIZED CONSTRUCTION ENTRANCE



INLET PROTECTION

— S — SILT FENCE/SEDIMENT BARRIER

— CF — CONSTRUCTION FENCE



SCALE IN FEET

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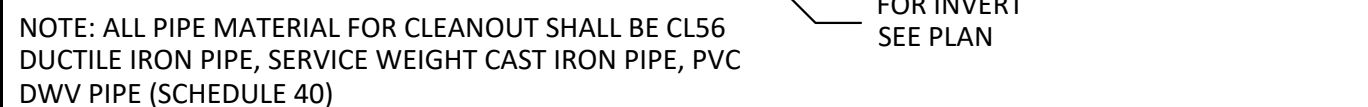
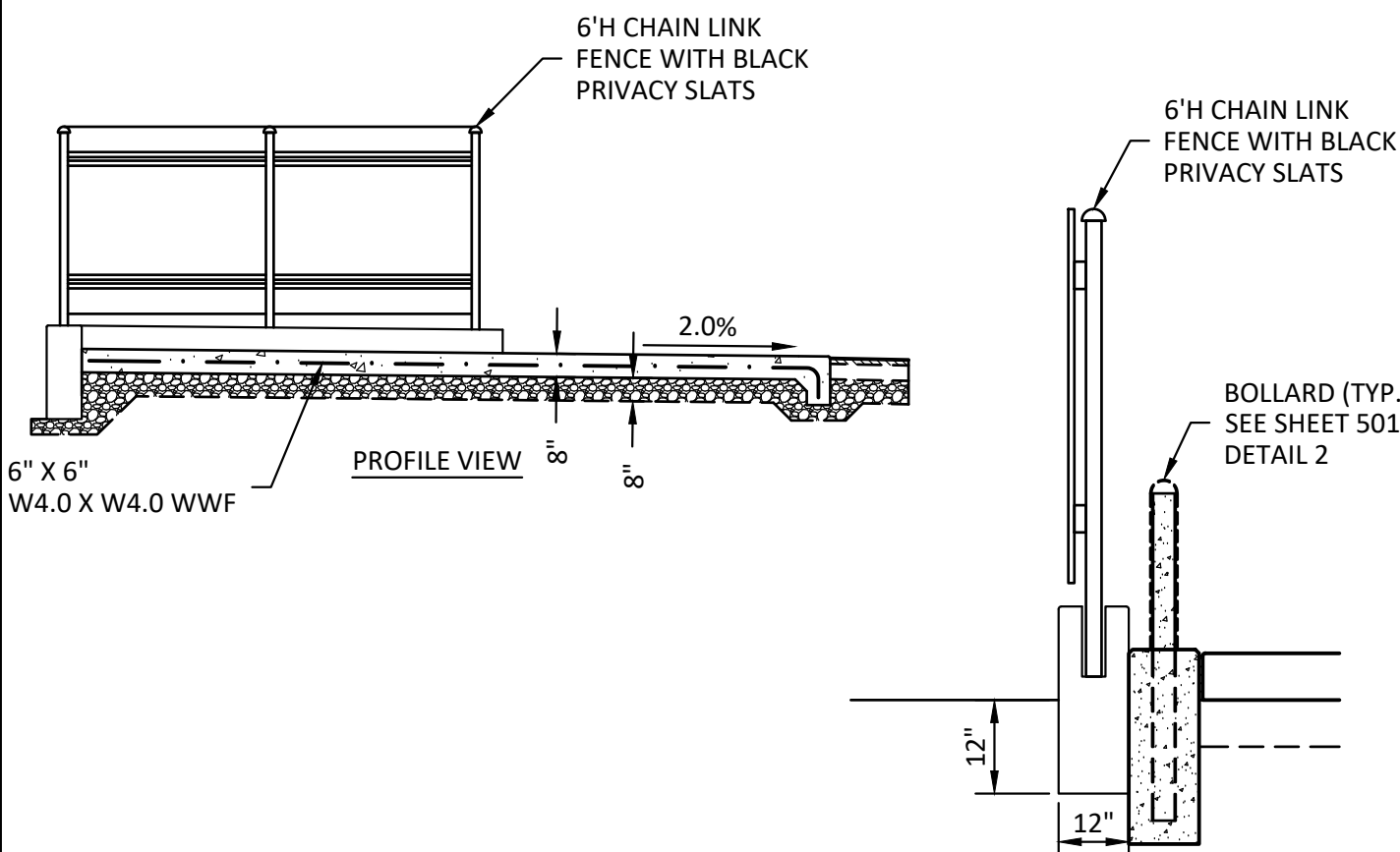
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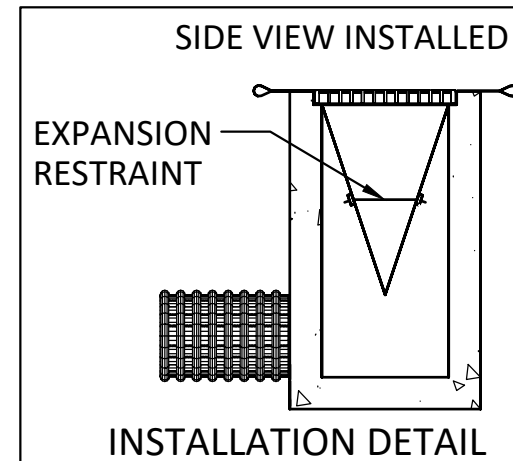
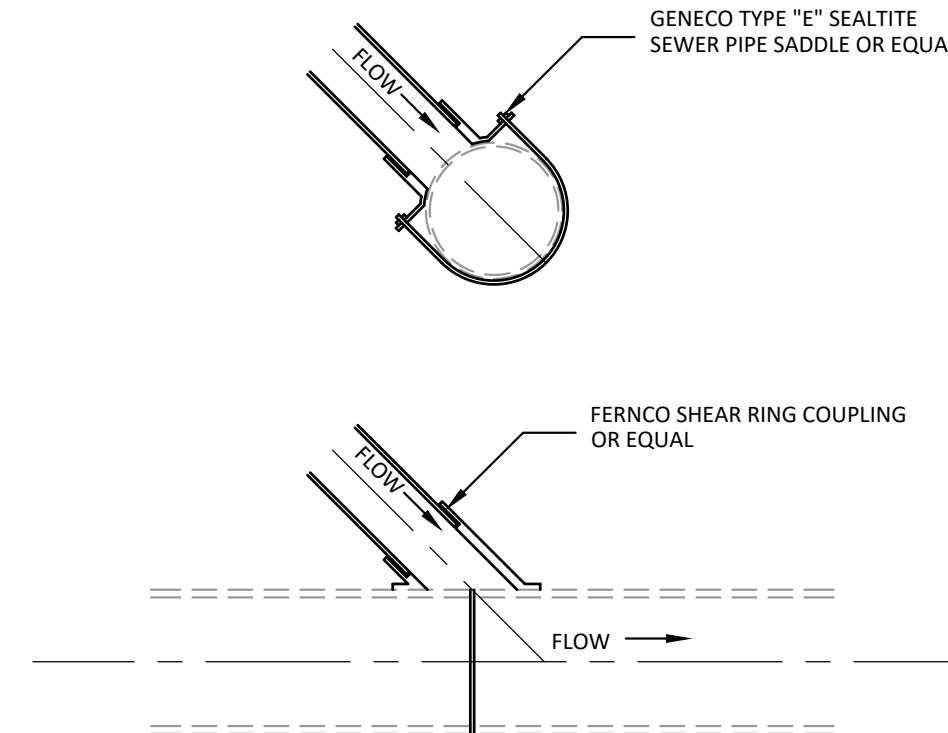
New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

TITLE: EROSION & SEDIMENT CONTROL PLAN

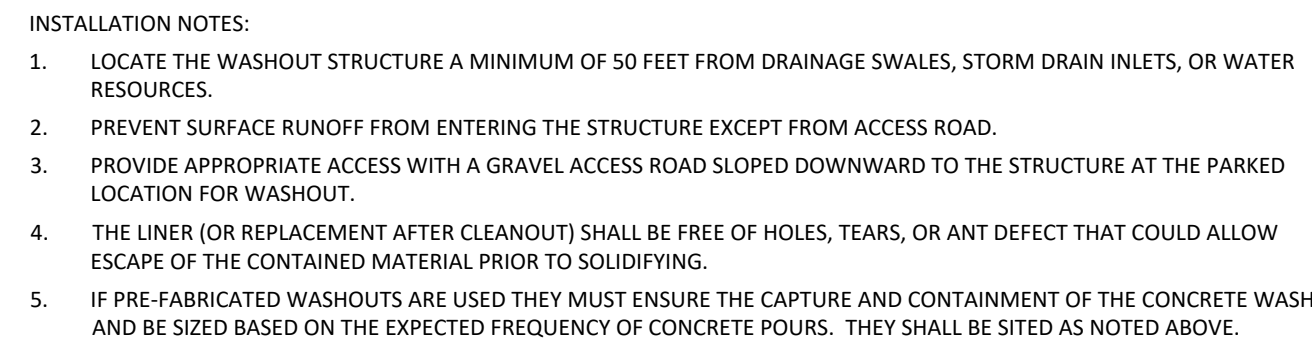
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	Checked By:	
	Project No.:	1079
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Dwg. No.:		C-401




2



NOTE:
THE SILT SACK WILL BE MANUFACTURED FROM
A WOVEN POLYPROPYLENE FABRIC. SEE
SPECIFICATIONS.

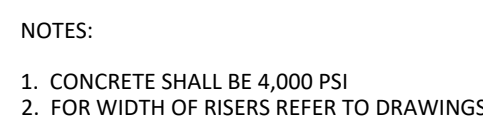
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New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

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CONSTRUCTION SPECIFICATIONS

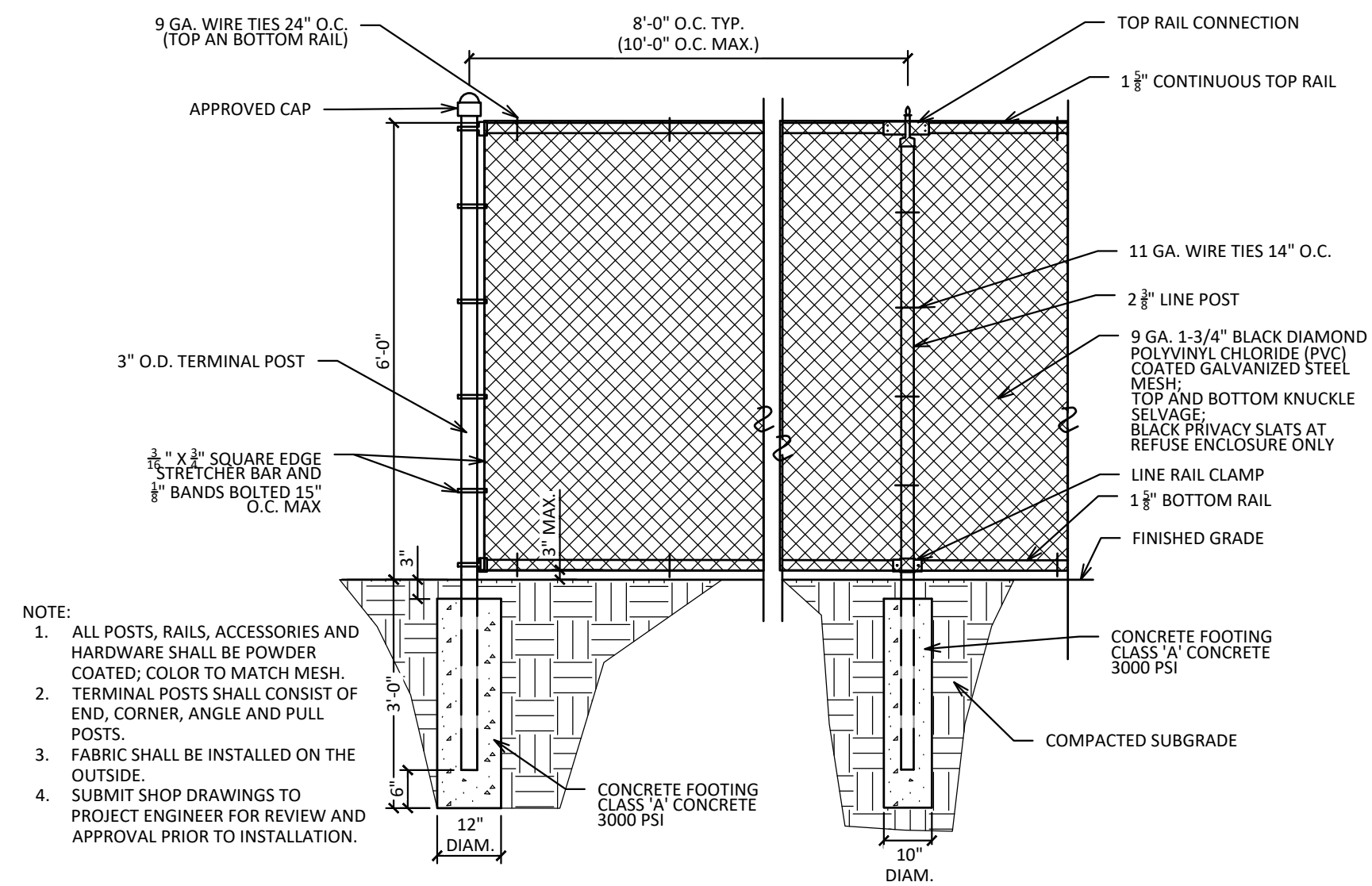
- | | |
|---|---|
| 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD. | 4. IF ANY FENCE IS DAMAGED AT ANY POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE. |
| 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING. | 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. |
| 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIX 100X, STABILINKA T140N, OR APPROVED EQUIVALENT. | 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. |
| 4. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE, OR APPROVED EQUIVALENT. | 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. |
| 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. | 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. |
| | 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN. |

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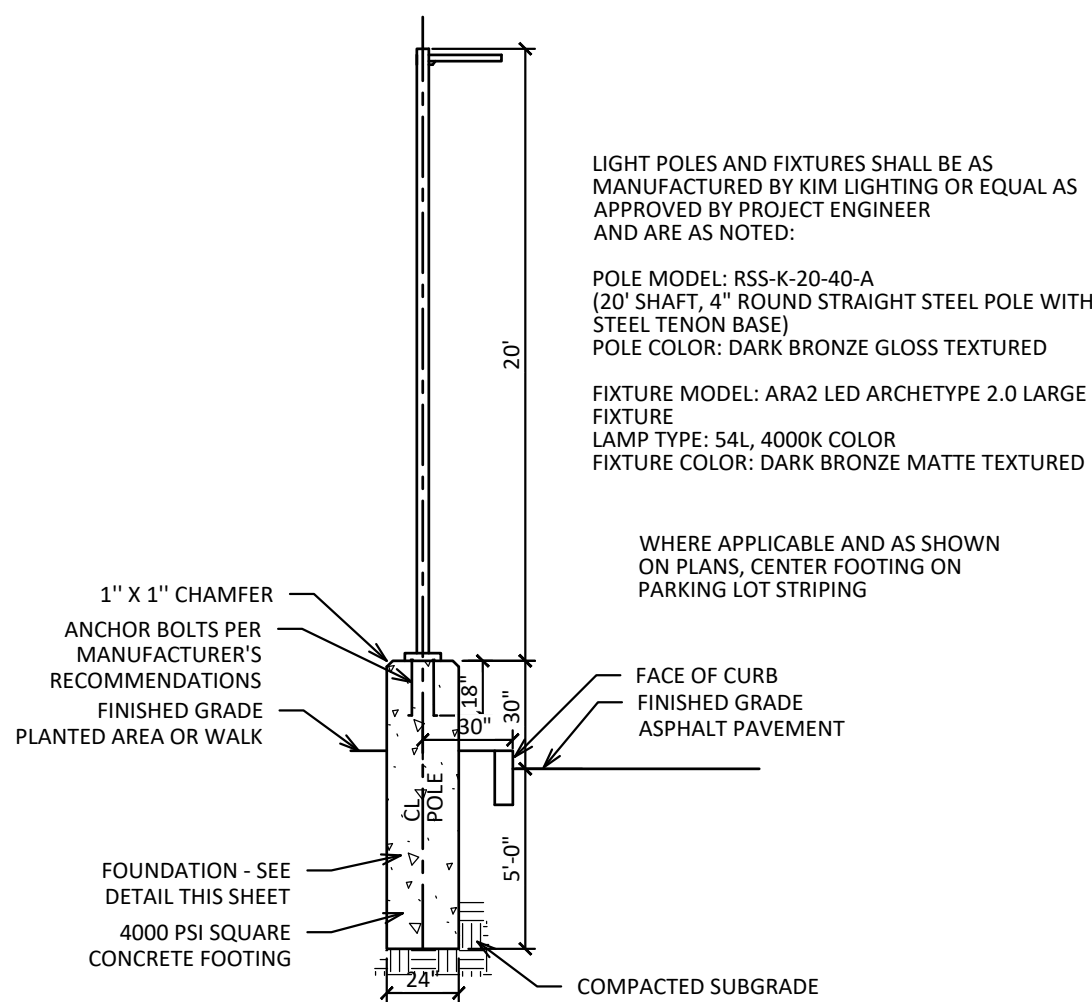
1. STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

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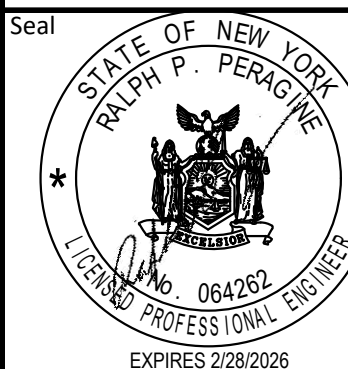
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ArchitectOwner

New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

DETAILS

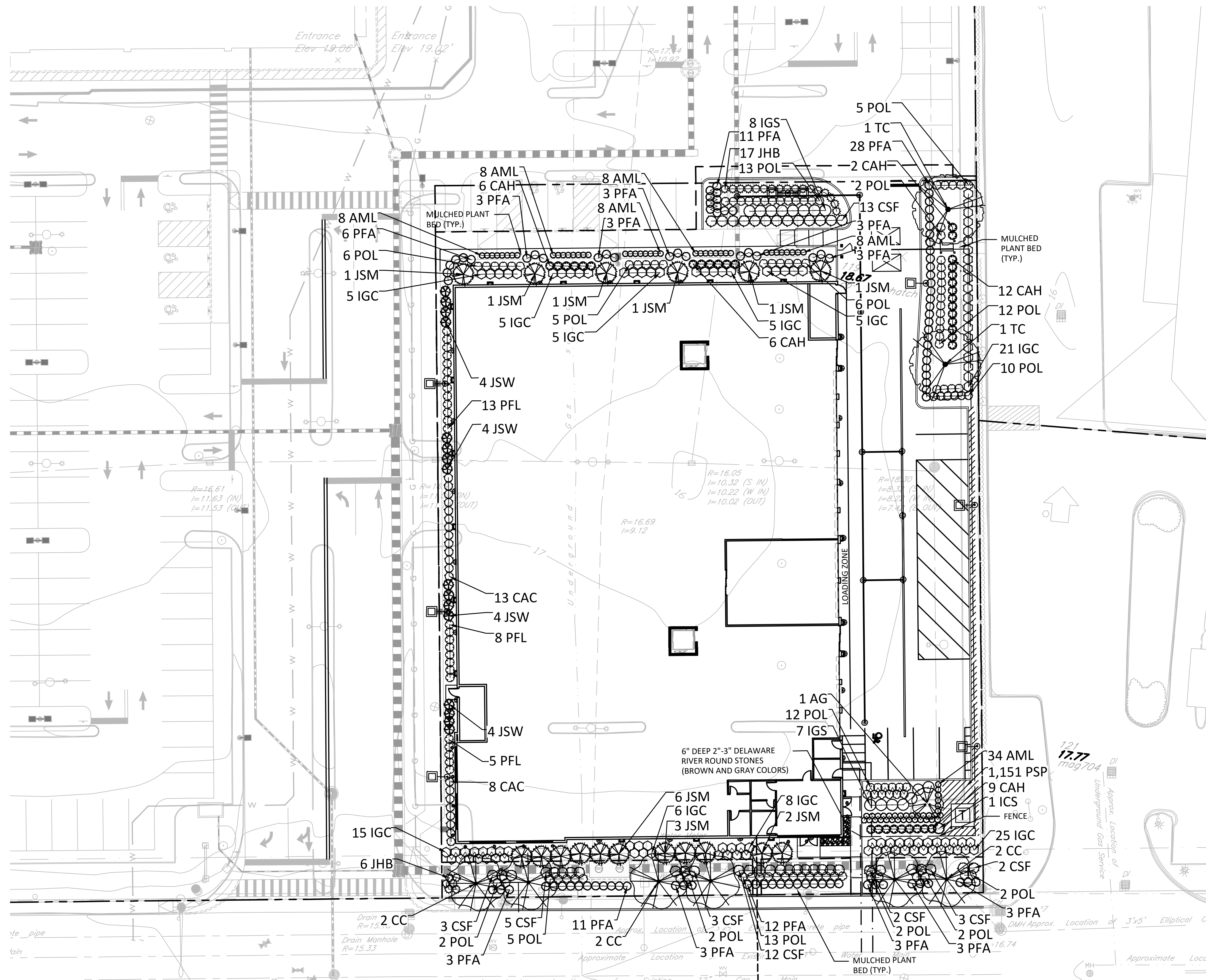


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Project No.:	1079
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Dwg. No.:	C 503

1. **Mitigate Areas of Heavy Site Subgrade Compaction** (including but not limited to temporary roadway or parking areas, material stockpile areas, construction areas, and areas around the building or other similar areas). For this project, these mitigation areas shall include planted areas around the new building additions and around the new generator pad.
 - a. Prior to establishing the final subgrade of Earthwork material, these areas shall be dug up or ripped to a depth of 18 inches to break up the soil hard pan then recompact per compaction specifications.
2. **Mitigate Areas of General Site Subgrade Compaction** (includes all lands and planting areas not heavily compacted). For this project, these mitigation areas include planted areas around new pavement installations.
 - a. Disk, till, or aerate subgrade to a depth of 6 inches.
3. Before placing topsoil or other planting media in landscape areas, remove rocks larger than 1-1/2 inch in size and foreign matter such as building rubble, wire, cans, sticks, concrete, etc. within 6 inches of the subgrade surface.

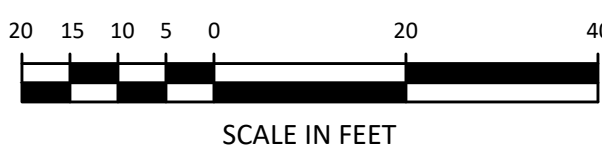
SUBGRADE AND SURFACE PREPARATION
NOT TO SCALE

1



PLANT SCHEDULE							
<u>CODE</u>		<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT./SIZE</u>	<u>REMARKS</u>		
A. SHADE TREES							
TC		2	TELIA CORDATA / COMMON ELLEN	B&B, 2-1/2" - 3" CAL.	SINGLE STRAIGHT LEADER, BALANCED AND FULL BRANCHING		
B. ORNAMENTAL TREES							
CC		6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY CERES CANADENSIS / EASTERN REDBUD	B&B/5' 6" HGT. B&B, 2-1/2" - 3" CAL.	BALANCED AND FULL BRANCHING BALANCED AND FULL BRANCHING		
C. EVERGREEN TREES							
RS		17	LEX CRENATA 'STEEDES' / STEEDS JAPANESE HOLLY	5'-6" HGT	FULL, DENSE, BALANCED SHAPE		
JSM		17	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER	5'-6" HGT	FULL, DENSE, BALANCED SHAPE		
JSW		16	JUNIPERUS SCOPULORUM 'WICHTA BLUE' / WICHTA BLUE JUNIPER	5'-6" HGT	FULL, DENSE, BALANCED SHAPE		
<u>CODE</u>		<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT./SIZE</u>	<u>SPACING</u>	<u>REMARKS</u>	
SHRUBS							
AML		74	ARONIA MELANOCARPA 'UCONNANMIES' / LOW SCAPE MOUND® BLACK CHOKEBERRY	#3 CONT.	24" o.c.	FULL AND BALANCED SHAPE	
CAC		21	CLETHRA ALNIFOLIA 'CRYSTALL' / SUGARTINA® SUMMERSWEET	#3 CONT.	36" o.c.	FULL AND BALANCED SHAPE	
CS		43	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET	#5 CONT.	36" o.c.	FULL AND BALANCED SHAPE	
CSF		43	CORNUS SPECIES 'TARROW' / ARCTIC FIRE® RED TWIG DOGWOOD	#3 CONT.	48" o.c.	FULL AND BALANCED SHAPE	
IGC		100	LEX GLABRA 'COMPACT' / COMPACT HIBERNY	30"-36" HGT	42" o.c.	DENSELY BRANCHED AND BALANCED SHAPE	
IGS		15	LEX GLABRA 'STONEMANTREE' / STONEMANTREE HIBERNY HOLLY	30"-36" HGT	48" o.c.	DENSELY BRANCHED AND BALANCED SHAPE	
JHB		23	JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR CREEPING JUNIPER	18"-24" SPREAD	36" o.c.	DENSELY BRANCHED AND BALANCED SHAPE	
PLB		26	POTENTIALIA FRUTICOSA 'ARABOTWOOD' / ARBOTWOOD BUSH CINQUEFOIL	36" o.c.	36" o.c.	FULL AND BALANCED SHAPE	
PFL		26	POTENTIALIA FRUTICOSA 'LUNDY' / HAPPY FACE® YELLOW BUSH CINQUEFOIL	36" o.c.	36" o.c.	FULL AND BALANCED SHAPE	
POL		99	PHYSCALOPUS OPULIFOLIOUS 'LITTLE DEVIL' / LITTLE DEVIL® DWARF NINEBARK	#3 CONT.	36" o.c.	FULL AND BALANCED SHAPE	
<u>SYMBOL</u>		<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>SPACING</u>	<u>REMARKS</u>
GROUND COVERS							
ISP		492.5F	PACHYSDAURA PROCUMBENS / ALLEGHENY SPURGE	FLAT	8" o.c.	12 FLATS OF 100	

1. UNLESS OTHERWISE NOTED, ALL PLANT BEDS SHALL RECEIVE "2" OF DOUBLE SHREDDED HARDWOOD BARK MULCH (NO DYE). NO MULCH SHALL BE PLACED WITHIN 6" OF TREE TRUNKS. SEE PLANTING DETAILS FOR PLANTING SAUCER DETAILS.
2. QUANTITIES LISTED IN PLANT LIST ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN IN LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL PLANTS INDICATED ON PLAN.
3. ALL TREES SHALL BE STAKED PER PLANTING DETAILS.
4. INSTALL LUT MESH BLANKET ON ALL PLANTED SLOPES GREATER THAN OR EQUAL TO 3:1.
5. SEE SHEET L-102 FOR PLANTING DETAILS.

[illegible]

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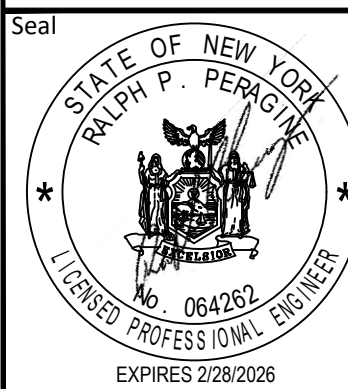
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New Ground Up Three Story
Self-Storage Building
120 MIDLAND AVENUE
PORT CHESTER (V), NY 10573

TITLE:

LANDSCAPE PLAN



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Date:	2/5/2024
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