



CONSTRUCTION AND EXCAVATION REPORT
Bank of America Building

NYSDEC SITE NUMBER: V00087 & HW35602
Ulster County, New Paltz, NY

Prepared for:

New Paltz Plaza Properties, LP
New Paltz Plaza, Inc.
257 Mamaroneck Avenue
Newburgh, New York 10605

Prepared by:

Sterling Environmental Engineering, P.C.
24 Wade Road
Latham, New York 12110

June 4, 2025

"Serving our clients and the environment since 1993"

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Figure 1 Site Location Map
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1.0 INTRODUCTION

Sterling Environmental Engineering, P.C. (STERLING) prepared this Construction and Excavation Report (CER) on behalf of New Paltz Plaza Properties, LP and New Paltz Plaza, Inc. (collectively “Volunteer”) for the Voluntary Cleanup Program (VCP) Site No. V00087 and HW35602 (“the Site”). The CER summarizes minor construction and ground intrusive construction activities performed in April 2025 at the Bank of America building on the southern-most portion of the New Paltz Plaza (NPP) to upgrade the ATM at the bank. The Site is located on Route 299 in New Paltz, Ulster County, New York as shown on Figure 1. The location of the ATM upgrade relative to the other buildings in the plaza and the remediated former Revonak Dry Cleaners is shown on Figure 2. The Site is subject to Institutional Controls (ICs) and Engineering Controls (ECs) identified in the Site Management Plan (SMP), revised on October 16, 2014.

2.0 EXCAVATION AND CONSTRUCTION ACTIVITIES

Construction and excavation activities were performed in April 2025 by contractors, engineers, and architects for Bank of America, a current tenant of NPP, to upgrade a drive-thru ATM, exterior lighting, and electrical improvements. The construction activities included ground disturbance below a portion of the pavement and concrete cover at the Bank of America drive-through window on the south side of the building. All construction reportedly was in conformance with a town issued building permit, dated November 1, 2024 and provided in Appendix A.

Construction management services for the project were provided by The Horton Group, LLC (Horton), Madison, CT. The engineer of record for the work was Stonefield Engineering and Design LLC, (Stonefield), New York, NY. The project architect was Nelson Architecture and Interiors, Inc., P.C., New York, NY. Based on engineering drawings prepared by Stonefield, the intrusive work consisted of the following:

- an approximately 1,600 feet² area of pavement and concrete was removed to a maximum depth of 1 foot below grade from the drive-through area,
- a 124 feet² reinforced concrete pad was installed to a depth of 6-inches,
- a 72 feet² concrete island was installed with footers to a depth of 18-inches with 6 inches of additional subgrade fill,
- Nine (9) safety bollards and one (1) sign were installed to a depth of 2 feet below grade in 1 foot diameter boreholes, and
- two (2) light poles were installed in the soil island to the north of the drive-through lot; dimensions of the excavations for the light pole piers were 5.5 feet deep by 2 feet wide.

Site plan and engineering design drawings are provided in Appendix B. A memo from Stonefield certifying the site improvements to be generally consistent with the site plan documents is provided in Appendix C.

3.0 MATERIALS EXCAVATION AND LOAD OUT

Horton reported that approximately ½ yard of soil was removed during the work and transported off-site with the excavated asphalt and concrete. The small volume of soil was generated primarily from excavations for curbing, signs, light poles, and traffic bollards. These materials were transported to Callanan Industries (Callanan), located at 677 Flatbush Road, Kingston, NY, where they reportedly were crushed and recycled into new asphalt.

4.0 SOIL QUALITY

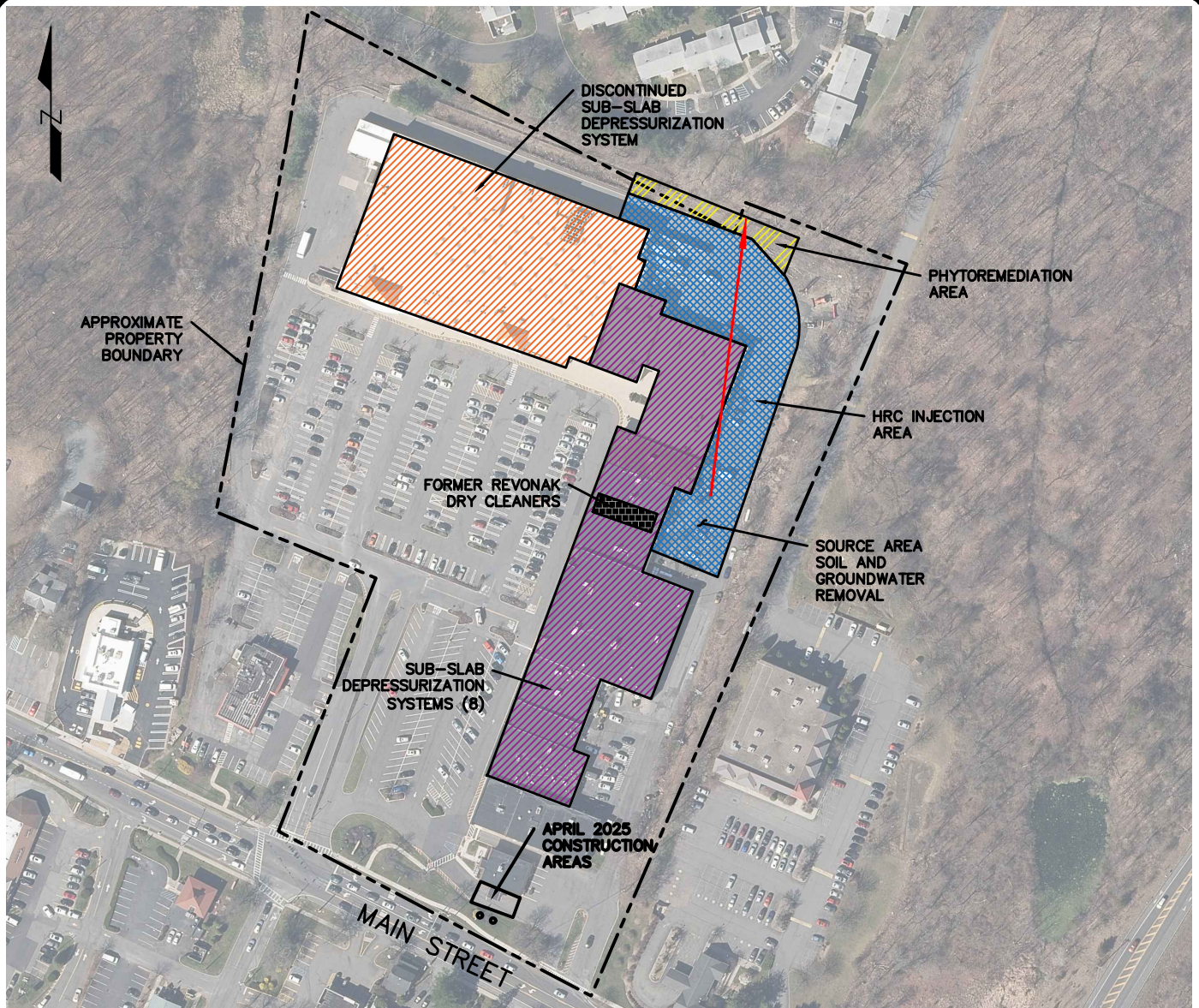
The location of the April 2025 construction was performed at the southernmost portion of the New Paltz Plaza Site. The work area was approximately 450 feet south and hydraulically upgradient of the area of remediation completed east of the former Revonak Dry Cleaners, as documented in the Final Engineering Report (FER) and the SMP. Monitoring of groundwater levels and quality document that groundwater flow is to the north (away from the bank building) and residual contaminants from the former dry cleaner are similarly to the north on the property. It is STERLING's opinion that any residual contamination associated with the former Revonak Dry Cleaners site would not have been present in the soil or groundwater where excavations and improvements were made on the south side of the Bank of America building.

5.0 SURFACE RESTORATION

All portions of the disturbed work area were finished to meet surrounding grades and are covered by new concrete and blacktop pavement. A photograph log containing images of the construction activities and the finished project is available in Appendix D.

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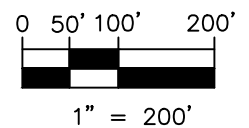
FIGURES



LEGEND:

- APPROXIMATE PROPERTY BOUNDARY
-  SUB-SLAB DEPRESSURIZATION SYSTEM
-  DISCONTINUED SUB-SLAB DEPRESSURIZATION SYSTEM
-  HRC TREATMENT AREA
-  PHYTOREMEDIATION AREA
-  FORMER REVONAK DRY CLEANERS
-  GENERALIZED GROUNDWATER FLOW DIRECTION

MAP REFERENCE: USGS HIGH RESOLUTION ORTHOIMAGERY, 2021



STERLING

Sterling Environmental Engineering, P.C.
24 Wade Road • Latham, New York 12110

SITE REMEDY MAP
NEW PALTZ PLAZA
NYS ROUTE 299

TOWN OF NEW PALTZ

ULSTER CO., NEW YORK

PROJ. No.: 2014-45 | DATE: 5/14/2025 | SCALE: 1" = 200' | DWG. NO. 2014-45014 | FIGURE 2

APPENDIX A
BUILDING PERMIT



Town of New Paltz
One Veterans Drive, PO Box 550
New Paltz, NY 12561

Building Permit

Permit Number: 24-00341

Permit Date: 11/01/24

Application Number: 24000423

Application Date: 10/21/24

Owner / Property Information

Owner Name: NEW PALTZ PROPERTIES, LP

Tax Map ID: 86.12-6-5.1

Location: 271 MAIN ST

Occupancy: B Business

Construction Type: 5B

Contractor: Horton Group LLC

All work shall be executed in strict compliance with the permit application, approved plans, NYS Uniform Fire Prevention and Building Code, and all other laws, rules, and regulations which apply. This Building Permit does not constitute authority to build in violation of any Federal, State, or local law or any other rule or regulation.

Description of Work

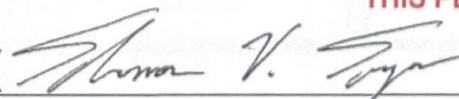
New Exterior Drive-Thru ATM, Routing
Power & Data to the Existing Electrical
Room (Drive-Thru +/- 488 Sq. Ft.)

INSPECTIONS REQUIRED:

1. ROUGH ELECTRIC
2. REBAR (PRE-POUR)
3. ASPHALT/LINE STRIPING
4. SIGNAGE
5. FINAL ELECTRICAL
6. FINAL INSPECTION

THIS PERMIT MUST BE DISPLAYED ON THE BUILDING OR PREMISES AND BE PLAINLY VISIBLE FROM THE STREET AND NOT BE USED FOR ANY OTHER LOCATION THAN NOTED

THIS PERMIT EXPIRES 11/01/25

X 

Code Enforcement Officer

11/1/24

Date

APPENDIX B
SITE PLANS AND ENGINEERING DESIGN DOCUMENTS



ATM CAPACITY ADD

New Paltz
NY6-252

Issue for SD Review
Issue for SD Final
Issue for CD_90
Issue for CD Final

04/26/2024
05/20/2024
08/29/2024
09/12/2024

1 New Paltz Plaza
New Paltz, NY 12561

Client Representative

Clyde Basner
Senior Project Manager, LEED Green Associate
CBRE | Global Workspace Solutions
C + 1.347.931.5967
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Architect

NELSON
Nelson Architecture & Interiors, Inc. P.C.

Dalina Boryszewski
Project Manager
Nelco Architecture, Inc.
Direct 678.254.0522
dboryszewski@nelsonwww.com
WWW.NELSONWORLDWIDE.COM

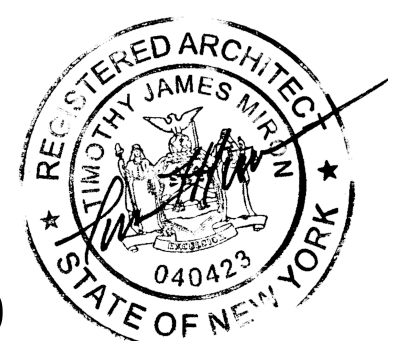
Architect of Record

Tim Miron
Direct: 212.951.2970
tmiron@nelsonwww.com

Civil Engineer

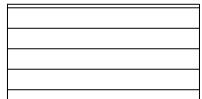
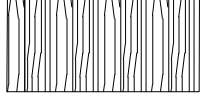
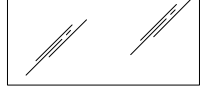
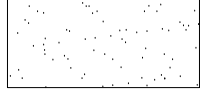
Stonefield Engineering & Design
Matthew Checca
Direct: 718.606.8305
mchecca@stonefieldeng.com

PjM Project Number: 02819P3FD381
NELSON Project Number: 23.0002665.000

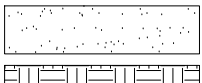
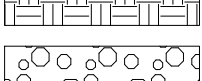
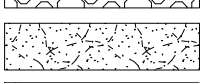
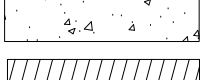
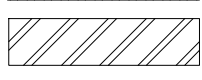
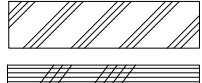
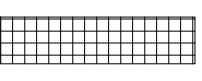
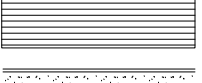
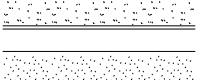
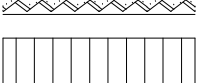
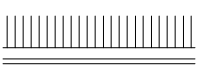


GRAPHIC SYMBOLS

ELEVATION INDICATIONS

	STONE
	BRICK/CONCRETE BLOCK
	FINISHED WOOD
	GLASS
	PLASTER/ STUCCO

SECTION INDICATIONS

	SAND OR GROUT
	EARTH OR NATURAL GROUND
	POROUS FILL (GRAVEL)
	STONE
	CONCRETE
	BRICK
	CONCRETE MASONRY UNIT
	METAL
	NON-FERROUS ALUMINUM
	PLYWOOD
	WOOD (FINISH)
	WOOD (CONTINUOUS)
	WOOD (BLOCKING) INTERRUPTED MEMBER
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	GLASS (LARGE SCALE)
	GYP SUM BOARD
	PLASTER WITH LATH
	ACOUSTICAL TILE
	CARPET
	FABRIC WRAPPED PANEL

ABBREVIATIONS

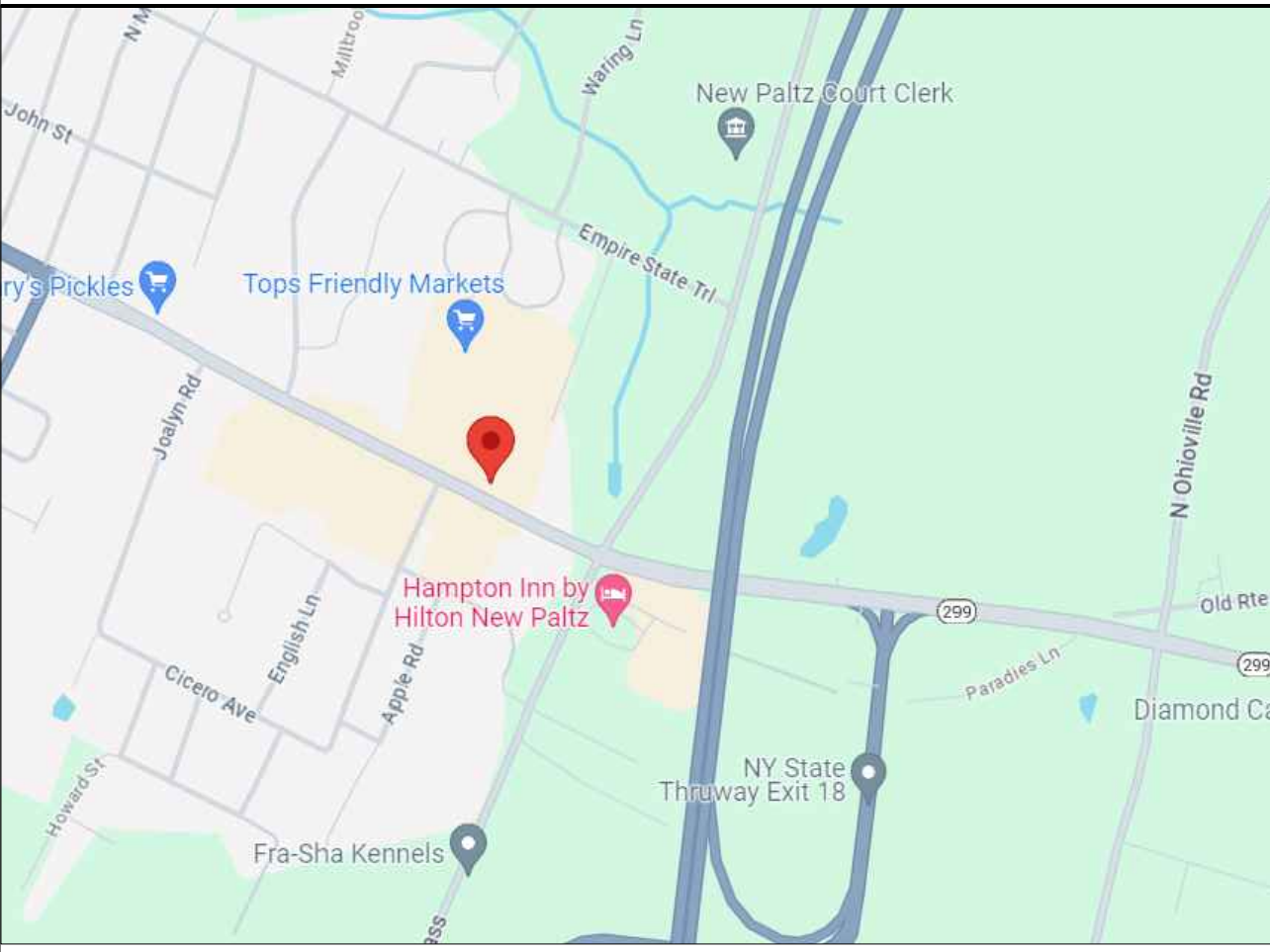
A	ACCES ACCESSORY ACOUS ACOUSTIC(AL) AFF ABOVE FINISHED FLOOR AL ALUMINUM ALT ALTERNATE ANNUNC ANNUNCIATOR ANOD ANODIZED APPL APPLIANCE ARCH ARCHITECT(URAL) AUTO AUTOMATIC AVG AVERAGE & AND	B	BLDG BUILDING BOLL BOLLARD BD BOARD BLKG BLOCKING BRODM BROADLOOM BU BUILT UP	C	CAB CABINET CPT CARPET CEM CEMENT(TIOUS) CER CERAMIC CLG CEILING COATG COATING COLG COILING CONC CONCRETE CONSTR CONSTRUCTION CONT CONTINUOUS(ATION) CONTR CONTRACT(OR) COV COVER CMU CONCRETE MASONRY UNIT CFMF COLD FORMED METAL FRAMING	D	DBL DOUBLE DEPT DEPARTMENT DES DESIGN(ED) DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIFF DIFFUSER DIM DIMENSION DISP DISPENSER DIV DIVISION DN DOWN \$ DOLLAR (US CURRENCY) DR DOOR DSCON DISCONNECT DWR DRAWER	E	ELAST ELASTOMERIC ELEC ELECTRICAL EMBED EMBEDD(ED)(ING) ENGR ENGINEER(ED) ENTR ENTRANCE EQ EQUAL EQUIP EQUIPMENT EXIST EXISTING EXP JT EXPANSION JOINT EXPS EXPOSE(D) EXT EXTERIOR	F	FAB FABRICATION FD FLOOR DRAIN FE FIRE EXTINGUISHER FE&C FIRE EXTINGUISHER AND CABINET FHC FIRE HOSE CABINET FIN FINISH FLDG FOLDING FLPC FIREPLACE FR FIRE RAT(ING)(ED) FRMG FRAMING FXD FIXED FXTR FIXTURE FLR FLOOR(ING) FURN FURNITURE FUT FUTURE FWC FABRIC WALL COVERING FUT FUTURE	G	GA GAUGE GFRC GLASS FIBER REINFORCED CONCRETE GFRG GLASS FIBER REINFORCED GYPSUM GFRP GLASS FIBER REINFORCED PLASTER GL GLASS GR GRAD(E)(ING) GYP GYPSUM	H	HD HEAD HDWD HARDWOOD HDWE HARDWARE HM HOLLOW METAL HOP HIGHEST OPERABLE POINT HORIZ HORIZONTAL HVAC HEATING, VENTILATING, AND AIR CONDITIONING	I	INFO INFORMATION INSTRUM INSTRUMENT(ATION) INSUL INSULATION INTLK INTERLOCK(ING) INT INTERIOR INFILTR INFILTRATION	J	JAN JANITOR
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K	KIT KITCHEN	L	LAV LAVATORY LB POUND £ BRITISH POUND (CURRENCY) LT LIGHT LVLG LEVELING LVR LOUVER	M	MAX MAXIMUM MFD MANUFACTURED MFR MANUFACTURER MECH MECHANICAL MET METAL MEMB MEMBRANE MEZZ MEZZANINE MIN MINIMUM MISC MISCELLANEOUS MLWK MILLWORK MOIST MOISTURE MOT MOTOR(IZED) MTD MOUNTED	N	NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE	O	ORNA ORNAMENTAL OVFL OVERFLOW OVHD OVERHEAD OPNG OPENING(S) OPR OPERABLE	P	PTN PARTITION PEDTR PEDESTRIAN PBD PARTICLE BOARD PNL PANEL POLYST POLYSTYRENE PORT PORTABLE PREFIN PREFINISHED PREFAB PREFABRICATED PLAM PLASTIC LAMINATE PLAS PLASTER PLSTC PLASTIC PLYWD PLYWOOD PRTECN PROTECTION	R	RDR READER RECES RECESSED RECP RECEPTACLE REF REFERENCE REFL REFLECTED REFR REFRIGERATOR REQD REQUIRED RESIS RESIST(ANT)(IVE) REINF REINFORCE(D)(ING)(MENT) RESIL RESILIENT RFG ROOFING RM ROOM RO ROUGH OPENING	S	SCR SCRIBE SECU SECURITY SF SQUARE FEET SQL SINGLE SHORG SHORING SIM SIMILAR SST STAINLESS STEEL STD STANDARD STL STEEL STRFR STOREFRONT STRUCT STRUCTURAL SURF SURFACE SUSP SUSPENDED SYS SYSTEM(S)	T	THK THICK TLT TOILET TRAF TRAFFIC TRANS TRANSPARENT TRTD TREATED T&G TONGUE AND GROOVE TYP TYPICAL	U	UNDRLAY UNDERLAYMENT UTIL UTILITY UNO UNLESS NOTED OTHERWISE	V	VEH VEHICLE VERT VERTICAL VIF VERIFY IN FIELD	W	W/ WITH WC WATER CLOSET WD WOOD WDW WINDOW W/O WITHOUT WT WEIGHT WTRPRF WATERPROOFING
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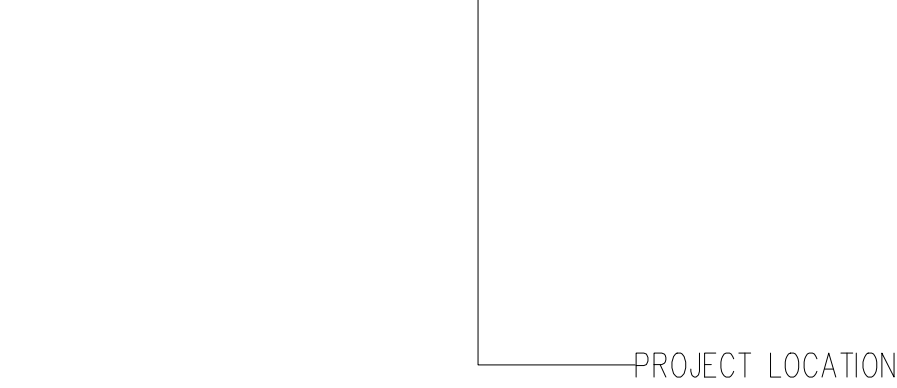
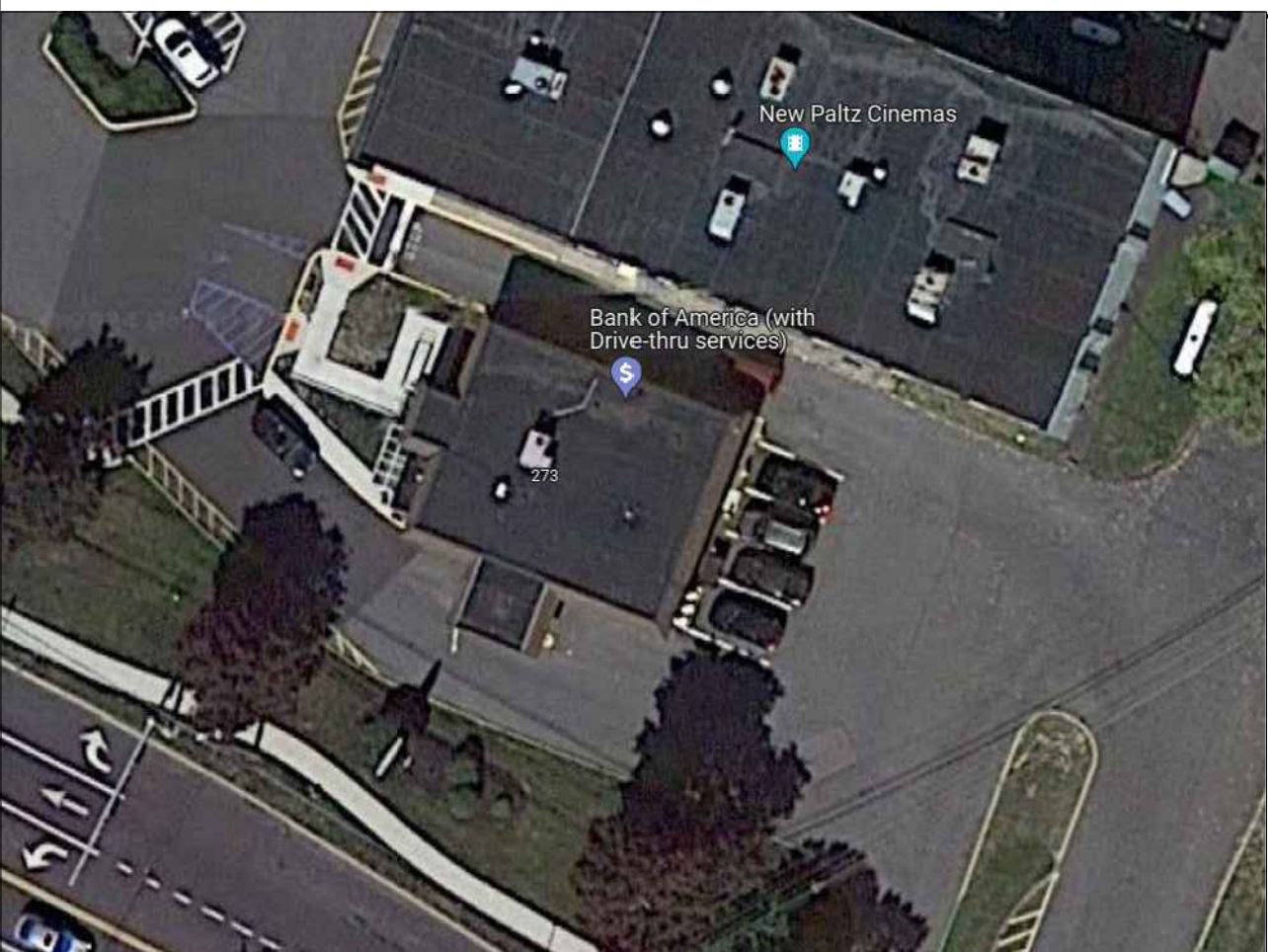
PROJECT INFORMATION

PROJECT ADDRESS:	1 NEW PALTZ PLAZA NEW PALTZ, NY 12561
PROJECT NAME:	BANK OF AMERICA
PROJECT TYPE:	DRIVE-THRU RENOVATION
PROJECT DESCRIPTION:	PROJECT SCOPE INCLUDES AN EXTERIOR NEW ATM OF (1) DRIVE UP ATM AT THE DRIVE THRU AND ROUTING POWER & DATA TO THE EXISTING ELECTRICAL ROOM.
PROJECT OCCUPANCY:	GROUP B BUSINESS
CONSTRUCTION TYPE:	TYPE II-B
PROJECT SIZE:	DRIVE THROUGH SQ.FT.: +/- 488 SQ FT
BUILDING DESCRIPTION:	NO CHANGE TO EXISTING OCCUPANCY TYPE, OCCUPANT LOAD, MEANS OF EGRESS OR LIFE SAFETY SYSTEMS UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING PLUMBING FIXTURES ARE TO REMAIN AS-IS AND ARE NOT CONSIDERED WITHIN THE SCOPE OF THIS PROJECT.
CODE AND ORDINANCES WITH AMENDMENTS AND DELETIONS	
BUILDING CODE:	2020 NEW YORK STATE BUILDING CODE
EXISTING BUILDING CODE:	2020 NEW YORK STATE EXISTING BUILDING CODE
PLUMBING CODE:	2020 NEW YORK STATE PLUMBING CODE
ELECTRICAL CODE:	2020 NEW YORK STATE ELECTRICAL CODE
ENERGY CODE:	2020 NEW YORK STATE ENERGY CONSERVATION CODE
MECHANICAL CODE:	2020 NEW YORK STATE MECHANICAL CODE
FIRE PROTECTION CODE:	2020 NEW YORK STATE FIRE PREVENTION CODE
ACCESSIBILITY CODE:	2010 ADA STANDARDS

VICINITY MAP

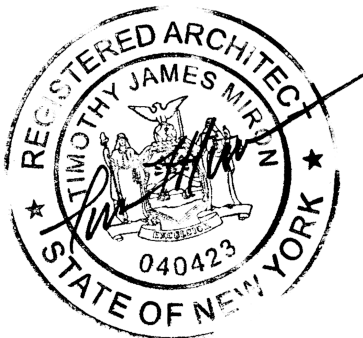


LOCATION MAP



DRAWING INDEX

----	COVER SHEET
A00.00	DRAWING INDEX, LOCATION MAP & PROJECT INFORMATION
ARCHITECTURAL	
A01.00	DEMOLITION SITE PLAN
A02.00	CONSTRUCTION AND POWER & COMMUNICATIONS PLAN
A08.00	DETAILS
CIVIL	
C-1	COVER SHEET
C-2	OVERALL SITE PLAN
C-3	EXISTING CONDITIONS PLAN
C-4	DEMOLITION PLAN
C-5	SITE & GRADING PLANS
C-6	LIGHTING PLAN
C-7	LIGHTING PLAN
C-8	CONSTRUCTION DETAILS
C-9	CONSTRUCTION DETAILS



DEMOLITION PLAN NOTES:

- A. REFER TO GENERAL NOTES SHEET A00.00.
B. PROTECT AREAS OF BANK NOT IN SCOPE OF WORK DURING DEMOLITION AND CONSTRUCTION. ERECT BARRIERS AS NECESSARY TO PROTECT OTHER AREAS FROM DUST AND DEBRIS. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES IN REGARDS TO PERSONAL AND PROPERTY SAFETY DURING DEMOLITION AND CONSTRUCTION.
C. ANY OTHER AREAS DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION.
D. REMOVE ALL TOOLS AND EQUIPMENT AND LEAVE JOB SITE CLEAN AT THE END OF EACH DAY. DISPOSE OF ALL DEBRIS PROPERLY. SMOOTH AND PREPARE SURFACES FOR NEW FINISH WHERE DEMOLITION OCCURS.
F. FOR ALL AREAS TO BE DEMOLISHED, REMOVE ALL ATTACHMENTS, FASTENERS, SCRAPE SURFACES SMOOTH, FILL HOLES AND PATCH TO PREP FOR NEW WORK ACCORDING TO SPECS.
G. GC TO VERIFY DISPOSITION OF ALL ITEMS W/ PJM & FCM PRIOR TO REMOVAL OF ANY ITEM.
H. GENERAL CONTRACTOR SHALL ENSURE THAT DEMOLITION IS COORDINATED WITH NEW WORK, ALL DOCUMENTATION AND TRADES.
I. GENERAL CONTRACTOR SHALL PERFORM ALL CUTTING, FITTINGS AND PATCHING REQUIRED TO RECEIVE THE WORK OF ALL TRADES AS INDICATED OR IMPLIED ON THE DRAWINGS OR NOTES. WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT WORK TO REMAIN.
J. WHERE A CHANGE OF PLANE OF $\frac{1}{4}$ " OR MORE OCCURS, SUBMIT NOTIFICATION OF THE INSTANCE AND RECOMMENDATION FOR PROVIDING A CORRECTION AND SMOOTH TRANSITION, TO THE A/E FOR REVIEW.

DEMOLITION KEYNOTES: (XX)

- DEMOLISH CONCRETE ISLAND IN ITS ENTIRETY. EXCAVATE AS REQUIRED, PROVIDE COMPACTED DRAINAGE FILL TO PREP FOR NEW ATM ISLAND SLAB PER DETAIL.
- SAW-CUT DRIVEWAY CONCRETE PAVEMENT TO DIMENSION SHOWN TO WIDEN ISLAND FOR RELOCATED ATM.
- TRENCH AS REQUIRED FOR ELECTRICAL RACEWAYS FROM ATM TO NER/ELECTRICAL ROOM. VERIFY ROUTE PRIOR TO CUTTING TO ENSURE NO INTERFERENCE WITH OTHER UTILITIES.
- EXISTING "CLEARANCE" SIGN TO REMAIN.
- EXISTING "DO NOT ENTER" SIGN TO REMAIN.
- PROTECT EXISTING COLUMNS

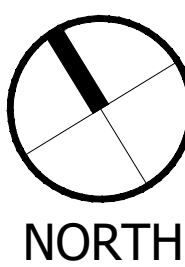
Description:	No:	Date:
Issue for SD Review		04/26/2024
Issue for SD Final		06/20/2024
Issue for CD 90		08/29/2024
Issue for CD Final		09/12/2024

BANK OF AMERICA
NEW PALTZ
ATMC

1 New Paltz Plaza
New Paltz, NY 12561

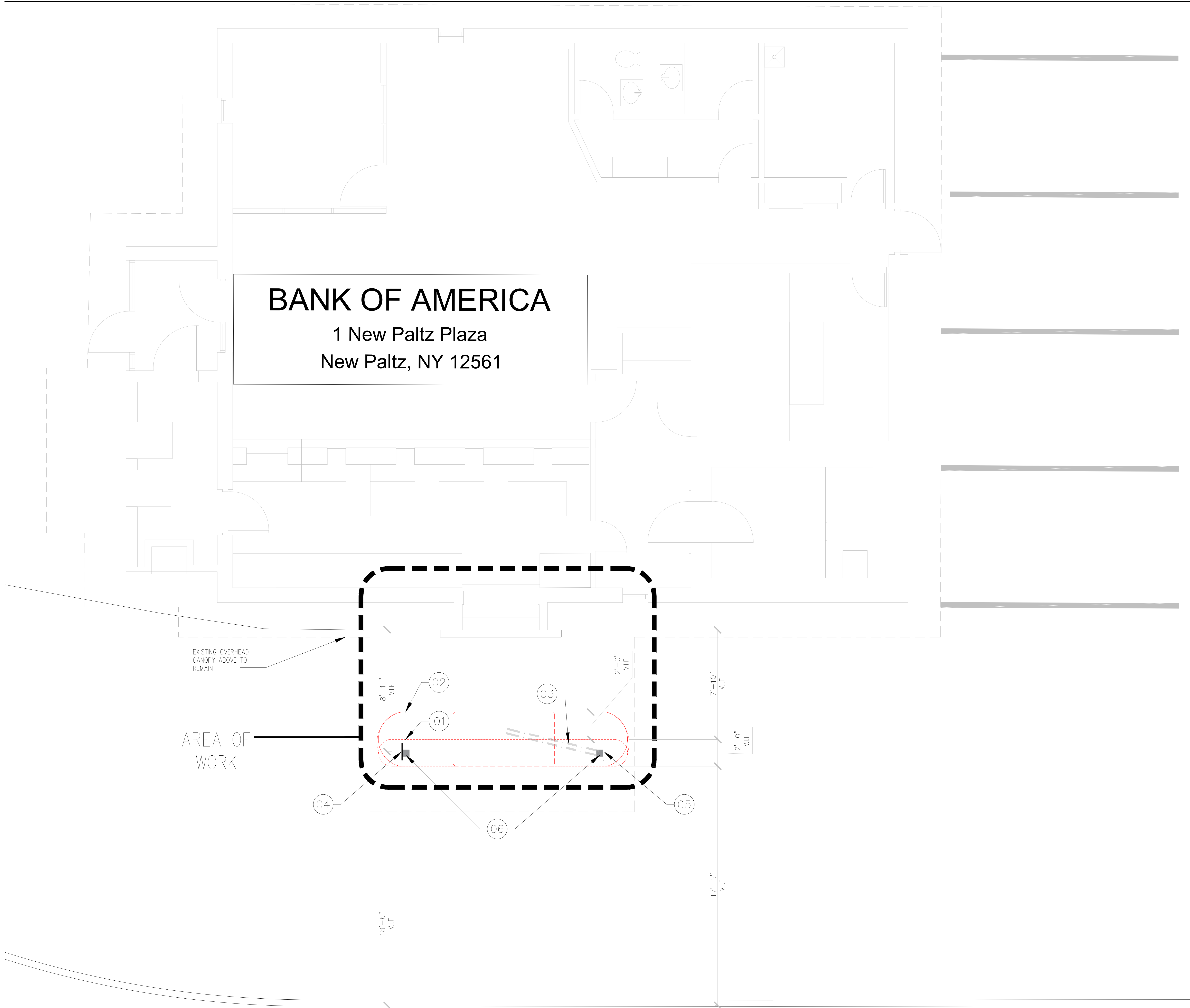
PROPERTY ID: NY6-252
NSRP VERSION: 3.0
BULLETIN: 2-2024

DEMOLITION SITE PLAN



Proj. No: 23.0002665.000 Reviewed By: DB/JA

A01.00



CONSTRUCTION PLAN NOTES:

- REFER TO GENERAL NOTES SHEET A00.00.
- ANY OTHER AREAS DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION.
- SMOOTH AND PREPARE SURFACES FOR NEW FINISH WHERE DEMOLITION OCCURS.
- FOR ALL AREAS TO BE DEMOLISHED, REMOVE ALL ATTACHMENTS, FASTENERS, SCRAPE SURFACES SMOOTH, FILL HOLES AND PATCH TO PREP FOR NEW WORK ACCORDING TO SPECS.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.

POWER & COMM. PLAN NOTES:

- FOR ADDITIONAL SCHEDULES AND REFERENCE DRAWINGS REFER TO A00.00.
- LOCATION OF TRENCHING TO BE CONFIRMED WITH ARCHITECT AND ENGINEER.
- COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS WITH VENDOR DRAWINGS.
- VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- FACILITY PARTNER PROJECT MANAGER IS RESPONSIBLE FOR DOWNLOADING A COPY OF THE VENDOR SPECIFIC ATA/ATM INSTALLATION CUT SHEETS AND PROVIDING COPIES OF THESE CUT SHEETS TO THE GC. GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THEIR ELECTRICAL SUBCONTRACTOR IS PROVIDED A COPY OF THESE SAME INSTALLATION CUT SHEETS.
- PLAN TO PIPE UP THE COLUMN, TRIM OUT THE COLUMN AND RUN POWER/DATA THROUGH THE CEILING.

CONSTRUCTION & POWER PLAN KEY NOTES: (XX)

- INSTALL NEW ATM PER ORDER MATRIX ABOVE AT THIS LOCATION. PROVIDE BANK-STANDARD SECURITY BOLLARDS AS REQUIRED (BY VENDOR).
- NEW 4" DIAMETER SCHED. 40 PRIMED STEEL BOLLARD, 3000PSI CONCRETE FILLED W/ HDPE COVER (POST GUARD BY ENCORE, INC. COLOR GREY W/ RED SAFETY TAPE).
- NEW CONCRETE DRIVE-UP ATM ISLAND, 4" HIGH, PER BOA STANDARDS.
- PROVIDE NEW COMBINATION DRIVE-UP ATM/CLEARANCE SIGN. PATCH/REPAIR OR CLEAN-UP BY GC IF THE SIGNAGE IS NOT MOUNTED IN THE SAME EXACT LOCATION OR THE SIGN IS A DIFFERENT SIZE. CONFIRM SPECIFICATIONS WITH JANE COMINS MCCORD.
- NEW LANE DIRECTION ARROW, SOLID WHITE (TO MATCH EXISTING WHITE) W/ BENJAMIN MOORE INSUL-X OR APPROVED EQUAL.
- PROPOSED ROUTE NEW POWER & DATA TO EXISTING NER/ELECTRICAL ROOM; (2) 2" C. RACEWAYS W/ PULL STRING IN FOR LOW VOLTAGE RUN CONTINUOUSLY TO NER ROOM, AND CONDUITS AND CONDUCTORS AS REQUIRED FOR POWER TO ELEC RM. AS NEEDED. VERIFY PATH; ROUTE CONDUITS. PIPE UP COLUMN, TRIM OUT THE COLUMN, AND RUN POWER DATA THROUGH THE CEILING. ACTIVATE AND REUSE EXISTING CONDUITS AND AUGMENT AS IS FEASIBLE.
- RISER UP FOR CONDUITS FOR POWER/COMM AS REQUIRED; VERIFY LOCATION BEFORE TRENCHING. CONCEAL ALL CONDUITS IN PARTITION OR RUN IN WIRE MOLD UP TO ROUTE ABOVE CEILING. CONDUITS MAY BE SURFACE MOUNTED IN NER/ELEC ROOM. LOCATE SO AS NOT TO INTERFERE WITH ANY OTHER CABLING, EQUIPMENT OR OPERATIONS.
- POWER/COMM TO RUN ABOVE CEILING CONCEALED TO NER/ELECTRIC ROOMS.
- 6" DIA SCHED.40 CONC. FILLED TRAFFIC BOLLARD W/ HDPE SLEEVE (GRAY).
- NEW LANE MARKINGS: 4" WIDE STRIPING (WHITE) AT 45 DEGREE OF TRAVEL AT 36" O.C. MAX., TWO COATS -- ALLOW TO FULLY DRY BETWEEN COATS; BENJAMIN MOORE INSUL-X OR EQUAL.
- NEW 18 GA. METAL COLUMN SURROUND ON STUD FRAMING, PAINTED TO MATCH EXISTING CONDITIONS, TO CONCEAL NEW CONDUITS.
- EXISTING "DO NOT ENTER" SIGN TO BE RE-MOUNTED ON NEW COLUMN ENCLOSURE.
- PAINT CURB TO REFRESH EXISTING.

CONSTRUCTION PLAN LEGEND:

- | | |
|--|---------------------------------|
| | DRIVE UP ATM |
| | ALIGN WITH ESTABLISHED SURFACES |
| | AREA OF CONSTRUCTION |
| | PATH OF CABLING |

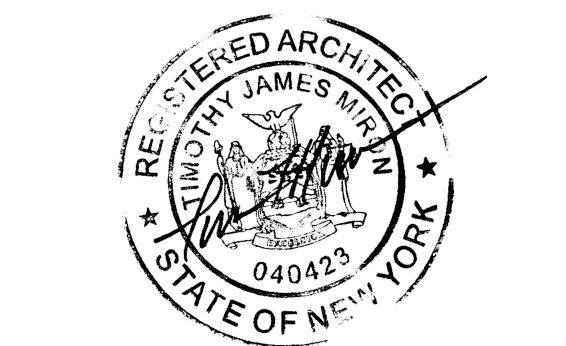
POWER & COMM PLAN LEGEND:

- | | |
|--|--|
| | CONDUITS STUB UP FOR ATM POWER [30AMP] |
| | (2) 2" CONDUITS STUB UP FOR LOW VOLTAGE CABLING. |
| | CONDUITS STUB UP FOR 20A POWER. |

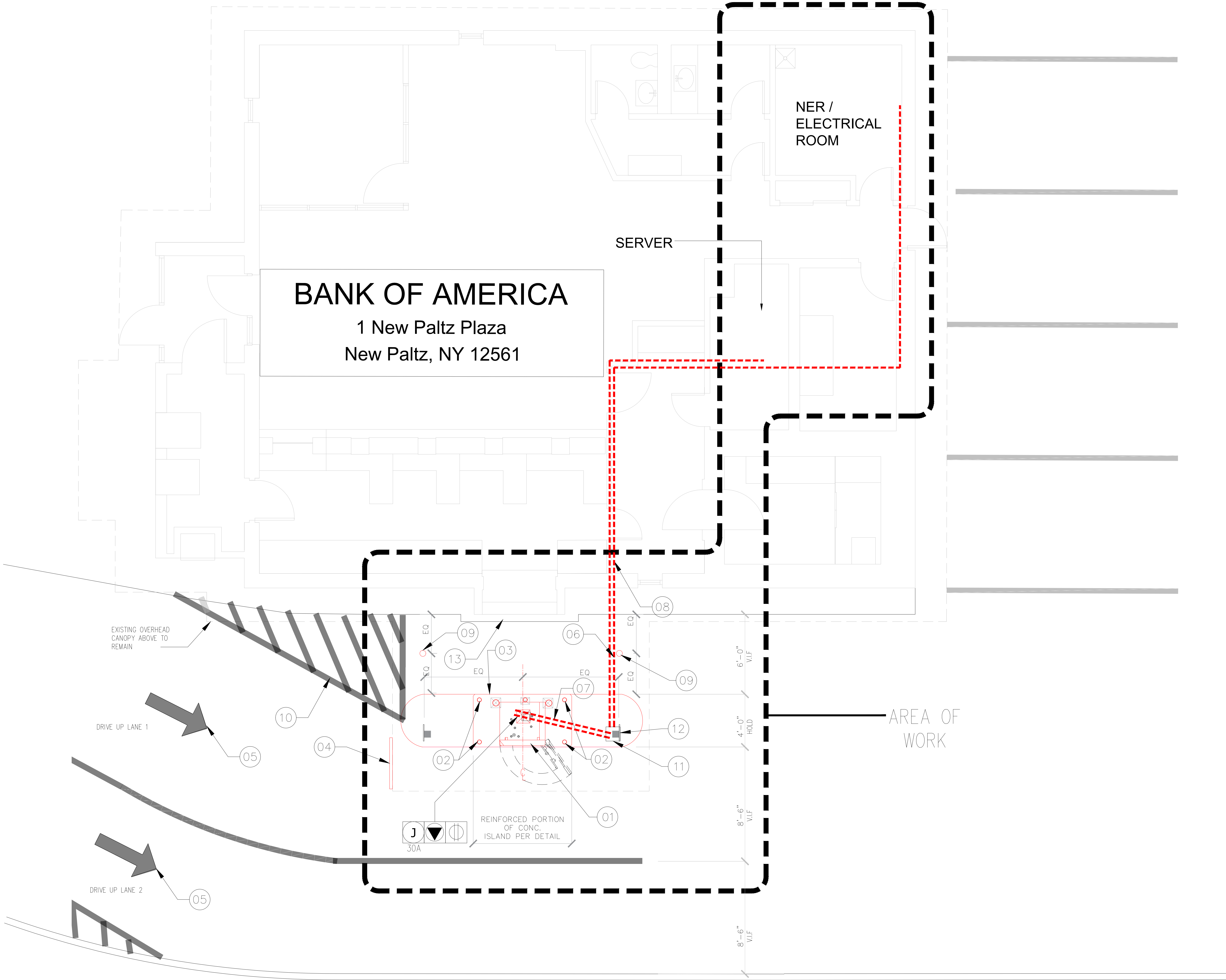
BANK OF AMERICA NEW PALTZ ATMC

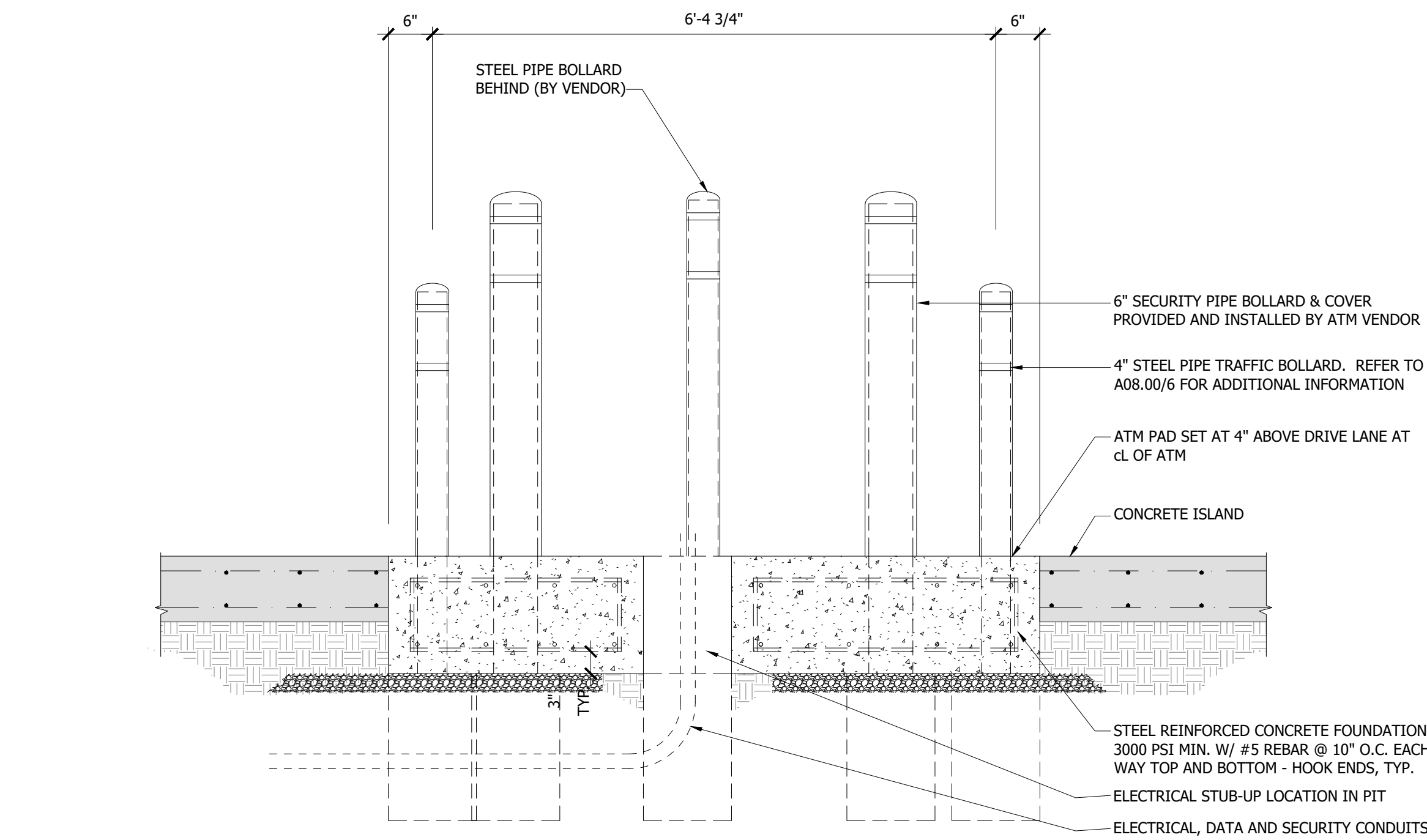
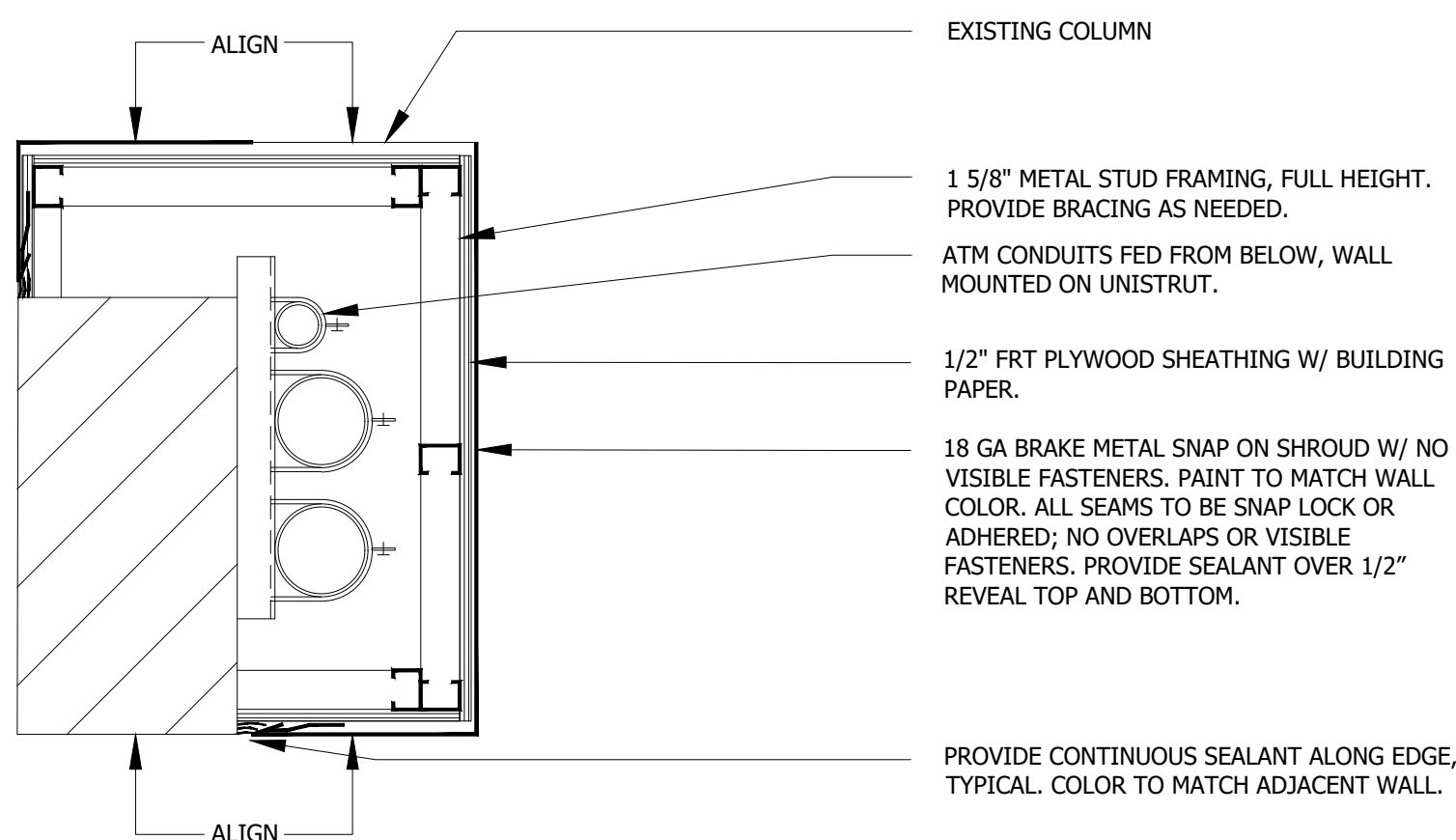
1 New Paltz Plaza
New Paltz, NY 12561
PROPERTY ID: NY6-252
NSRP VERSION: 3.0
BULLETIN: 2-2024

CONSTRUCTION AND POWER & COMMUNICATIONS PLAN

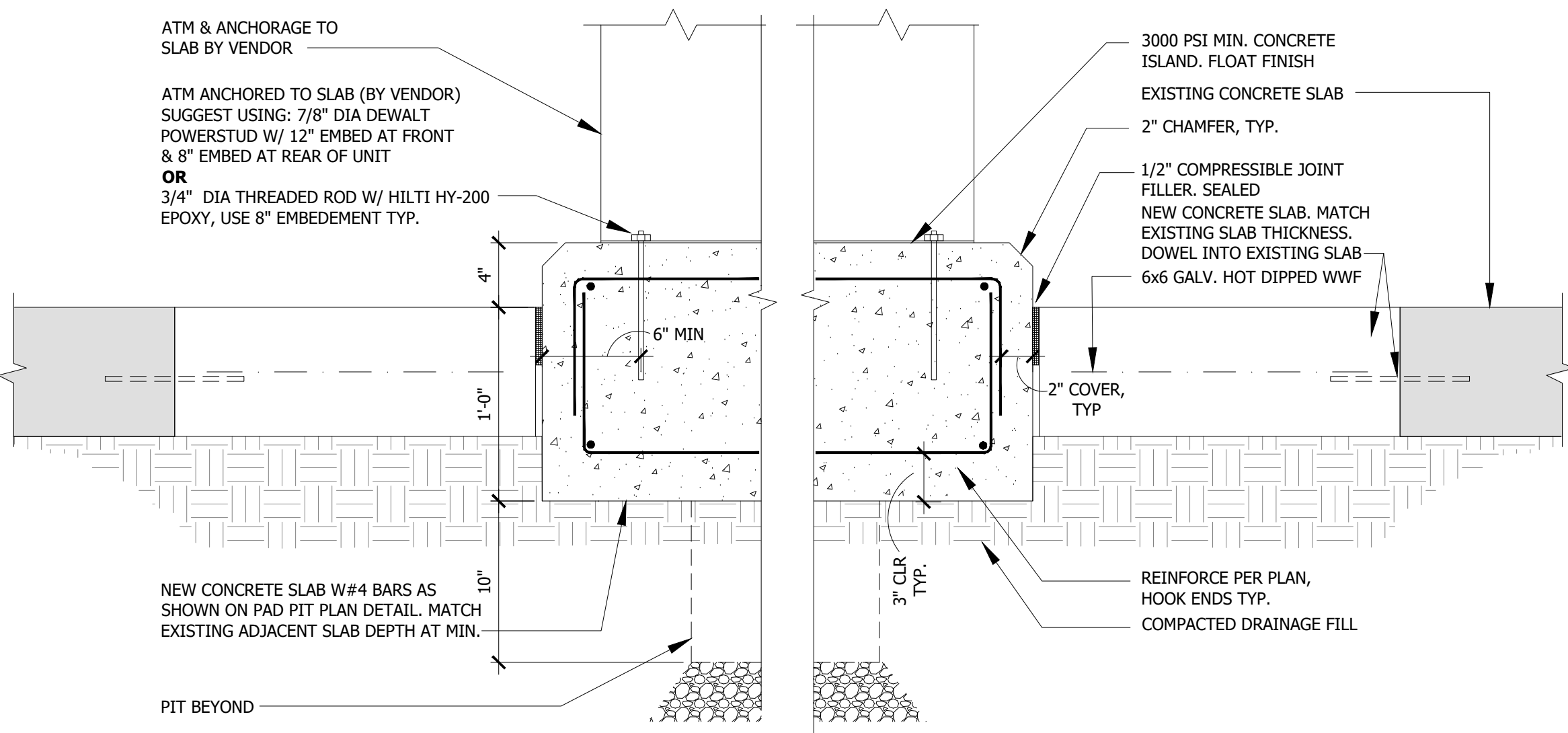


ATM Information				
Manufacturer	Model	ATM ID	Surround/Housing	Notes
NCR	2088		N/A	

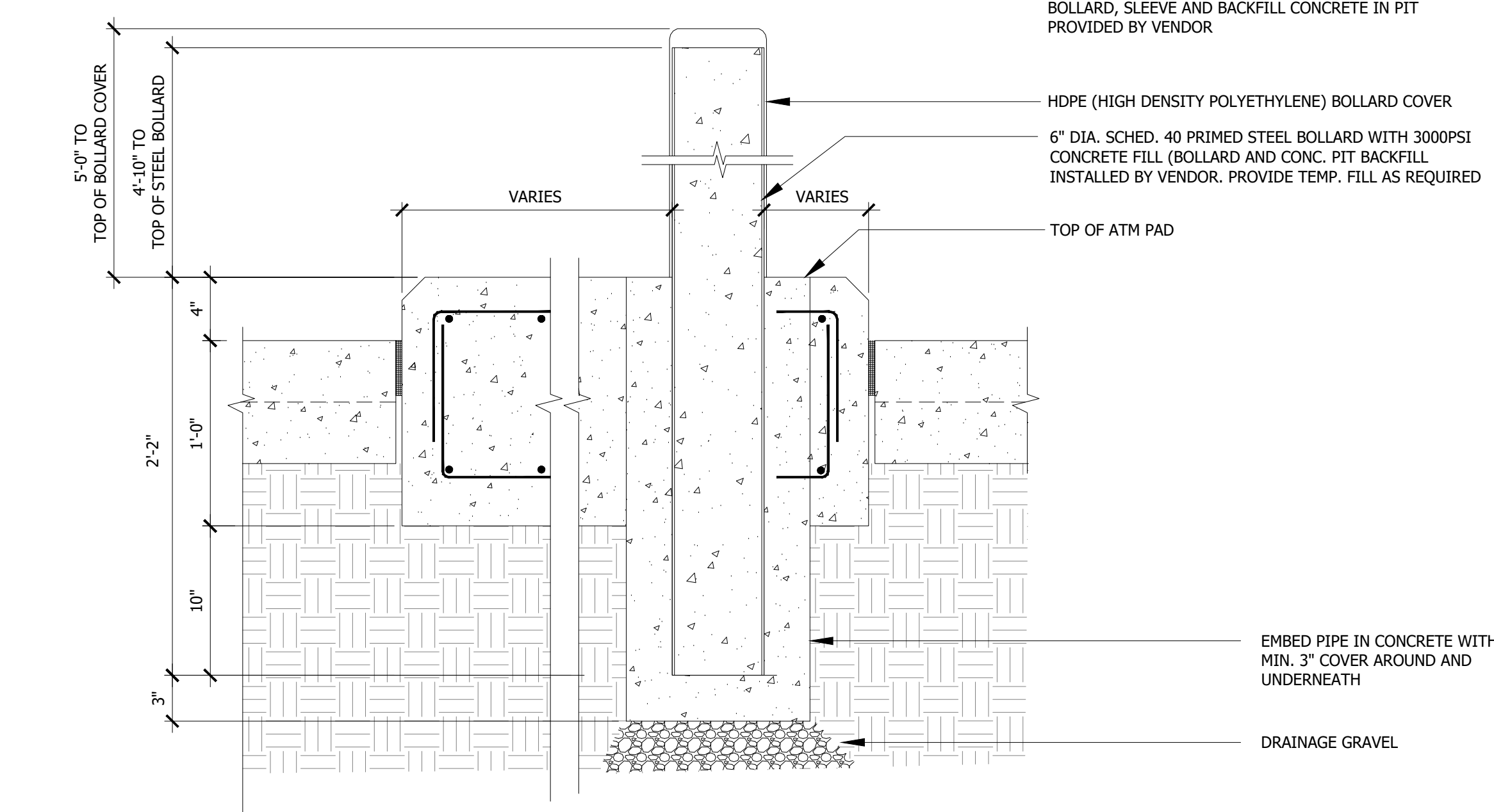




5
A08.00
SECTION - STANDARD PAD
3/4" = 1'-0"



4
A08.00
SECTION - STANDARD PAD
1-1/2" = 1'-0"

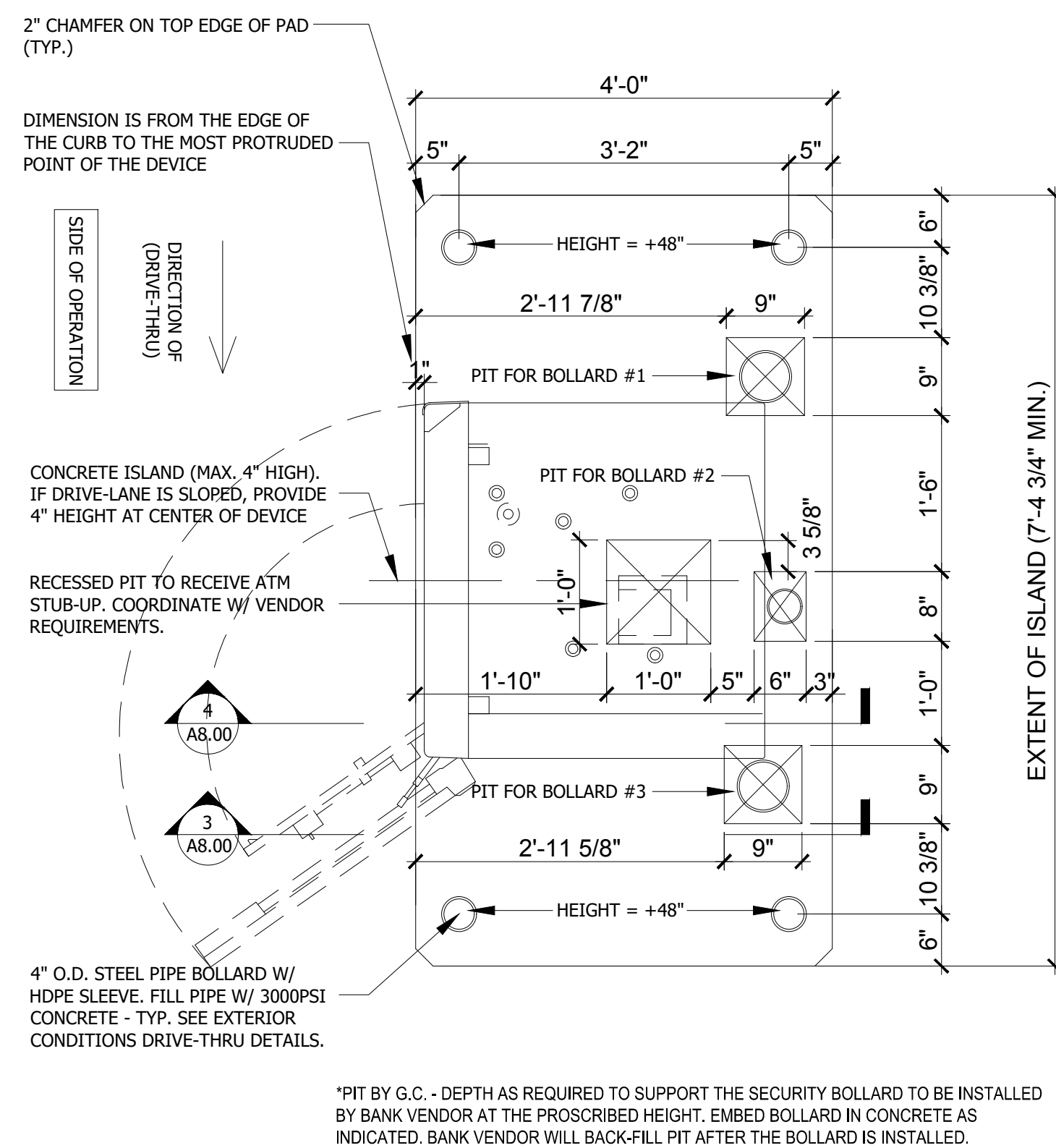


3
A08.00
SECTION - SECURITY BOLLARD
1-1/2" = 1'-0"

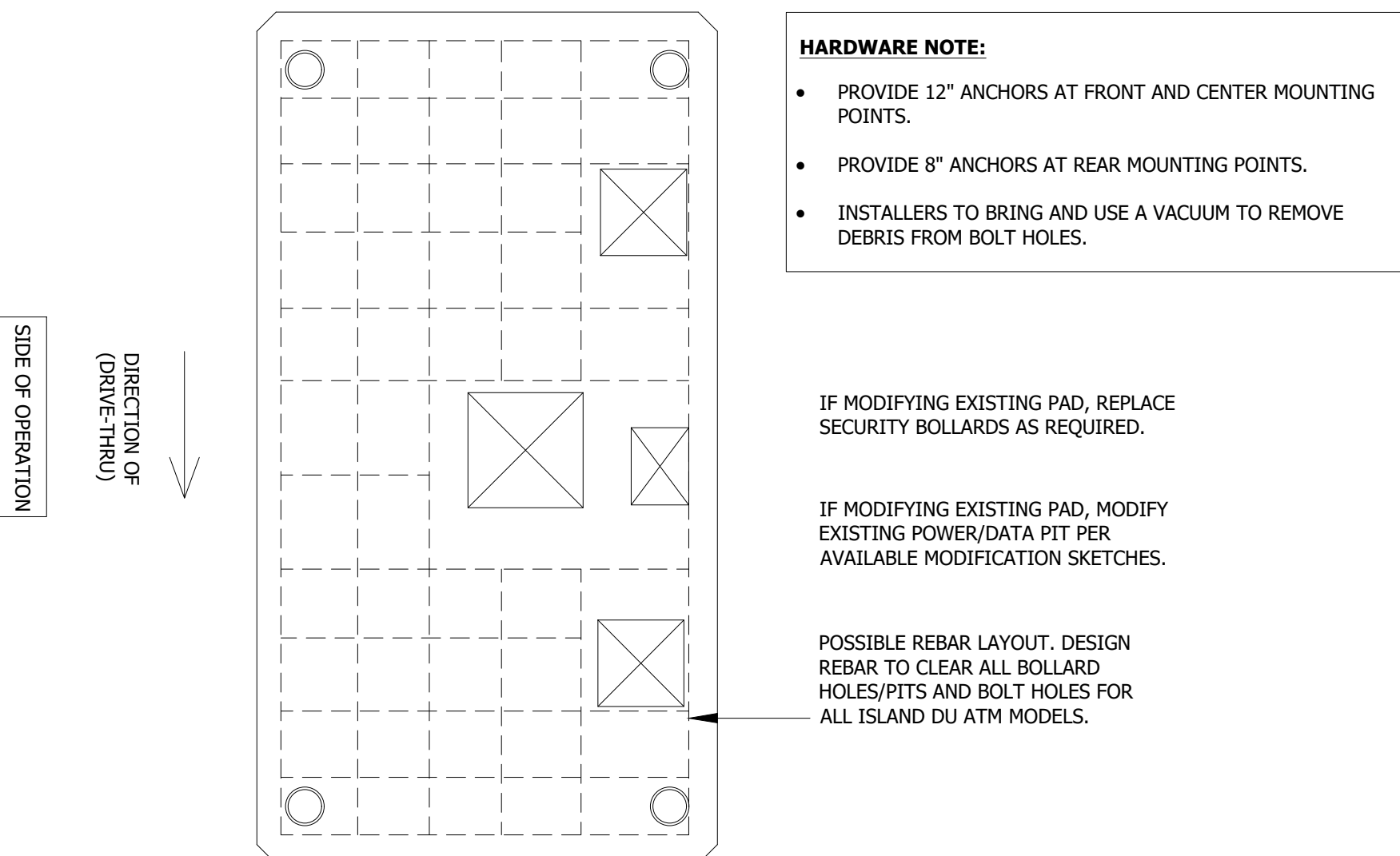
BOLLARDS:

- BOLLARD #1 = 6" DIA. x 58"H (ABOVE)
- BOLLARD #2 = 4" DIA. x 58"H (ABOVE)***
- BOLLARD #3 = 6" DIA. x 58"H (ABOVE)

***FOR ALL ATM DEVICES, BOLLARD #2 MUST BE 4" DIA. x 58"H (ABOVE)

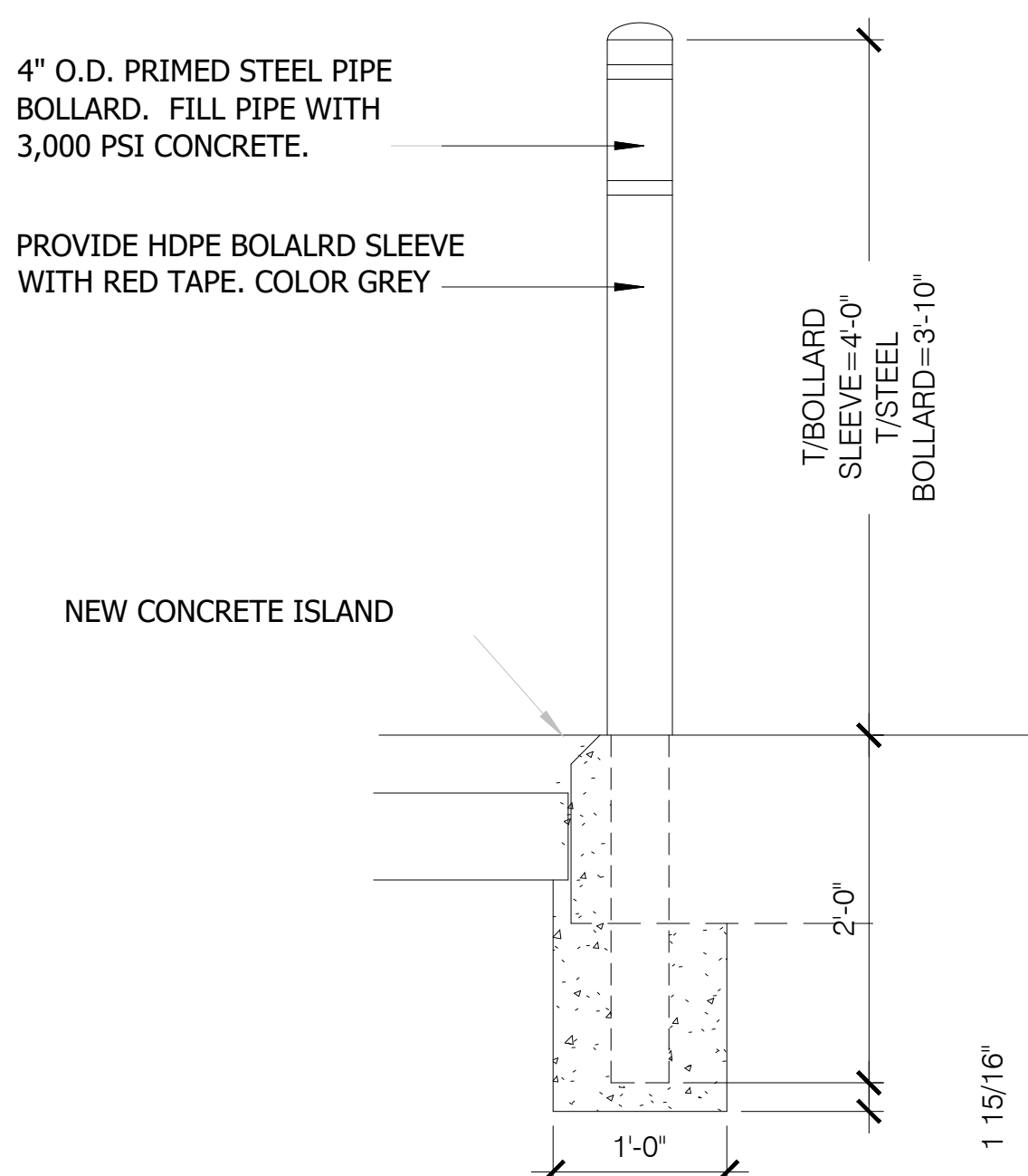


2
A08.00
STANDARD PAD/PIT DETAIL
3/4" = 1'-0"



1
A08.00
STANDARD PAD/PIT REBAR DETAIL
3/4" = 1'-0"

6
A08.00
COLUMN CONDUIT DETAIL
1-1/2" = 1'-0"

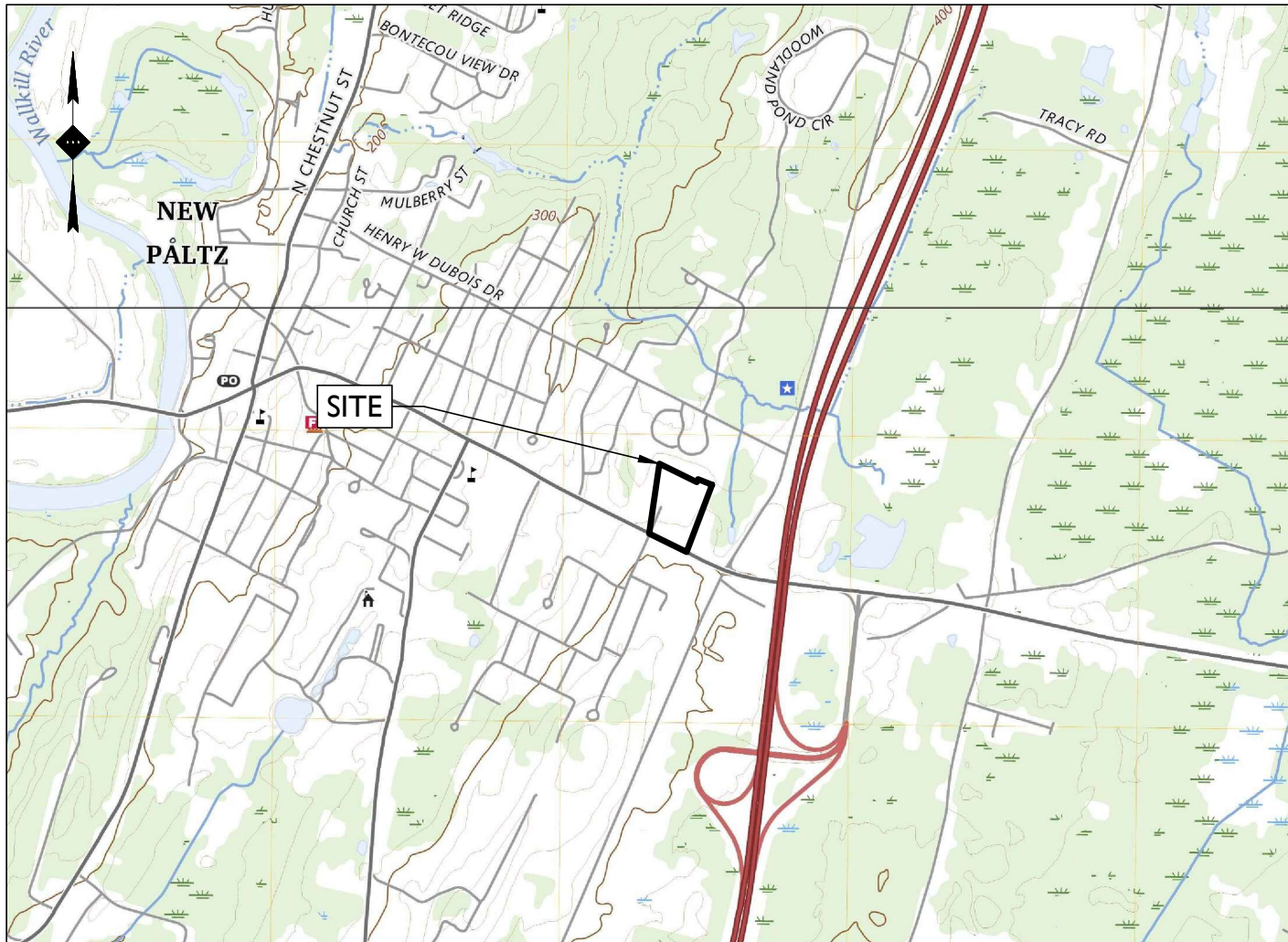


BOLLARD SLEEVE NOTES:
GC SHALL PLACE ORDERS IN A TIMELY FASHION - SHIP DATE IS TYPICALLY 24-48 HOURS AFTER ORDER IS PLACED. SLEEVES SHALL BE WARRANTED AGAINST FADING OR COLOR CHANGE FOR (5) FIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION. BOLLARD SHALL BE INSTALLED LEVEL. FILL CORES WITH CONCRETE AND STRIKE LEVEL ACROSS TOP OF PIPE. INSTALL COVER W/ INCLUDED FOAM STRIPS PER MANUFACTURER'S DIRECTIONS.

EMCORE COMMERCIAL PRODUCTS
WWW.POSTGUARD.COM
PH: 866.737.8900

6
A08.00
SECTION - TRAFFIC BOLLARD
1" = 1'-0"

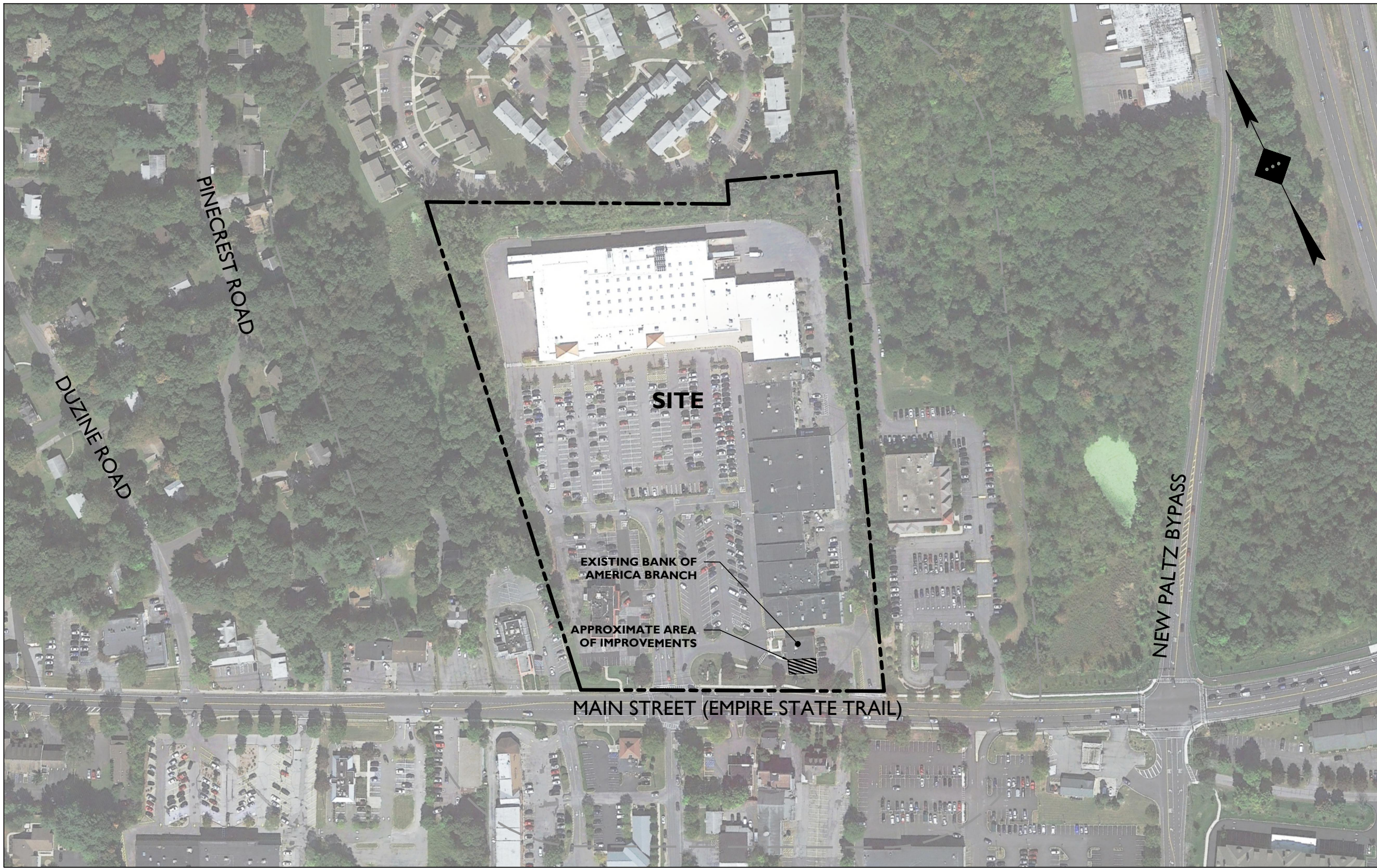




SOURCE: USGS QUADRANGLE MAP 7.5 MINUTE SERIES, CLINTONDALE, NY & ROSENDALE, NY, DATED 2023

VICINITY MAP

SCALE: 1" = 2000



SOURCE: GOOGLE EARTH PRO IMAGERY 04/16/2023

AERIAL VIEW

1" = 200'

300' PROPERTY OWNERS LIST		
PARCEL	OWNER	ADDRESS
86.12-1-19	EVELYN A HILL	P.O. BOX 1012, PORT EVEN, NY 12466
86.12-1-20.100	P & T NEW PALTZ, LLC	76 TRAPPS VIEW FARM ROAD, WALLKILL, NY 12589
86.12-1-20.200	PASQUALE & GUISEPPE, INC	248 MAIN STREET, NEW PALTZ, NY 12561
86.12-1-48.100	LEONIDAS VLAMIS	143 SOUTH OHIOVILLE ROAD, NEW PALTZ, NY 12561
86.12-1-48.200	MIDAS REALTY CORPORATION	P.O. BOX 52427, ATLANTA, GA 30355
86.12-3-28	MDS OF NEW PALTZ, INC	41 HASBROUCK ROAD, NEW PALTZ, NY 12561.2203
86.12-3-29	GAINCO, LLC	130 ROYAL STREET, PROPERTY TAX - 3WB, CANTON, MA 02021
86.12-3-30	JOSEPH J VALENTI	252 MAIN STREET, NEW PALTZ, NY 12561
86.12-3-31	MCB-EAGLE NEW PALTZ, LLC	2701 NORTH CHARLES STREET SUITE 404, BALTIMORE, MD 21218
86.12-6-1	MAIN STREET HOLDING CORP	255 MAIN STREET, NEW PALTZ, NY 12561
86.12-6-3.100	DDBC ABUNDANCE, LLC	257 MAIN STREET, NEW PALTZ, NY 12561
86.12-6-4	FRANCHISE REALTY, INC	P.O. BOX 271, RHINEBACK, NY 12572
86.12-6-6.111	HEALTH THE INSTITUTE FOR FAMILY	2006 MADISON AVENUE, NEW YORK, NY 10035
86.12-6-6.310	SALISBURY BANK AND TRUST	5 BISSELL STREET, LAKEVILLE, CT 06039
86.8-4-42	ARTHUR NATHANSON	342 SOUTH PLAN ROAD, WESTTOWN, NY 10998
86.8-4-43	ELAINE KOVASKY	4 PINECREST ROAD, NEW PALTZ, NY 12561
86.8-4-44	MARY LEIGH WEAVER	6 PINECREST ROAD, NEW PALTZ, NY 12561
86.8-4-45	JUDITH A DORNEY	8 PINECREST ROAD, NEW PALTZ, NY 12561
86.8-4-48	DANIEL SCHERRER	31 ELM STREET, TILLSON, NY 12486
86.8-4-49	ANTHONY LUXOR	717 59TH STREET, BROOKLYN, NY 11220
86.8-4-50	ELIZABETH ALDWORTH	16 PINECREST ROAD, NEW PALTZ, NY 12561
86.8-4-55	ARMIN KADIC	10 PINECREST ROAD, NEW PALTZ, NY 12561
86.8-5-12.100	NEW PALTZ HOUSING	480 BEDFORD ROAD, FLOOR 1.300 WEST WING, CHAPPAQUA, NY 10514
86.8-5-12.200	MEADOWBROOK ASSOC II	480 BEDFORD ROAD, FLOOR 1.300 WEST WING, CHAPPAQUA, NY 10514

BANK OF AMERICA ATM UPGRADES PLAN



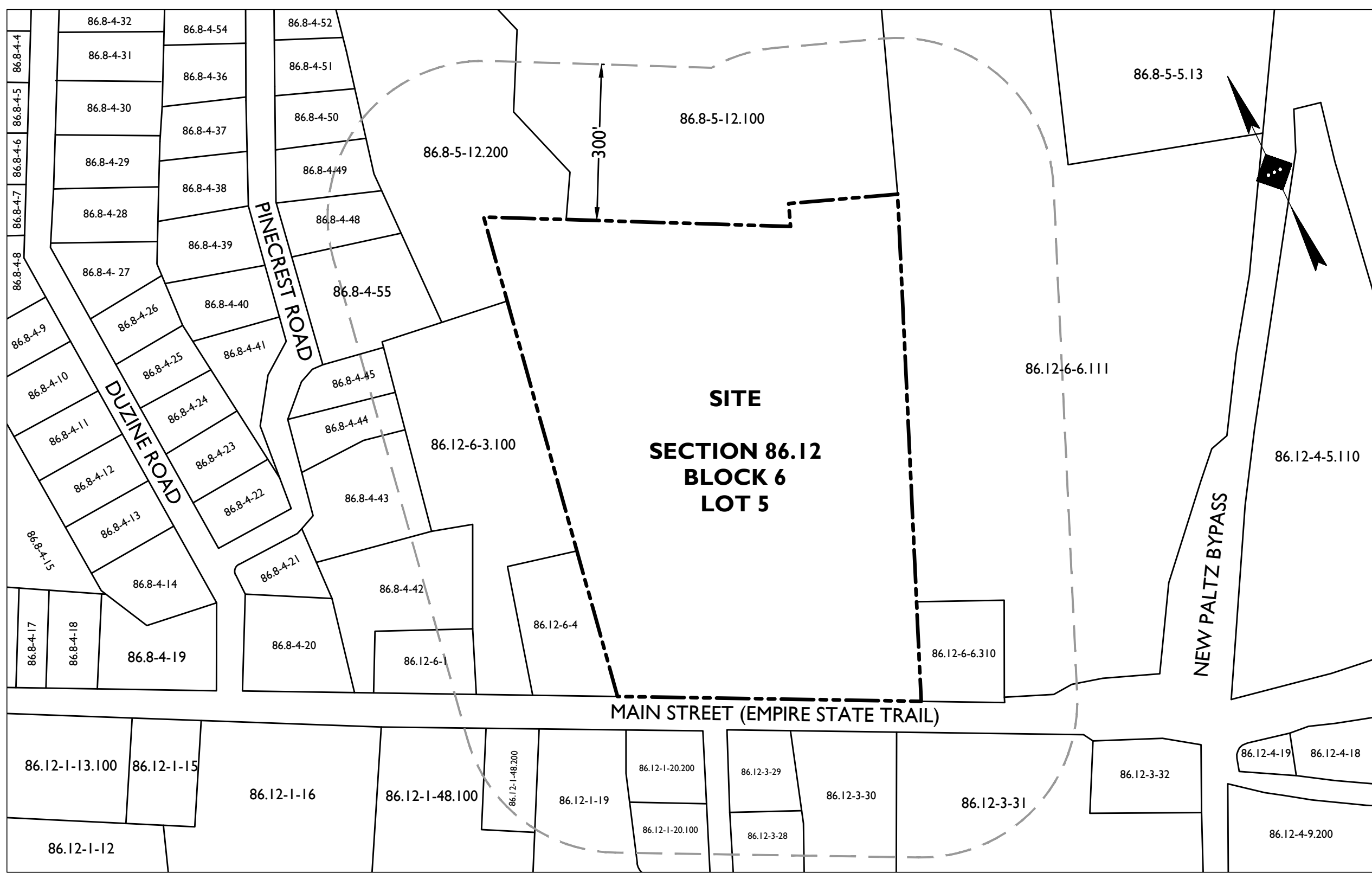
OWNER

NEW PALTZ PROPERTIES, L.P.
257 MAMARONECK AVENUE
WHITE PLAINS, NY 10605
845-417-8300



Know what's below.
Call before you dig.

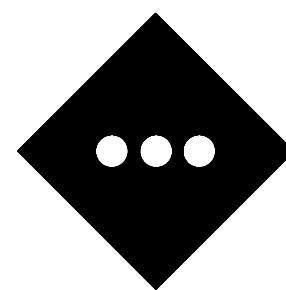
NY6-252
BLOCK 6, LOT 5, SECTION 86.12
1 NEW PALTZ PLAZA
TOWN OF NEW PALTZ
ULSTER COUNTY, NEW YORK



SOURCE: ULSTER COUNTY TAX PARCEL VIEWER, DATED APRIL 2024

TAX MAP

1" = 200'



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Phone 718.606.8305

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - TITLE/ TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC, ISSUED 03/13/2024
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH SATELLITE IMAGERY, DATED 04/16/2023
 - LOCATION MAP OBTAINED FROM USGS 7.5 MINUTE SERIES TOPO MAP, ROSENDALE AND CLINTONDALE QUADRANGLES, DATED 2023
 - TAX MAP INFORMATION OBTAINED FROM ULSTER COUNTY TAX PARCEL VIEWER, DATED APRIL 2024
 - BANK OF AMERICA EXTERIOR LIGHTING PROGRAM BY GMR ARCHITECTS LAST UPDATED 07/25/2024
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

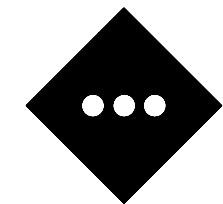
DRAWING TITLE	SHEET #
COVER SHEET	C-1
OVERALL SITE PLAN	C-2
EXISTING CONDITIONS PLAN	C-3
DEMOLITION PLAN	C-4
SITE & GRADING PLANS	C-5
LIGHTING PLAN	C-6 & C-7
CONSTRUCTION DETAILS	C-8 & C-9

BANK OF AMERICA

ATM Upgrades New Paltz, New York

Block 6, Lot 5, Section 86.12
1 New Paltz Plaza
Town of New Paltz
Ulster County, New York

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Phone 718.606.8305

Issue	Date	Issue Description	By	Check
01	04/26/2024	INITIAL SUBMISSION	CD	MC
02	09/03/2024	ISSUED FOR REVIEW	AD	MC
03	09/12/2024	ISSUED FOR REVIEW	AD	MC

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER

CD
DRAWN BY

MC
CHECKED BY

STONEFIELD
engineering & design, llc.

SCALE: (H) AS SHOWN

PROJECT ID: NYC-240036

TITLE:

COVER SHEET

SHEET:

C-1

(*) PREVIOUSLY APPROVED

20' 0' 20' 40'



GRAPHIC SCALE IN FEET
1" = 20'

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING SITE CONDITIONS AND THE PROPOSED WORK. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC OF THE SITE CONDITIONS PRIOR TO ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO THE CONTRACTOR'S OBLIGATION TO MAINTAIN LIABILITY INSURANCE CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEViate FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT THE WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO BE DAMAGED BY THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS SHOWN WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE AGENCY'S AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND TO ENFORCE ALL OSHA REGULATIONS.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT CONSTITUTE THE CONTRACTOR'S AUTHORITY TO PERFORM ANY WORKS AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
13. FULL DEPTH ASPHALT - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT REPLACEMENT TO MATCH EXISTING CONDITIONS.
14. ASPHALT OVERLAY - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT OVERLAY AREAS TO MATCH EXISTING CONDITIONS.
15. CONTRACTOR TO PAINT EXISTING BUILDING COLUMNS, CLEAN AND PREP AS NECESSARY TO RECEIVE NEW PAINT. TYPICAL AT ALL BUILDING COLUMN LOCATIONS.
16. CONTRACTOR TO PAINT EXISTING CURBS AND WALKS.
17. CONTRACTOR TO PAINT EXISTING FASCIA, PREP AND REPAIR AS NECESSARY TO RECEIVE NEW PAINT.
18. CONTRACTOR TO REMOVE AND/OR REPLACE SEGMENTS OF DAMAGED OR DISCOLORED BRICKS TO MATCH EXISTING ADJACENT.
19. CONTRACTOR TO PAINT EXISTING CURB.
20. CONTRACTOR TO PAINT EXISTING UTILITIES, PREP AS NECESSARY TO RECEIVE NEW PAINT.

Block 6, Lot 5, Section 86.12
1 New Paltz Plaza
Town of New Paltz
Ulster County, New York

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Phone 718.606.8305

[illegible]

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER

SCALE: (H) 1" = 20'

PROJECT ID:	NYC-240036
-------------	------------

TITLE:

OVERALL SITE PLAN

SHEET:

C-2

Block 6, Lot 5, Section 86.12
1 New Paltz Plaza
Town of New Paltz
Ulster County, New York

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[illegible]

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER

CD	MC
<u>DRAWN BY</u>	<u>CHECKED BY</u>



SCALE: (H) 1" = 20'

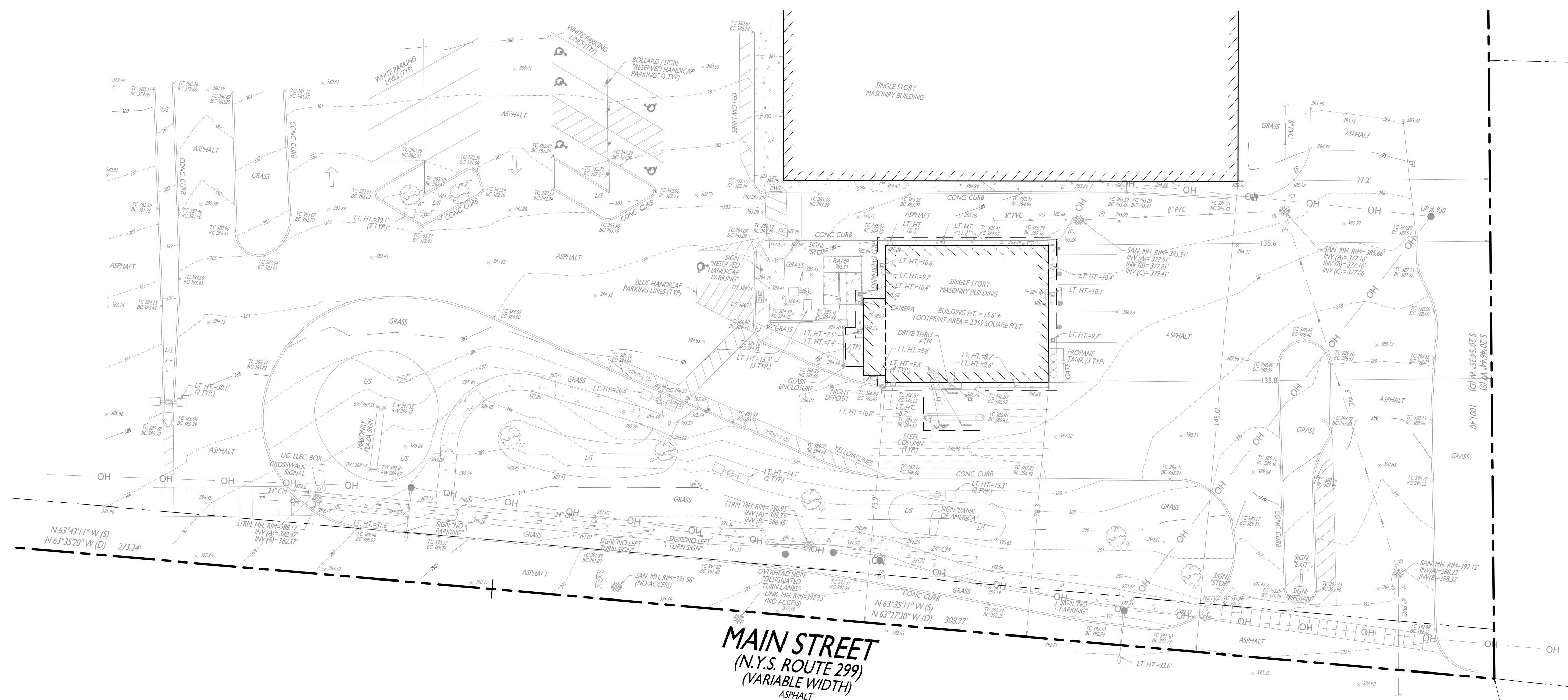
PROJECT ID:	NYC-240036
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TITLE:	
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EXISTING CONDITIONS PLAN

SHEET:

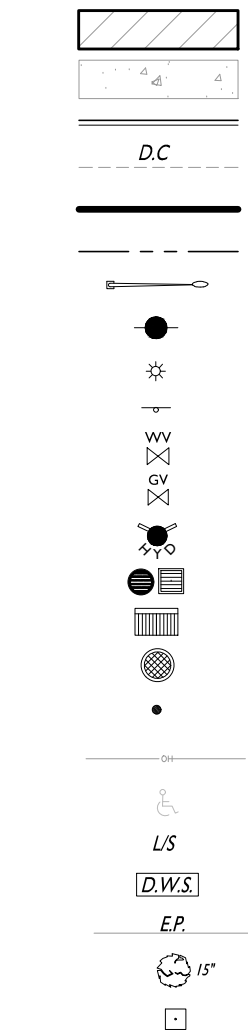
C-3



EXISTING CONDITIONS PLAN

LEGEND

SYMBOL



DESCRIPTION

- BUILDING
- CONCRETE SIDEWALK / PAVT
- ASPHALT / CONCRETE CURB
- DEPRESSED CURB
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- MAST ARM LIGHT POLE
- POLE
- LIGHT POLE
- SIGNS
- WATER VALVE
- GAS VALVE
- FIRE HYDRANT
- DRAIN
- INLET
- MAN HOLE
- BOLLARDS
- OVERHEAD WIRE
- HANDICAP PARKING
- LANDSCAPING
- DETECTABLE WARNING STRIP
- EDGE OF PAVEMENT
- DECIDUOUS TREE - DIAMETER NOTED
- SURVEY MONUMENT

SURVEY NOTES

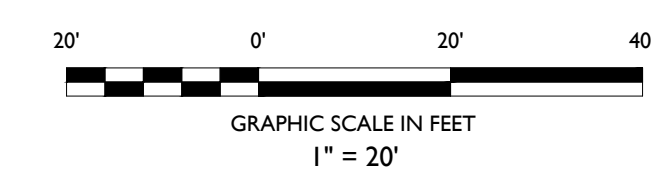
1. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2024, BASED ON AVAILABLE MATERIALS, INSTRUMENTS, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
2. THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.
3. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
5. ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE AND/OR THE FIELD SURVEY AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND/OR SANITARY INVERTS ARE INDICATED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS CLOSELY AS PRACTICALLY POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES, BEFORE ANY ALTERATIONS ARE MADE. THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
6. BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) EAST ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NAVD83 DATUM. THE NATIONAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
7. BENCHMARK = MAG NAIL = 385.35' (NAVD88).
BENCHMARK = MAG NAIL = 385.55' (NAVD88).
8. BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.
9. NO NEW YORK STATE DOT RECORDS WERE FOUND IN THE COUNTY CLERK'S OFFICE. ANY RECORDS WERE RECEIVED VIA FOIL REQUEST.

SURVEY REFERENCES:

- SURVEY REFERENCES:
1. DEED BETWEEN NEW PALTZ PLAZA ASSOCIATES, LLC (GRANTOR) AND NEW PALTZ PROPERTIES, LP (GRANTEE), DATED 03/28/1997 AND FILED IN THE ULSTER COUNTY CLERKS OFFICE AS DEED BOOK 2671 PAGE 253.
 2. TAX MAP SHEET 86.012, TOWN OF NEW PALTZ, ULSTER COUNTY, NEW YORK, PREPARED BY ULSTER COUNTY REAL PROPERTY TAX SERVICE AGENCY, DATED 03/05/2019.

AREA NOTES:

LAND AREA = 33,571 SQUARE FEET OR 0.771 ACRE



ULUS.STONEFIELDENG.COM/SHARES/ILCINNYC2024/NYC-240036 CBRE - I NEW PALTZ PLAZA, NEW PALTZ, NY/CADD/PILOT/BOA-03-EXST.DWG

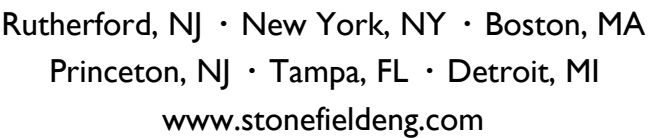


NOTES:

1. CONCRETE REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST REMOVAL AREA AS REQUIRED TO PROVIDE PROPOSED GRADES. WHERE PRACTICAL, CONTRACTOR CAN EXTEND LIMITS OF REMOVAL BASED ON LOCATION OF EXISTING CONCRETE JOINTS FOR EASE OF CONSTRUCTION.
2. ASPHALT REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT REMOVAL AREA AS REQUIRED.
3. ASPHALT MILLING - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT MILLING AREA AS REQUIRED.

Block 6, Lot 5, Section 86.12
1 New Paltz Plaza
Town of New Paltz
Ulster County, New York

CIVIL ENGINEER:



584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER



STONEFIELD
engineering & design, llc.

SCALE: (H) 1" = 20'

PROJECT ID: NYC-24003

DEMOLITION PLAN

SHEET:

C-4

[illegible]

MAIN STREET
(N.Y.S. ROUTE 299)
(VARIABLE WIDTH)
ASPHALT

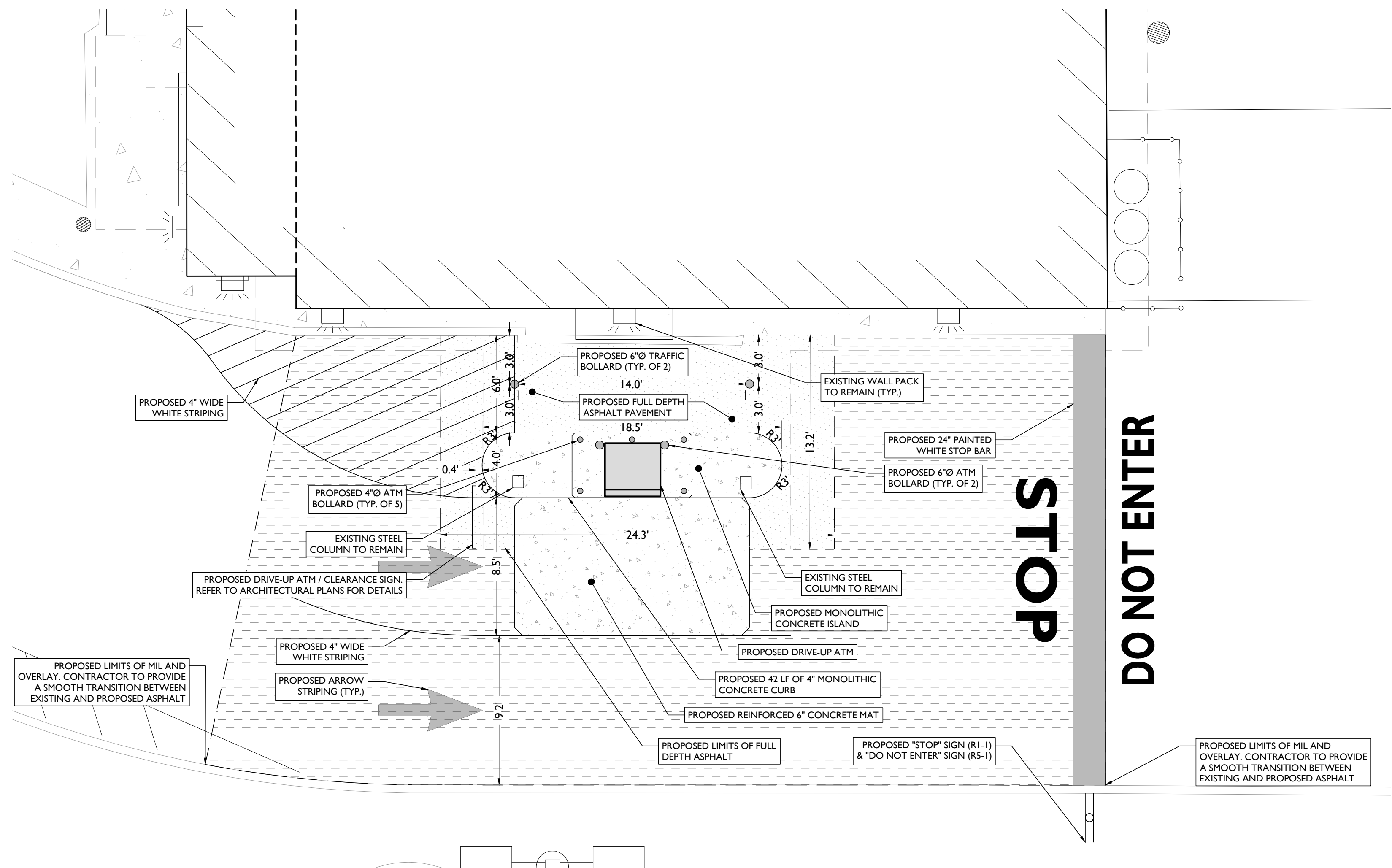
- P.O.B.
N: 1,060,003.43
E 609 754 52

DEMOLITION PLAN

20' 0' 20' 40'

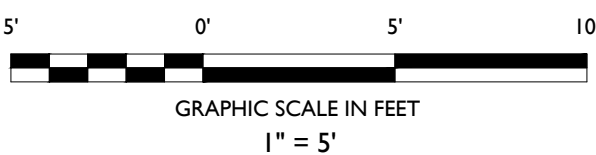


GRAPHIC SCALE IN FEET
1" = 20'

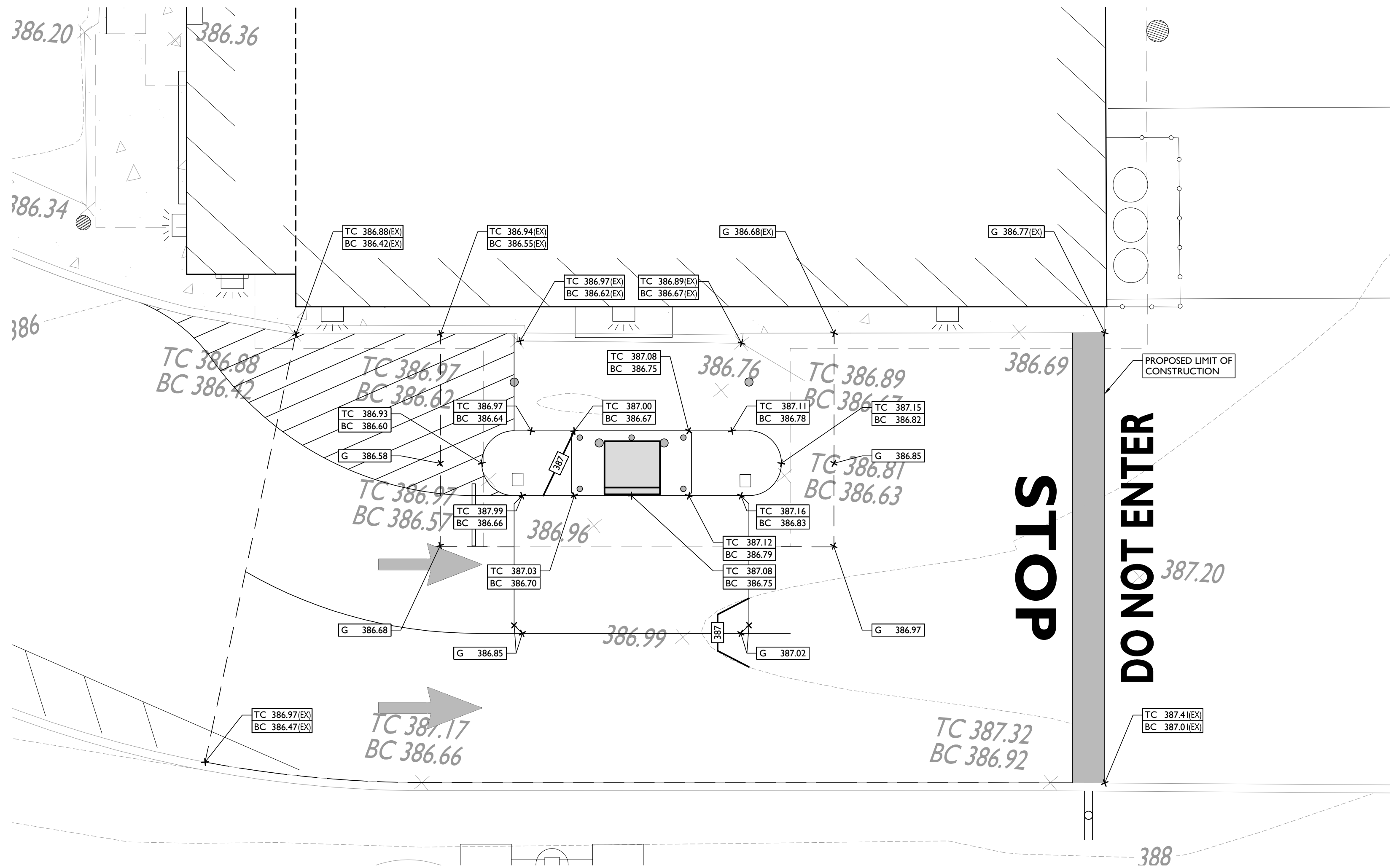


SITE LEGEND

- PROPOSED CURB
- PROPOSED SIGN / BOLLARD
- PROPOSED FULL DEPTH ASPHALT
- PROPOSED ASPHALT OVERLAY
- EXISTING BUILDING
- EXISTING CURB

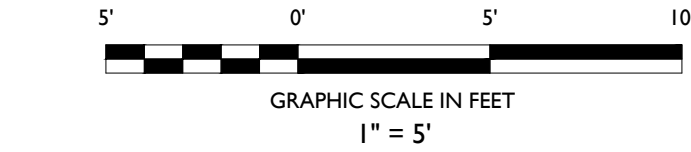


SITE PLAN



GRADING LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- FIRST FLOOR SPOT ELEVATION
- EXISTING BUILDING
- EXISTING CURB
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING BOTTOM OF CURB ELEVATION



GRADING PLAN

BANK OF AMERICA

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New Paltz, New York

Block 6, Lot 5, Section 86.12
1 New Paltz Plaza
Town of New Paltz
Ulster County, New York

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Issue	Date & Issue Description	By	Check
01	04/26/2024 INITIAL SUBMISSION	CD	MC
02	09/03/2024 ISSUED FOR REVIEW	AD	MC
03	09/12/2024 ISSUED FOR REVIEW	AD	MC

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NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER

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SCALE: (H) 1" = 5'

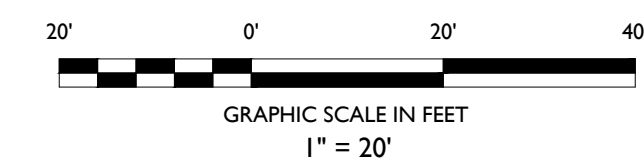
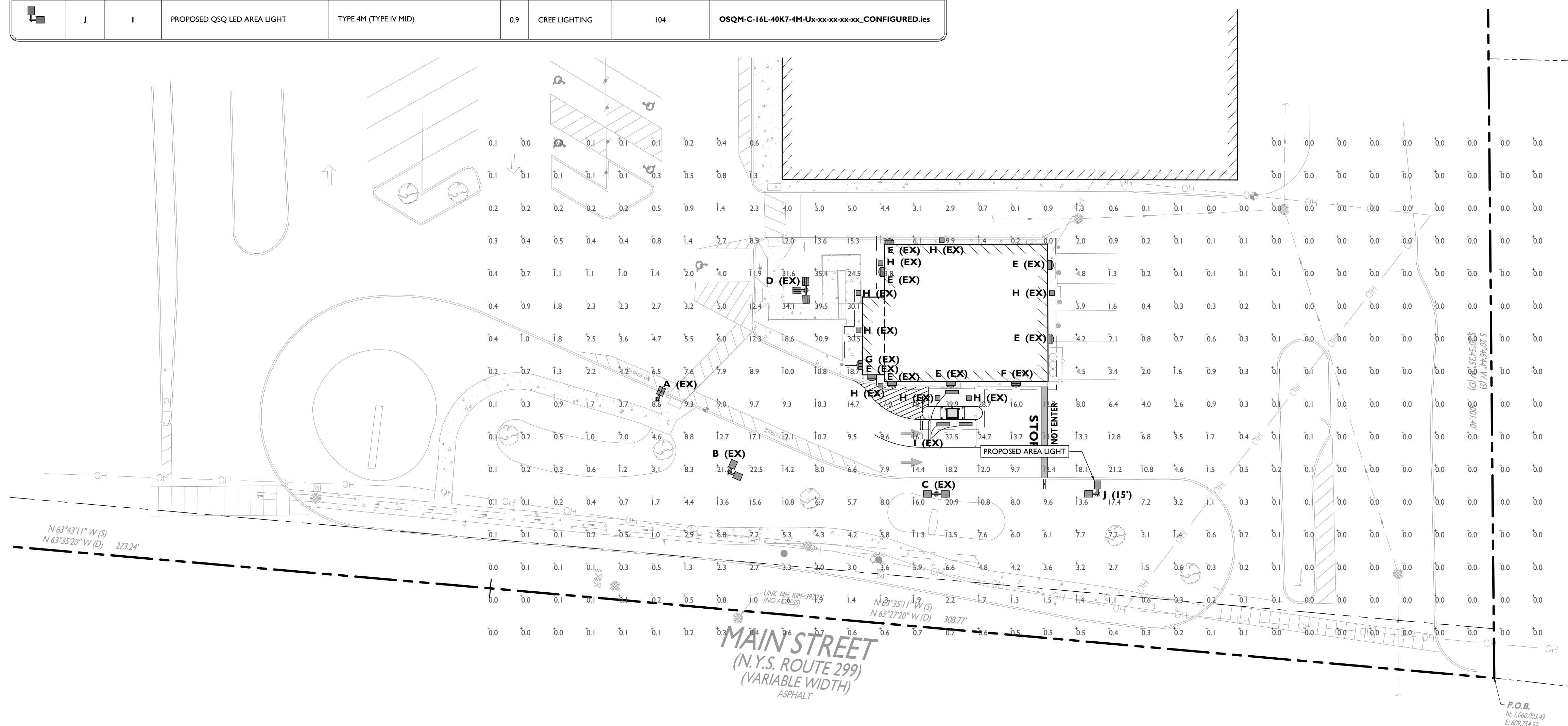
PROJECT ID: NYC-240036

TITLE:
SITE & GRADING PLANS

SHEET:
C-5

Existing Luminaire Schedule								
Symbol	Label	Quantity	Security Lighting	Distribution	LLF	Manufacturer	Luminaire Watts per Fixture	IES File
	A	1	Existing QSQ LED Area Light	Type 3M (Type III Mid)	0.9	Cree Lighting	104	OSQM-C-16L-40K7-3M-Ux-xx-xx-xx-xx_CONFIGURED.ies
	B	1	Existing QSQ LED Area Light	Type 4M (Type IV Mid)	0.9	Cree Lighting	104	OSQM-C-16L-40K7-4M-Ux-xx-xx-xx-xx_CONFIGURED.ies
	C	1	Existing QSQ LED Area Light	Type 4M (Type IV Mid)	0.9	Cree Lighting	104	OSQM-C-16L-40K7-4M-Ux-xx-xx-xx-xx_CONFIGURED.ies
	D	1	Existing QSQ LED Area Light	Type 5N (Type V Narrow)	0.9	Cree Lighting	104	OSQM-C-16L-40K7-5N-Ux-xx-xx-xx-xx_CONFIGURED.ies
	E	7	Existing XSPW LED Wall Mount Light	Type 3ME (Type III Medium)	0.9	Cree Lighting	19	XSPW-B-WM-3ME-2L-40K-UL-WH_PL12366-002A.ies
	F	1	Existing XSPW LED Wall Mount Light	Type 4ME (Type IV Medium)	0.9	Cree Lighting	47	XSPW-B-WM-4ME-6L-40K-UL_CONFIGURED.ies
	G	1	Existing XSPW LED Wall Mount Light	Type 3ME (Type III Medium)	0.9	Cree Lighting	31.5	XSPW-B-xx-3ME-4L-40K-UL_PL13103-001A.ies
	H	8	Existing CPY LED Canopy Light	Version C Flat Lens	0.9	Cree Lighting	14	CPY250-C-2L-40K7-F-UL-xx-xx-xxxx_CONFIGURED.ies
	I	3	Existing ZR LED Troffer Light	Version D Size 14 Square Lens	0.9	Cree Lighting	32	ZR14-40L-8xx-5Q-UNV-10VS-_CONFIGURED.ies

PROPOSED LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	LUMINAIRE WATTS PER FIXTURE	IES FILE
	J	I	PROPOSED QSQ LED AREA LIGHT	TYPE 4M (TYPE IV MID)	0.9	CREE LIGHTING	104	OSQM-C-16L-40K7-4M-UX-xx-xx-xx-xx_CONFIGURED.ies



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SCALE: (H) 1" = 20'

PROJECT ID:	NYC-240036
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TITLE:	
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LIGHTING PLAN

SHEET: C-6

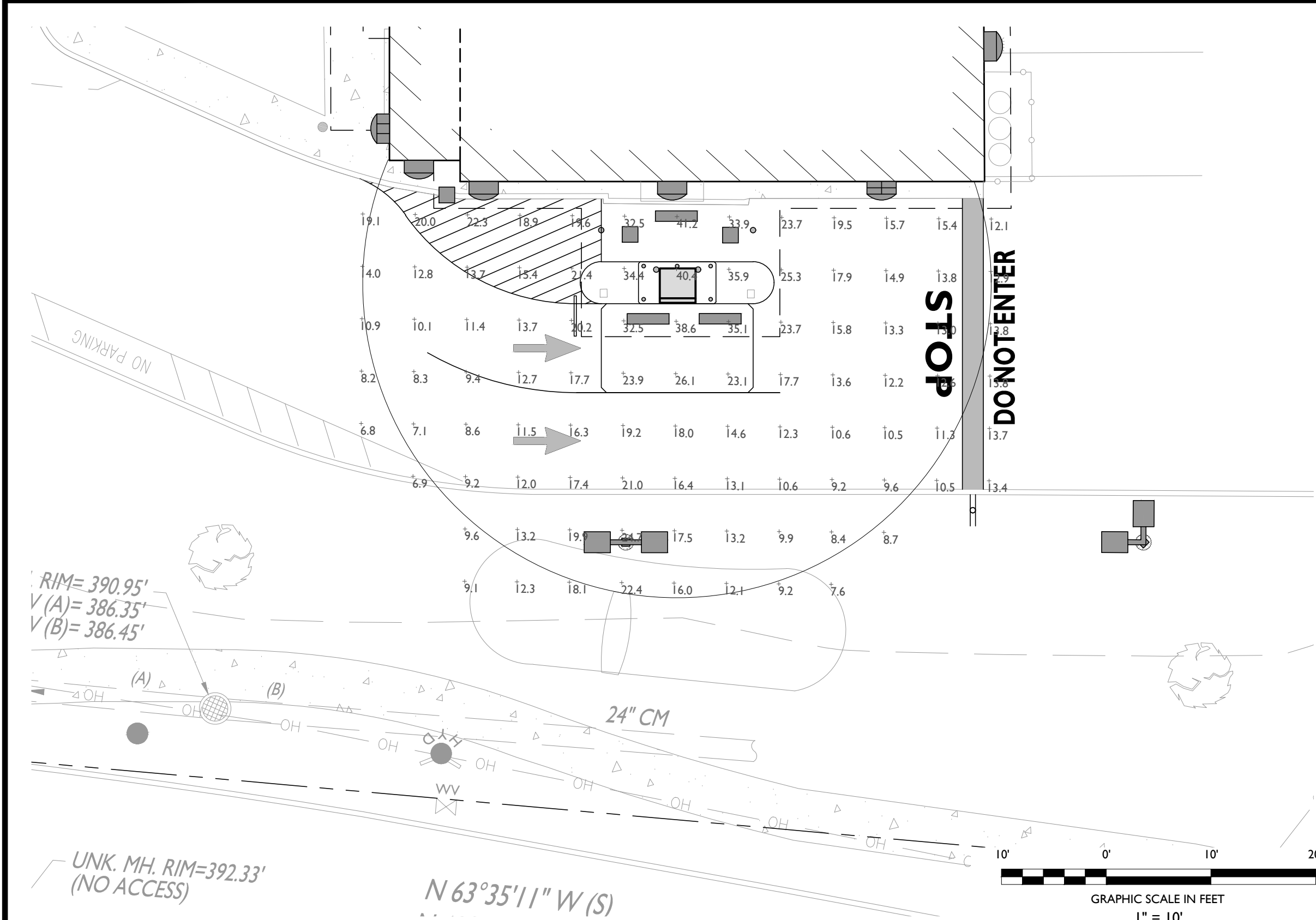
NEW YORK STATE LIGHTING REQUIREMENTS

REQUIRED

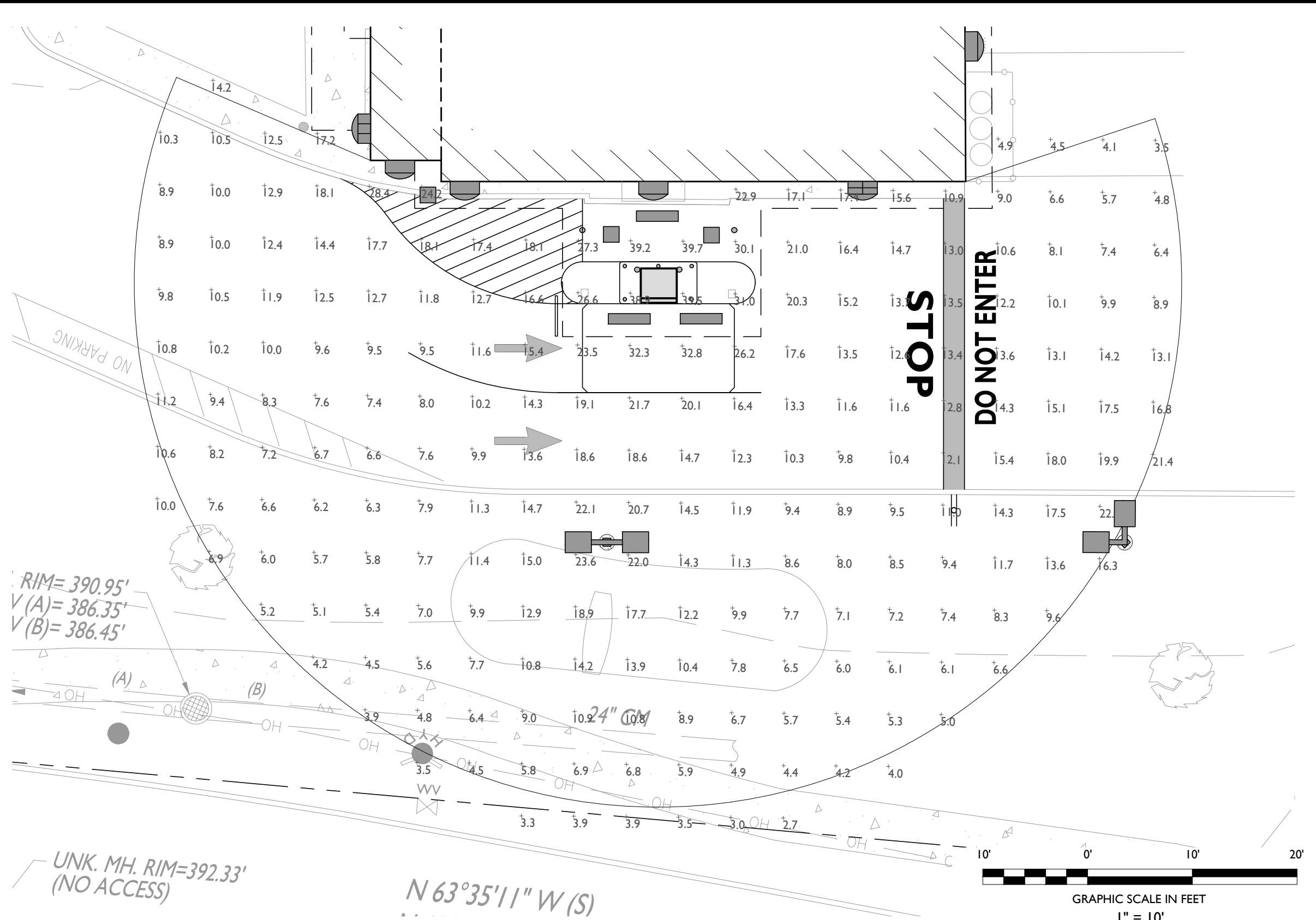
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 30 FEET OUTWARD IN ALL DIRECTIONS AT GROUND LEVEL
MINIMUM 1 FOOTCANDLES AT FACE OF ATM EXTENDING 60 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE MEASURED NORMAL TO A LIGHT SOURCE
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE
MINIMUM 5 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE

PROPOSED

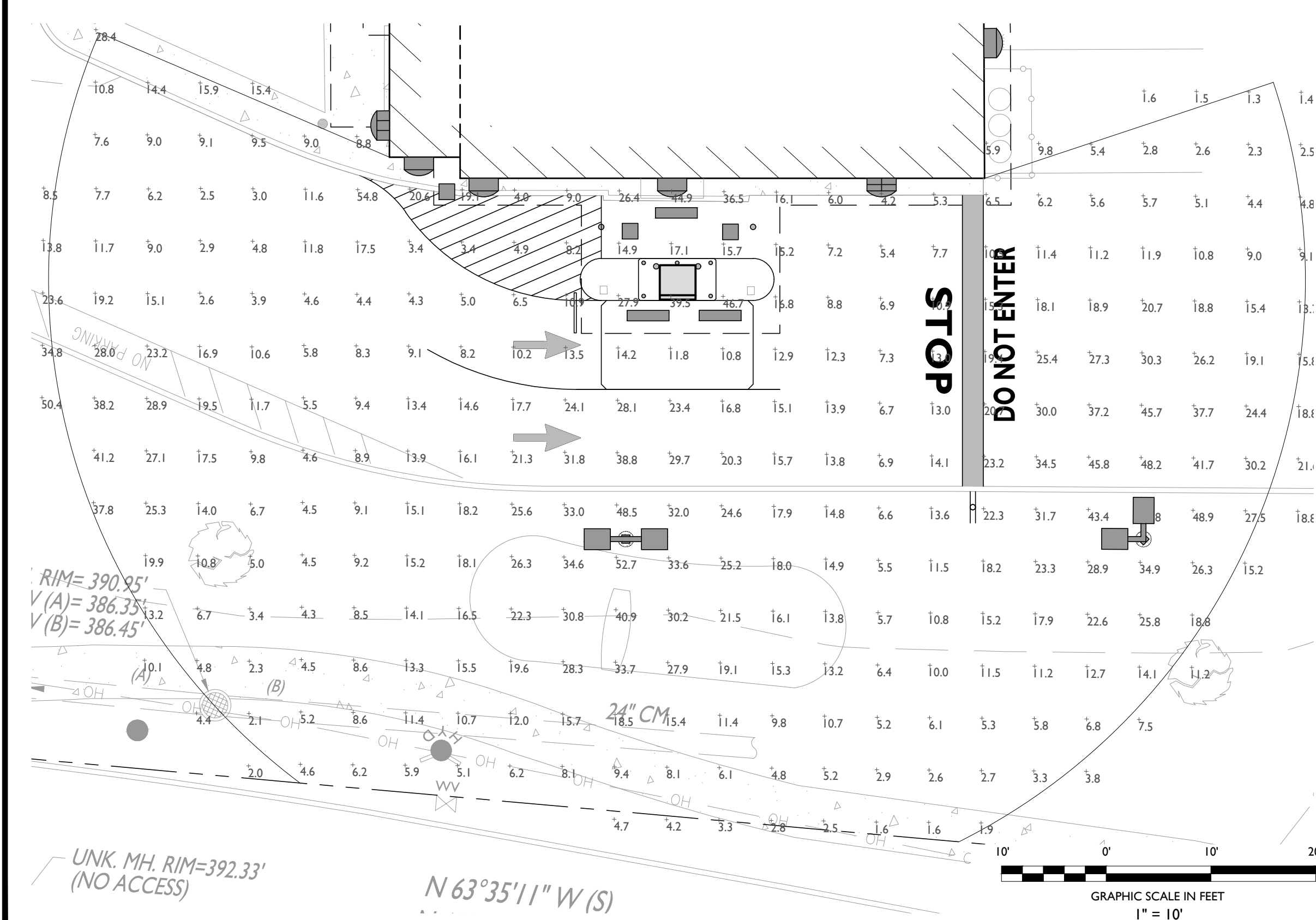
7.1 FOOTCANDLES
1.3 FOOTCANDLES
3.5 FOOTCANDLES
9.7 FOOTCANDLES



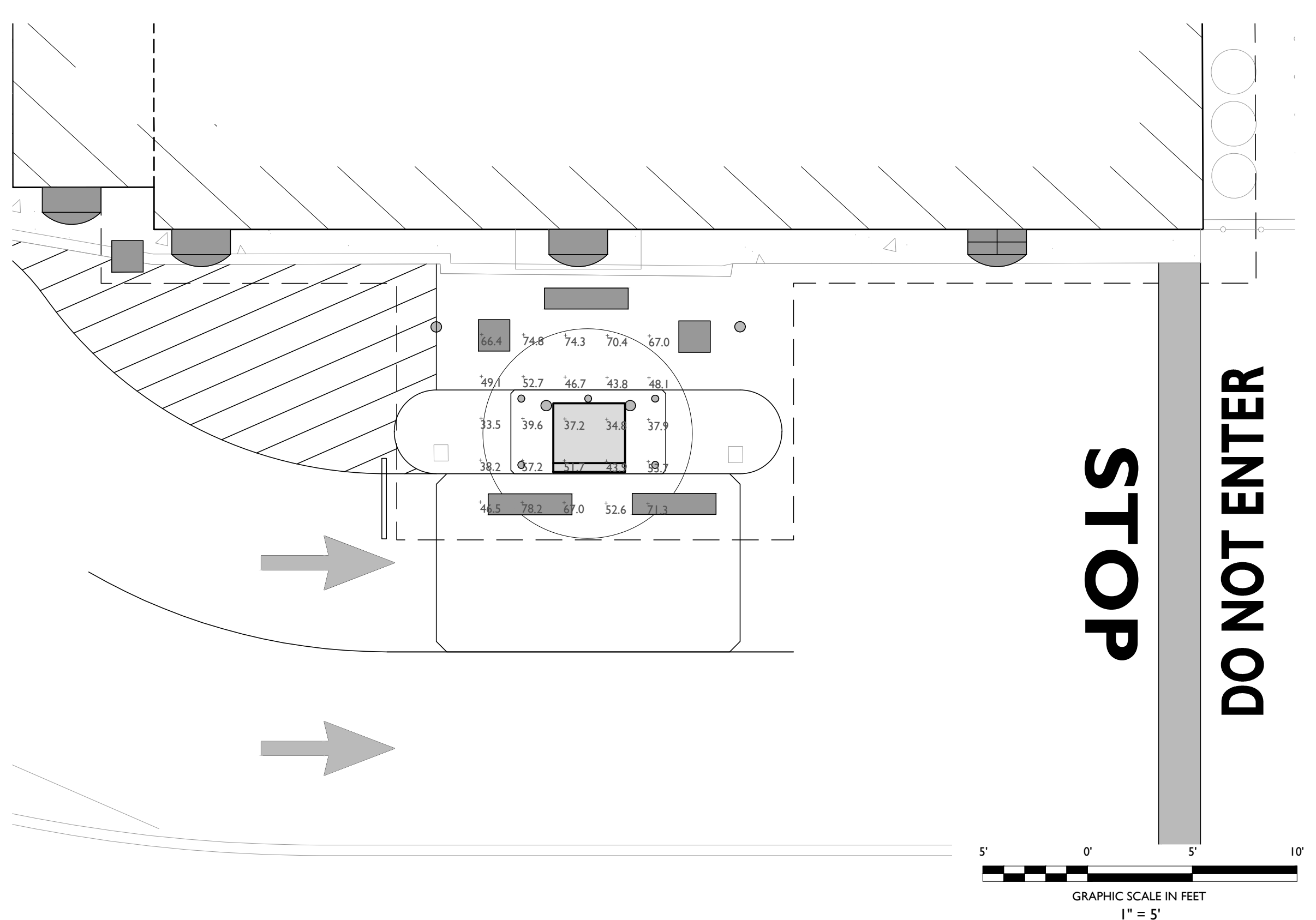
LIGHTING AT GRADE (HORIZONTAL PLANE) (30 FT RADIUS)



LIGHTING AT 60" ABOVE GRADE (HORIZONTAL PLANE) (50 FT RADIUS)



LIGHTING AT 60" ABOVE GRADE (NORMAL TO LIGHT SOURCE) (60 FT RADIUS)



LIGHTING AT 60" ABOVE GRADE (HORIZONTAL PLANE) (5 FT RADIUS)

SYMBOL DESCRIPTION

	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED CANOPY LIGHT
	PROPOSED WALL PACK

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'X' = MINIMUM X WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC. OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

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SCALE: (H) AS SHOWN

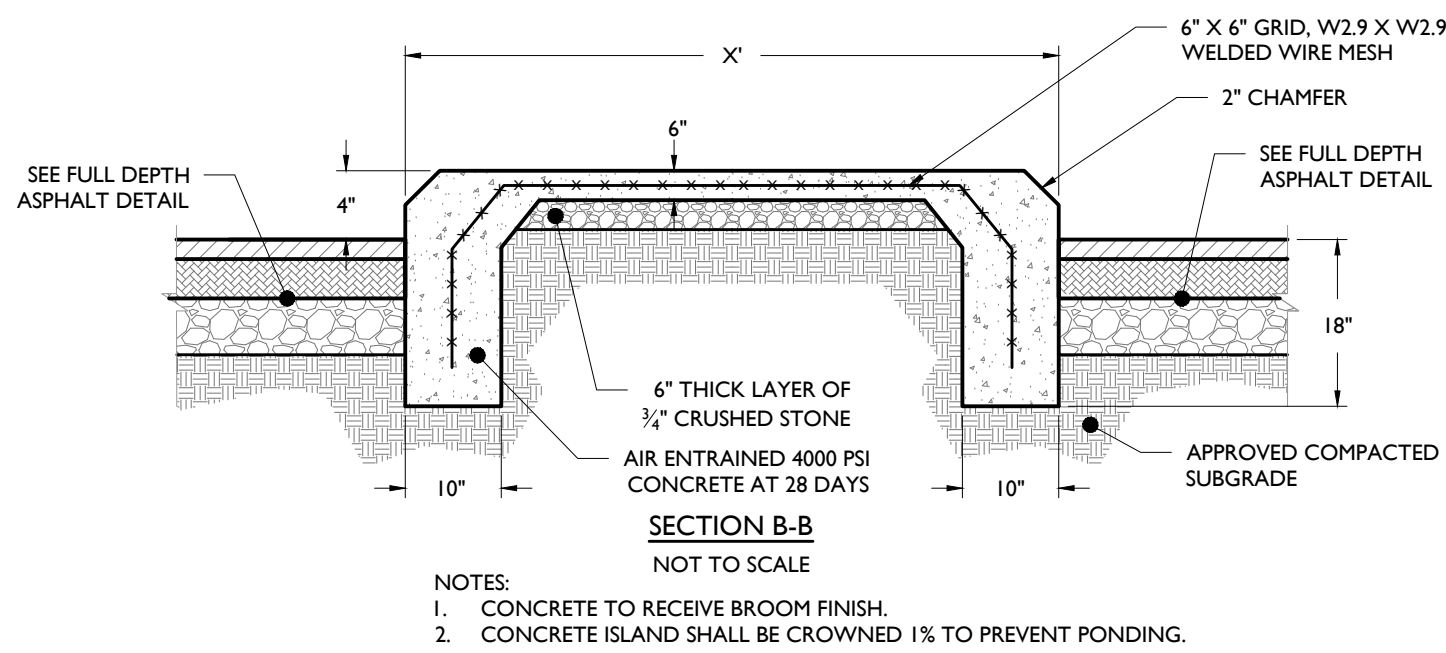
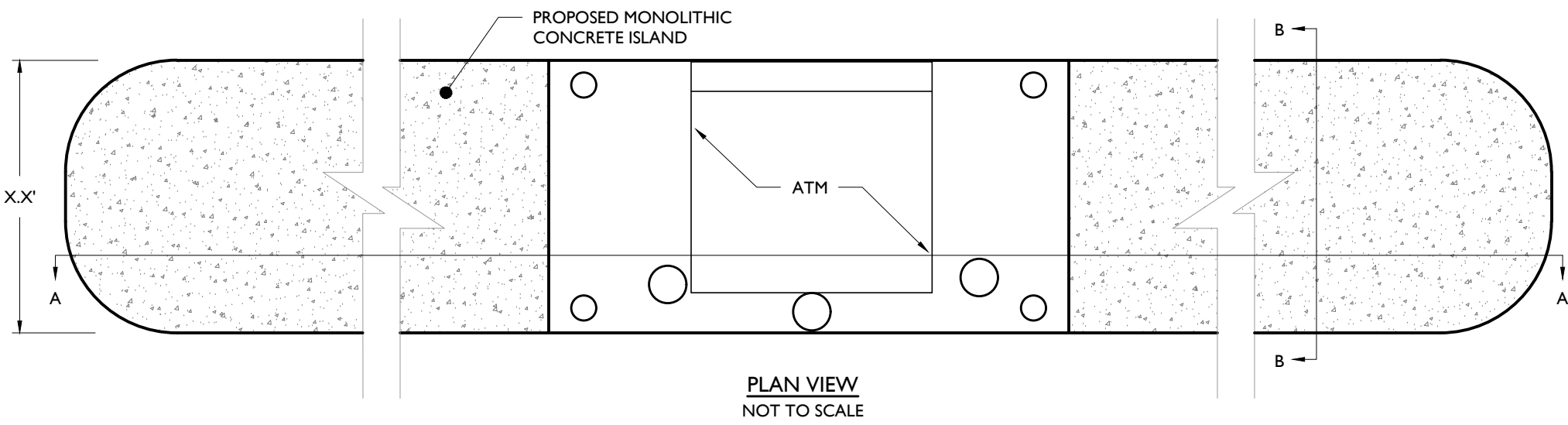
PROJECT ID: NYC-240036

TITLE:

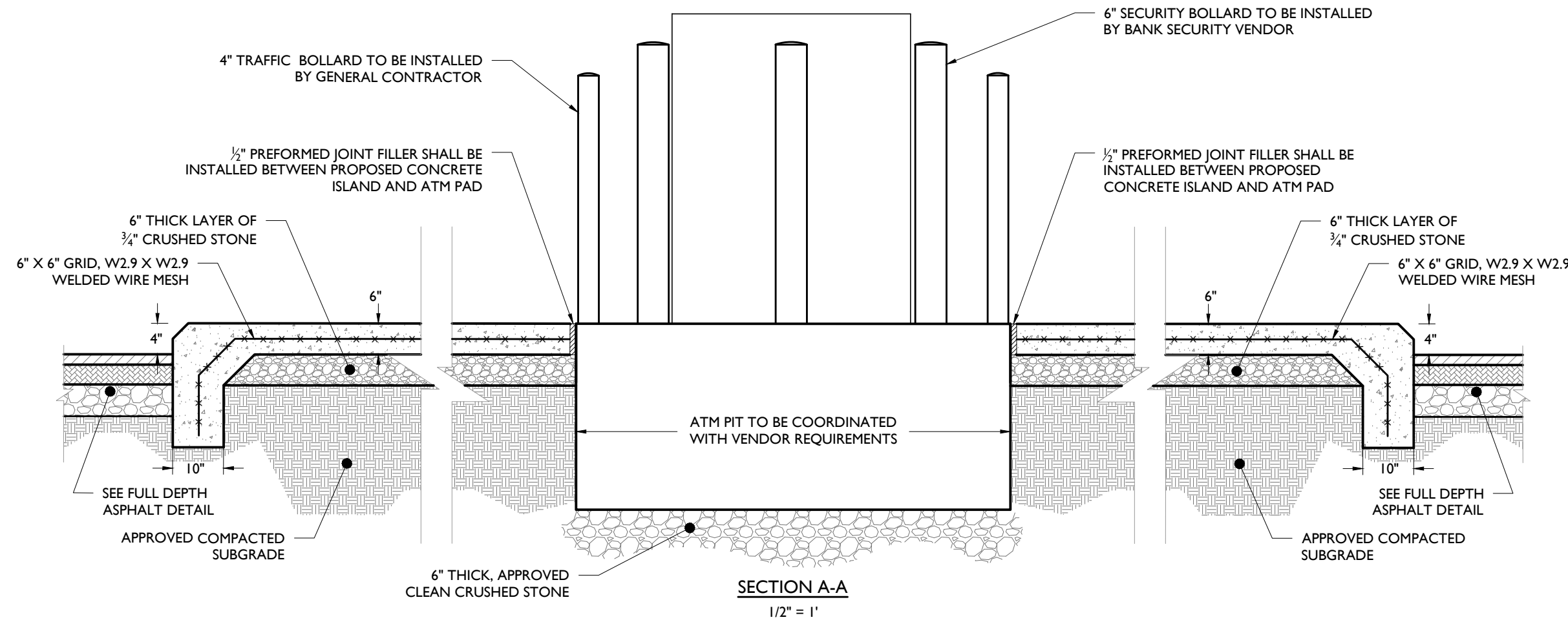
LIGHTING PLAN

SHEET:

C-7

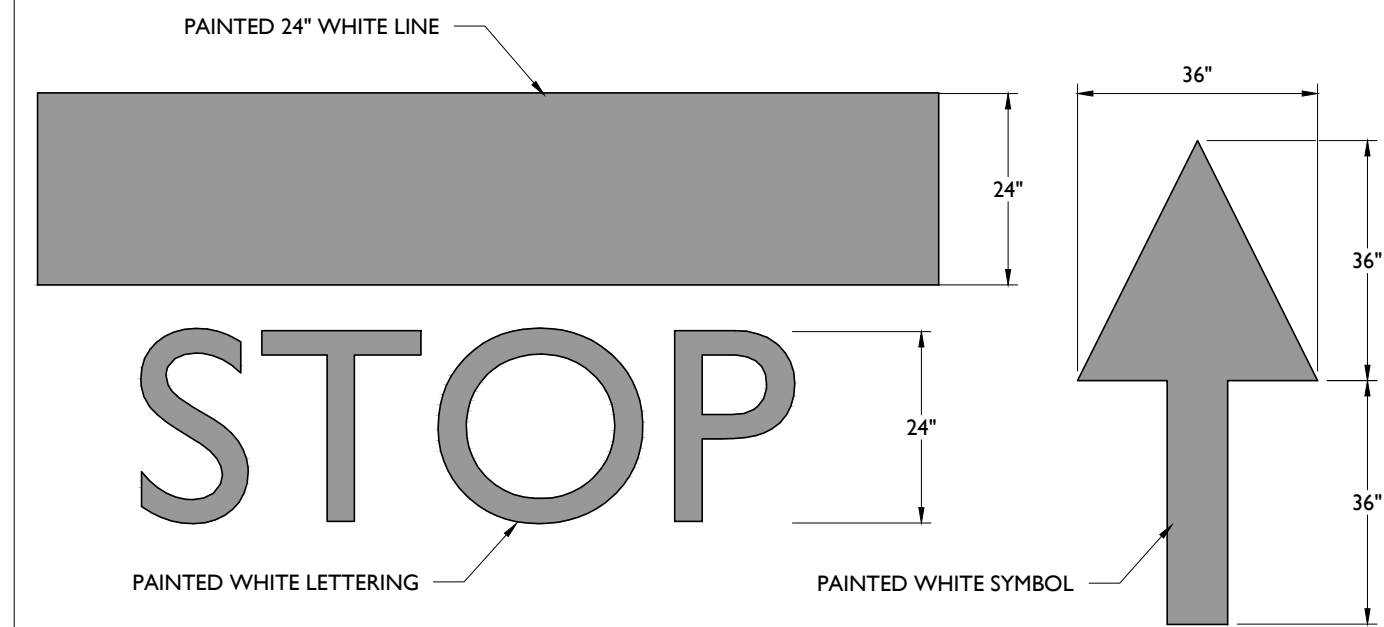


- NOTES:
1. CONCRETE TO RECEIVE BROOM FINISH.
 2. CONCRETE ISLAND SHALL BE CROWNED 1% TO PREVENT PONDING.



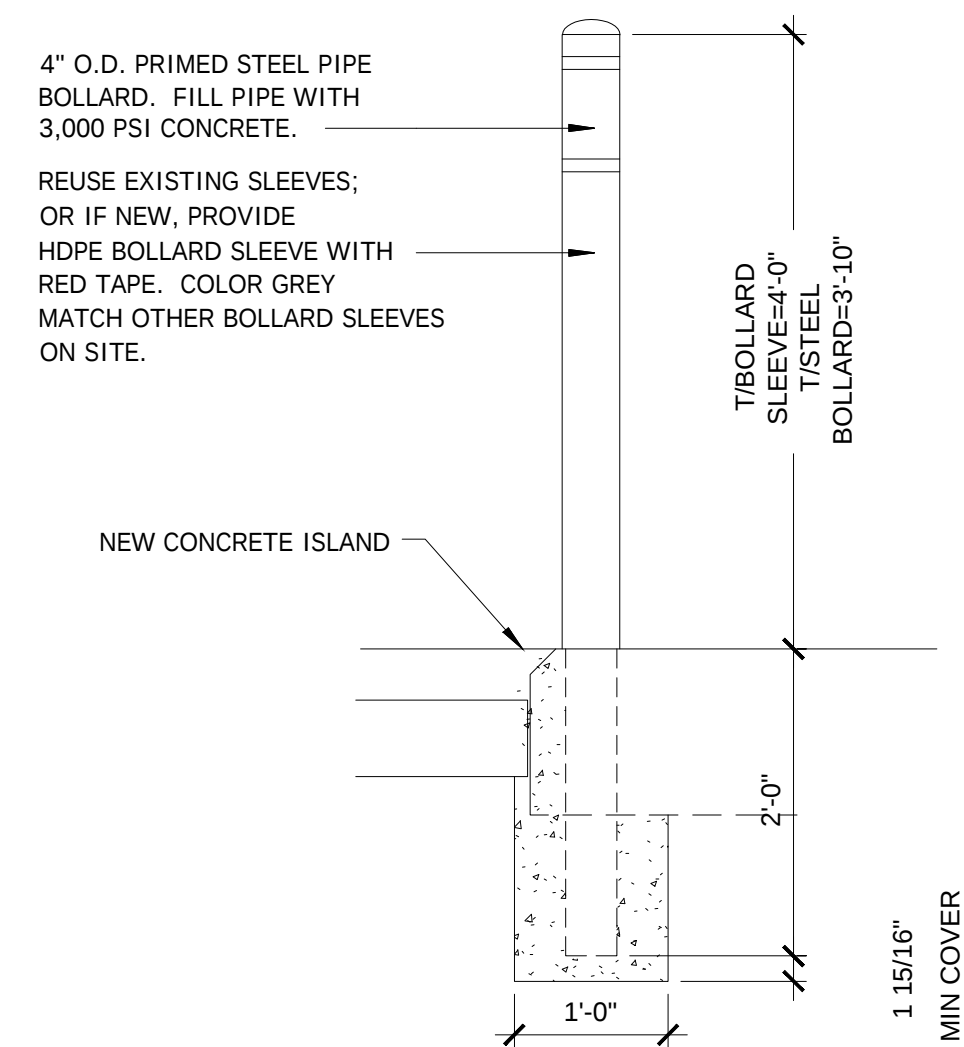
ATM PAD AND FOUNDATION DETAIL

- NOTE:
1. REFER TO ATM MANUFACTURER PLANS FOR ADDITIONAL DETAIL.



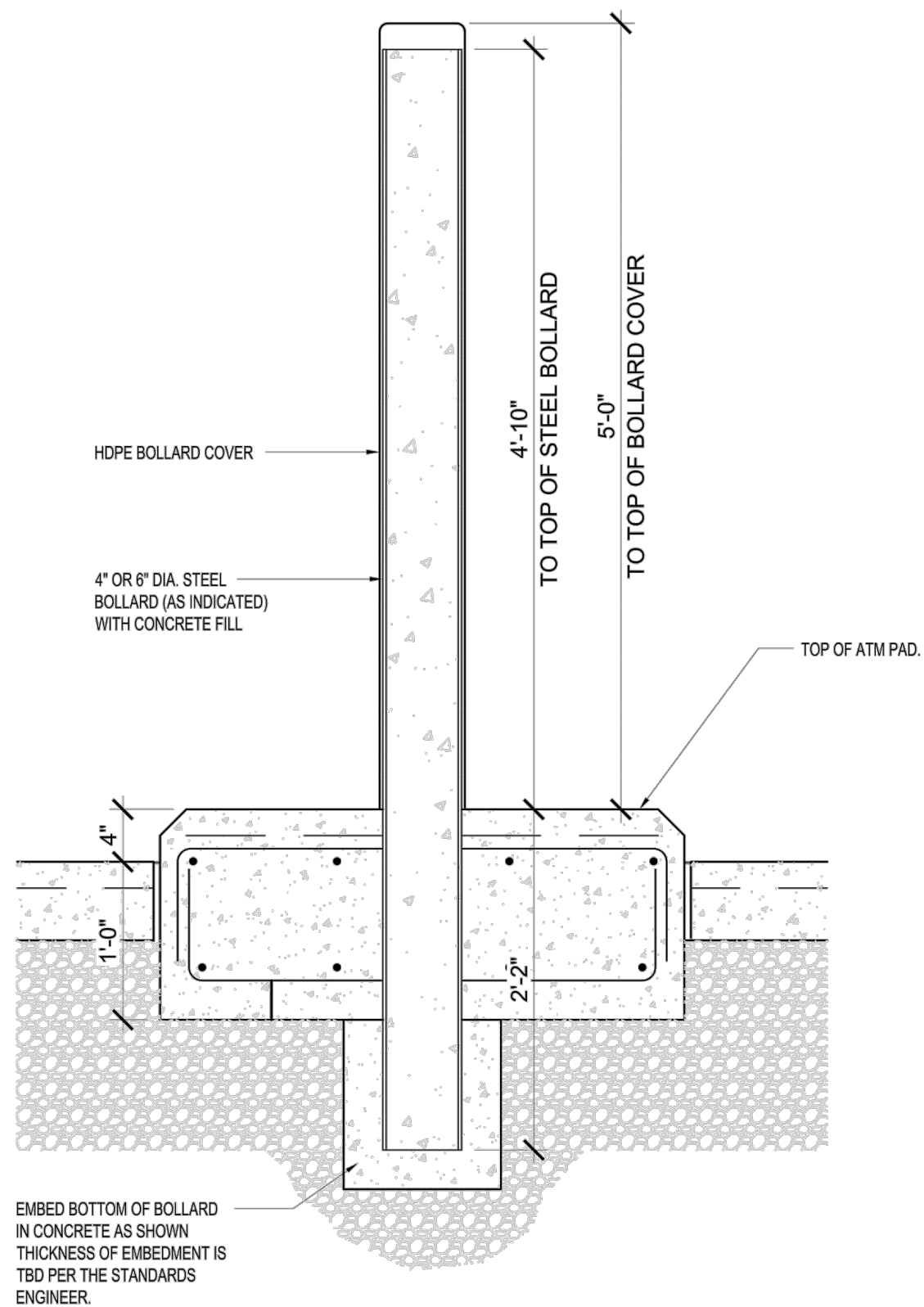
STOP BAR & ARROW DETAILS

NOT TO SCALE



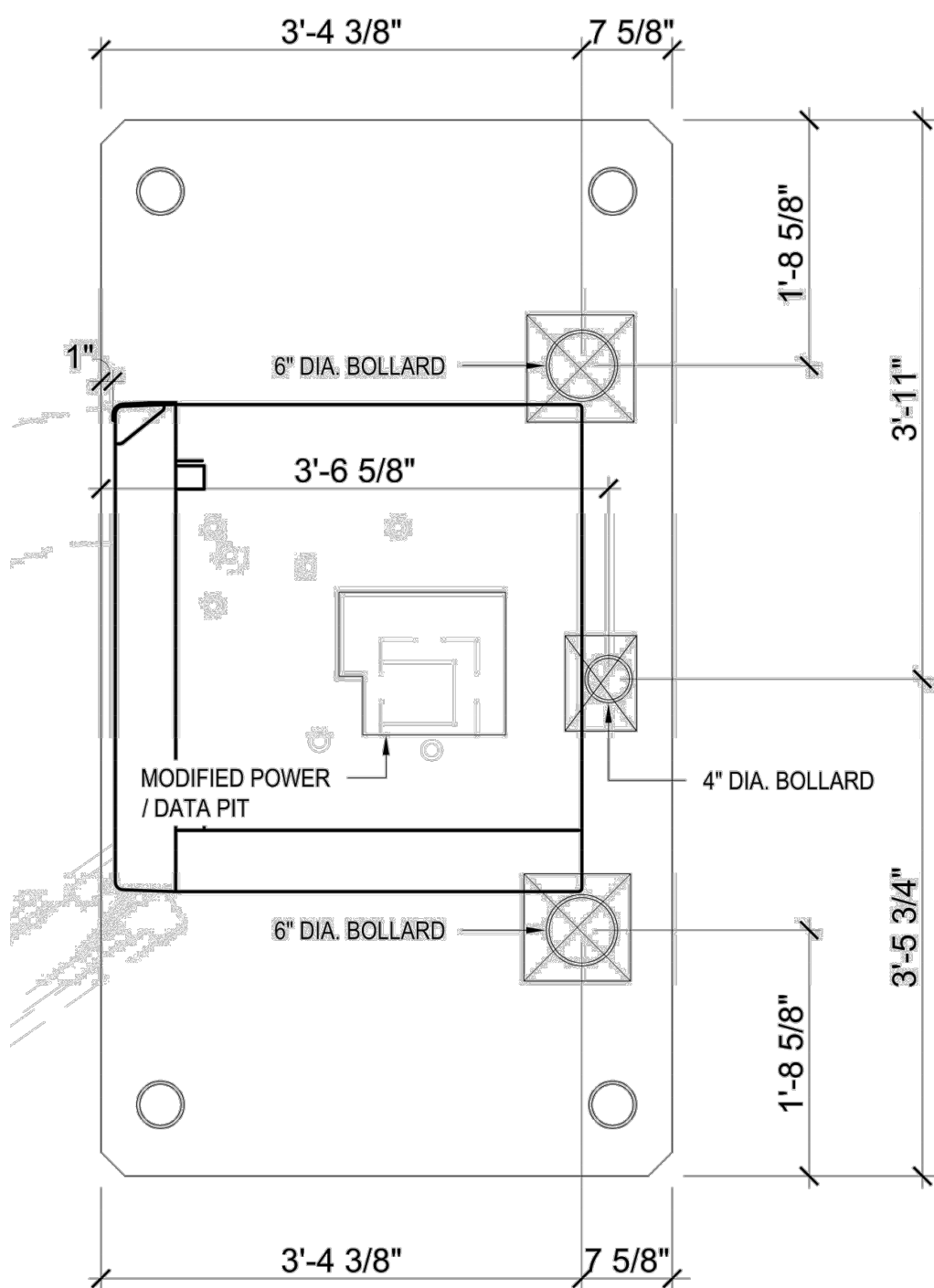
TRAFFIC BOLLARD DETAIL

NOT TO SCALE



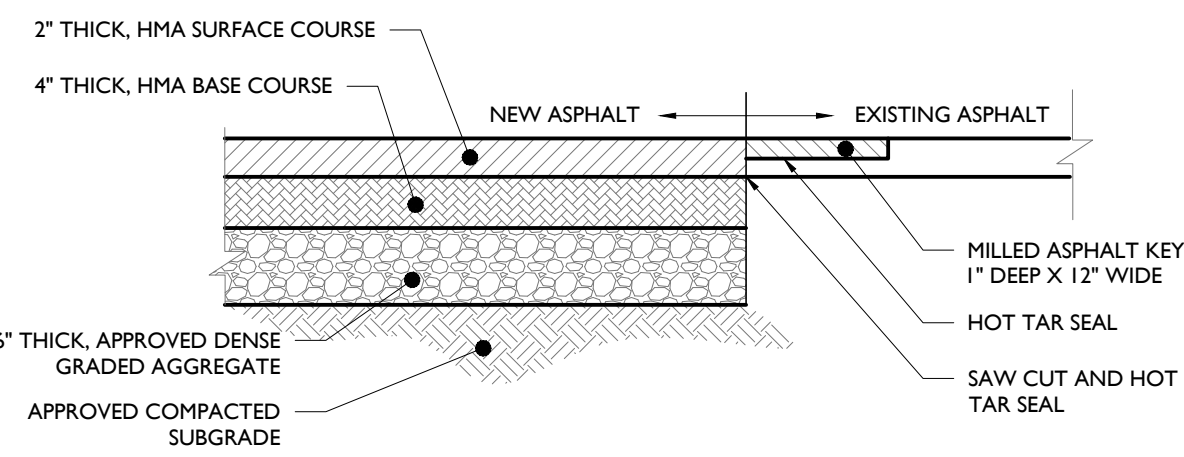
ATM SECURITY BOLLARD DETAIL

NOT TO SCALE



ATM SECURITY BOLLARD LAYOUT

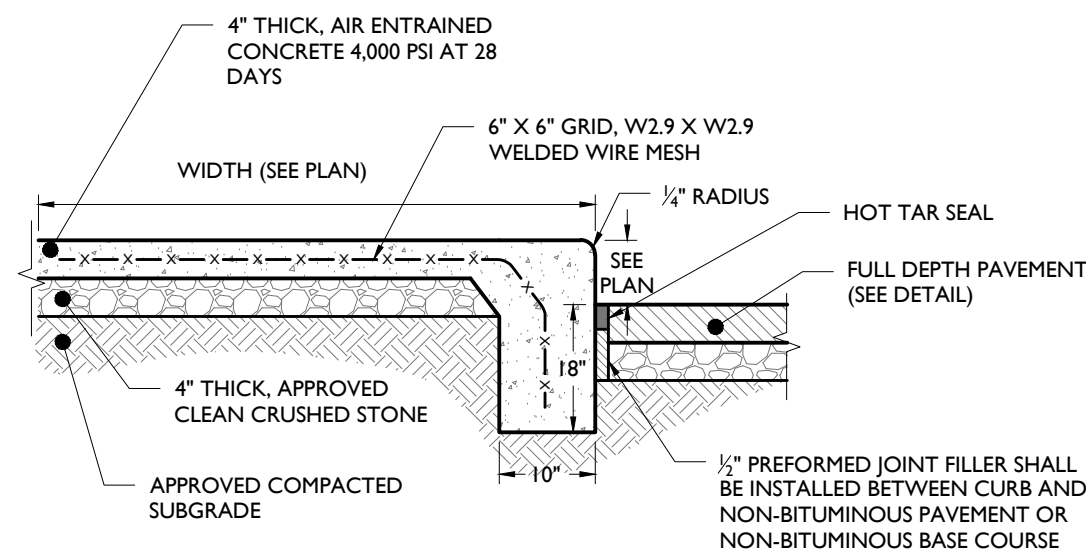
NOT TO SCALE



FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

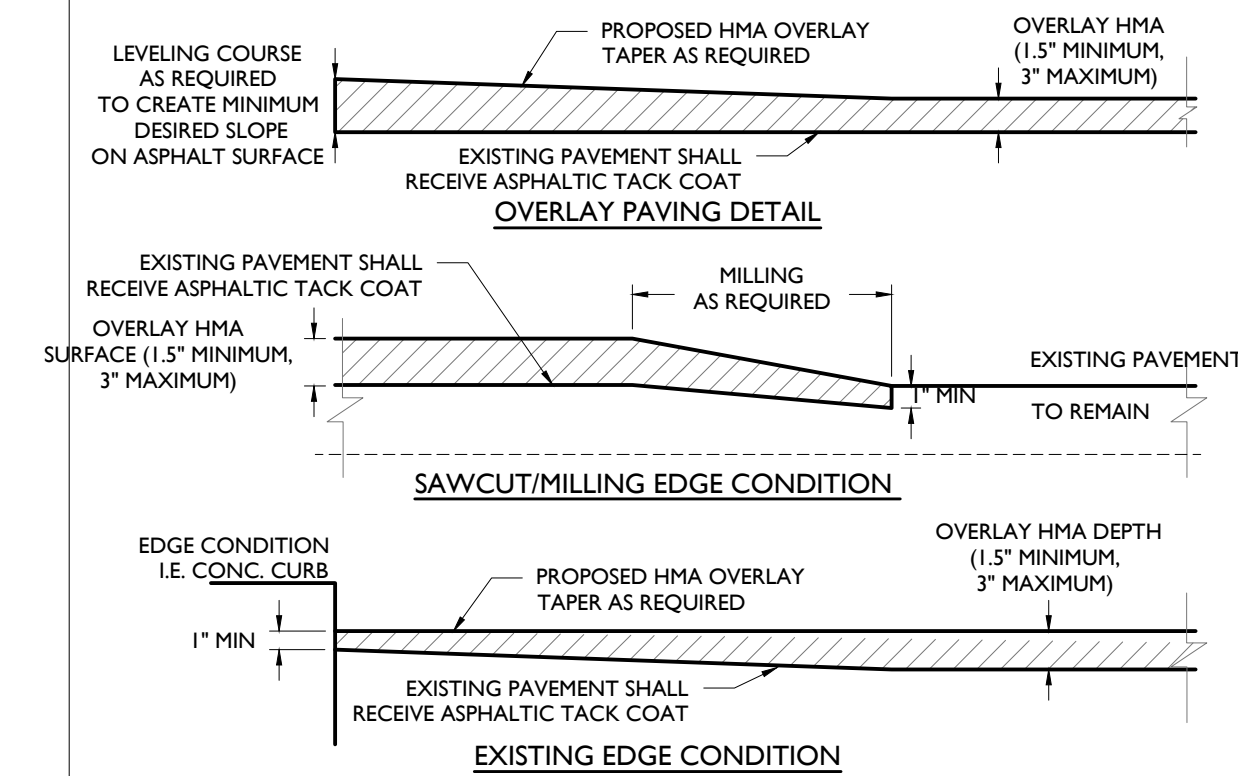
- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



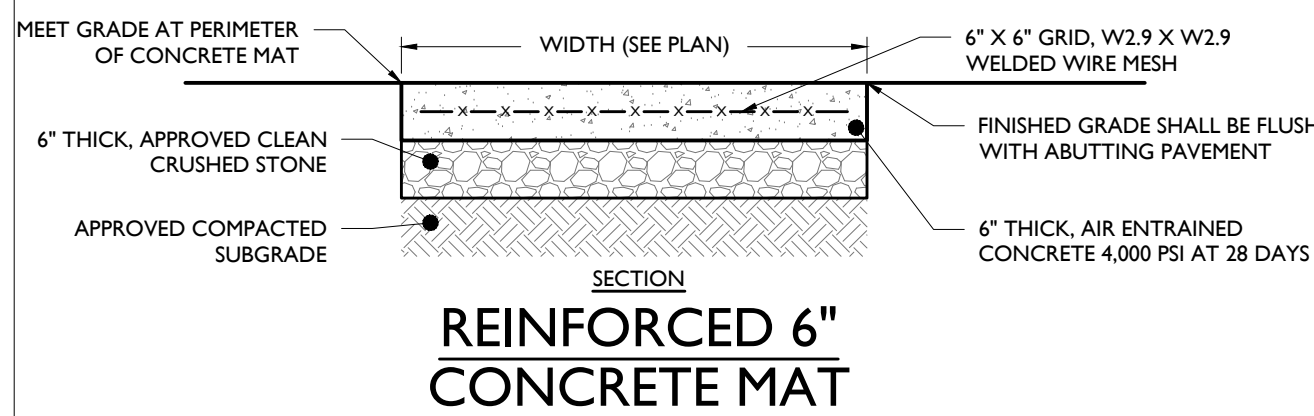
MONOLITHIC CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>
 2. 1/2\"/>
 3. 1\"/>



PAVEMENT MILLING & OVERLAY DETAIL



REINFORCED 6" CONCRETE MAT

SECTION

- NOTES:
1. 1/2\"/>
 2. 1\"/>
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12\"/>

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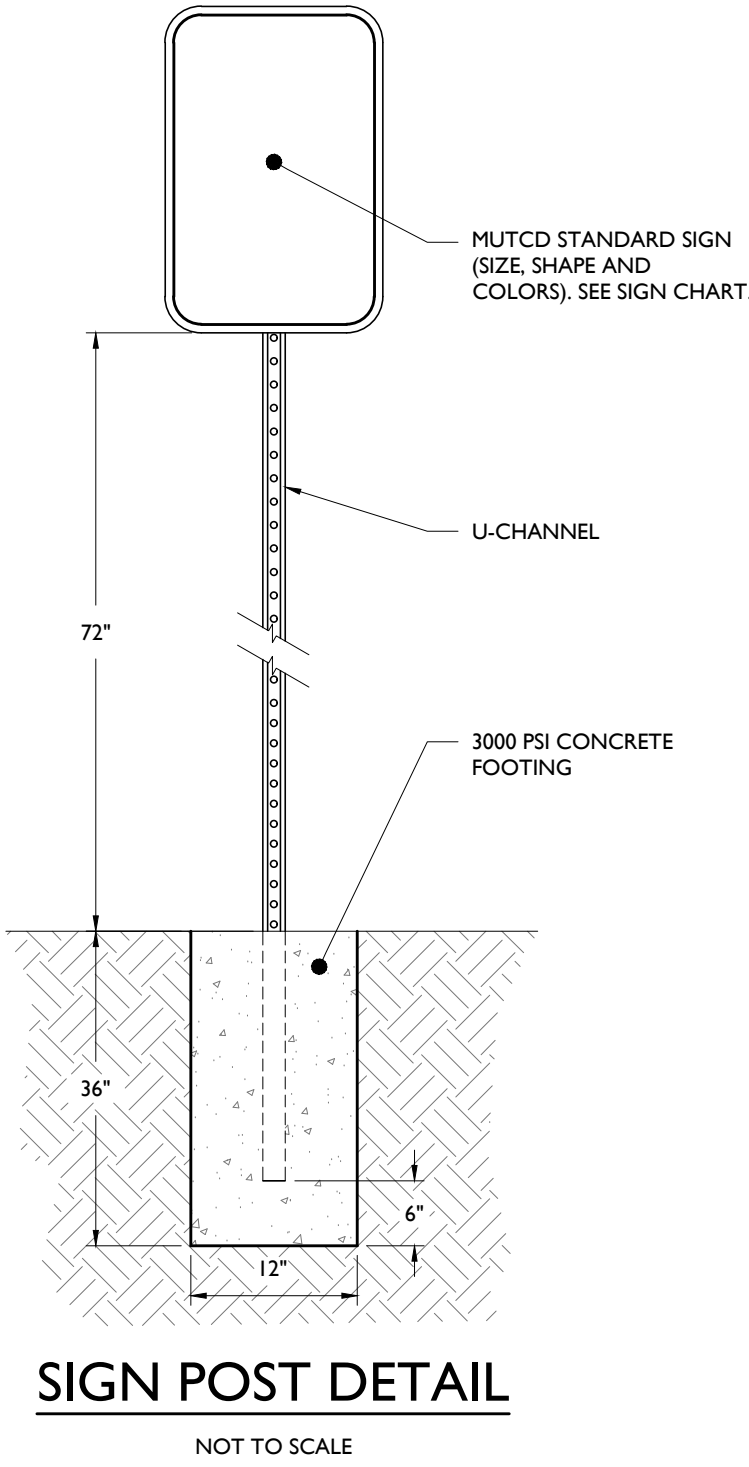
PROJECT ID: NYC-240036

TITLE:

CONSTRUCTION DETAILS

SHEET:

C-8



SIGN POST DETAIL
NOT TO SCALE

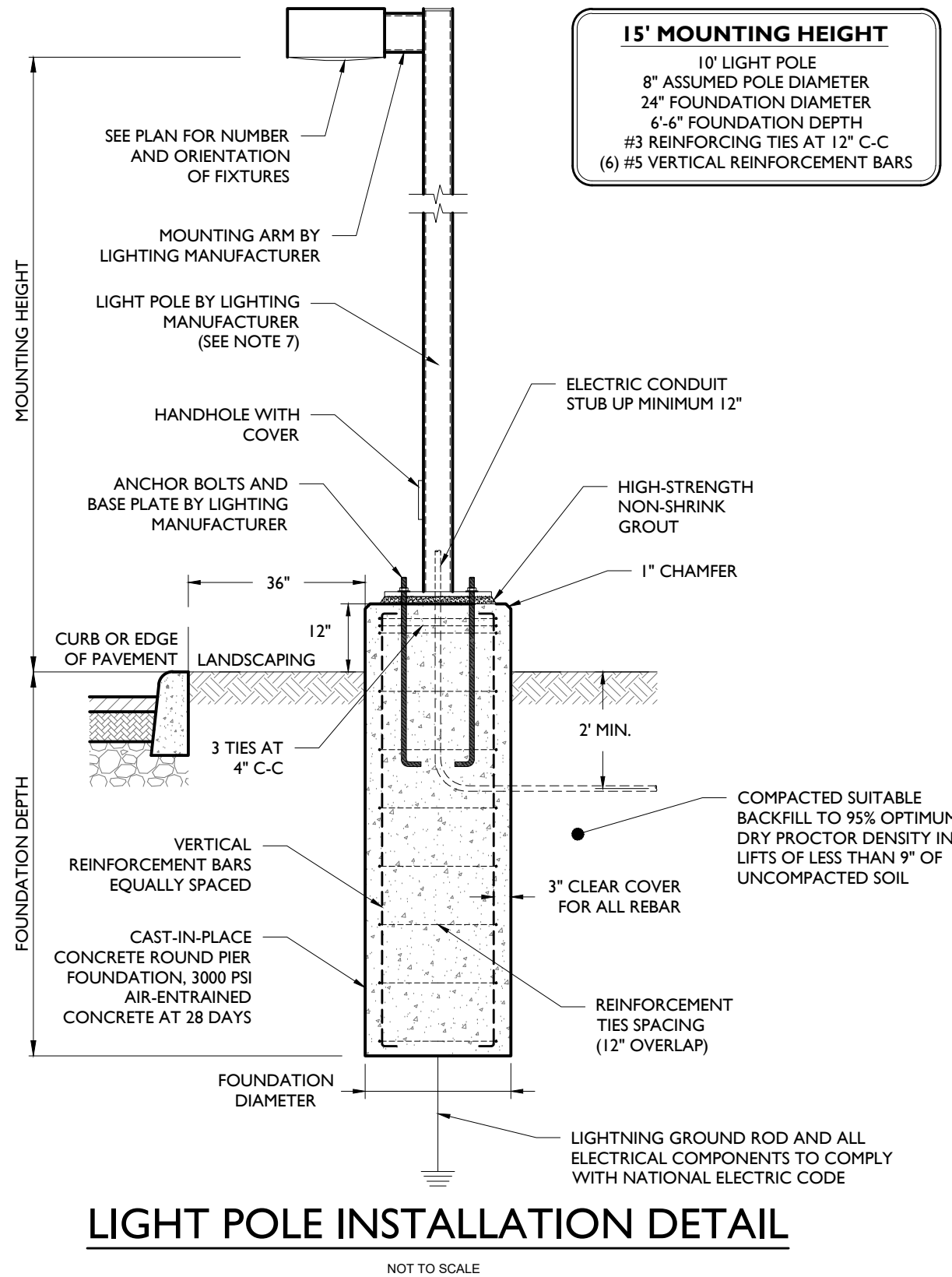
2

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

- NOTE:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 - ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE

2



LIGHT POLE INSTALLATION DETAIL
NOT TO SCALE

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF. SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

3

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

Rev. Date: V9 01/30/2024

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatheright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, pickleball courts, high-mast and internal roadways

Performance Summary

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: 4,000 - 85,000

Efficacy: Up to 171 LPW

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

*See <http://creeledlighting.com/warranty> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: Mount: OSQ-ML-C-AA-BK + Luminaire: OSQ-M-C-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately*)

OSQ-

Medium/Large Mount

OSQ-ML-C-AA Adjustable Arm

OSQ-ML-C-DA Direct Arm

OSQ-ML-C-TM Trunion Mount

Extra Large Mount

OSQ-X-C-AA Adjustable Arm

OSQ-X-C-DA Direct Arm

Color Options:

SV Silver

BK Black

BZ Bronze

WH White

*Reference luminaire mounting drill pattern, EPA, and pole configuration suitability data beginning on page 14.

Luminaire (Mount must be ordered separately)

OSQ	Size	Series	Lumen Package*	CCT/ CRI	Optic	Voltage	Mount	Color Options	Controls*	Options
OSQ	M	Medium	4L	3000K, 4000K, 5000K, 5700K	Asymmetric 2M	48V	No Mount	BK Black	BML	20KV/10KA Surge Suppression
OSQ	L	Large	4L	3000K, 4000K, 5000K, 5700K	Asymmetric 2M	48V	No Mount	BK Black	BML	20KV/10KA Surge Suppression
OSQ	X	Extra Large	4L	3000K, 4000K, 5000K, 5700K	Asymmetric 2M	48V	No Mount	BK Black	BML	20KV/10KA Surge Suppression
OSQ	L	Large	4L	3000K, 4000K, 5000K, 5700K	Asymmetric 2M	48V	No Mount	BK Black	BML	20KV/10KA Surge Suppression
OSQ	X	Extra Large	4L	3000K, 4000K, 5000K, 5700K	Asymmetric 2M	48V	No Mount	BK Black	BML	20KV/10KA Surge Suppression

* Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values.

* Luminaire comes standard with 10V dimmers.

* Factory-installed backlight shields are integral to luminaire optic and may not be removed in the field. For field-install backlight control, please refer to the External Backlight Shields in the accessory table on page 2.



US: creeledlighting.com (800) 236-6800

Canada: creeledlighting-canada.com (800) 473-1234

CREE LIGHTING

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02	09/03/2024	ISSUED FOR REVIEW	AD	MC
03	09/12/2024	ISSUED FOR REVIEW	AD	MC

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER

CD
DRAWN BY

MC
CHECKED BY



SCALE: (H) AS SHOWN

PROJECT ID: NYC-240036

TITLE:

CONSTRUCTION DETAILS

SHEET:

C-9

APPENDIX C
STONEFIELD CERTIFICATION MEMO

STONEFIELD

Exterior Renovation Post Construction Summary

To: Clyde Basner - CBRE

Re: Bank of America Exterior Renovation
1 New Paltz Plaza
New Paltz, New York

Date: May 8, 2025

Our office, Stonefield Engineering and Design, LLC., performed a post construction inspection on April 15, 2025, to review the recently constructed exterior site improvements at the above referenced property. The inspection found the site improvements to be generally consistent with the site plan documents prepared by our office. Should you have any questions regarding the above please do not hesitate to contact our office.

\\us.stonefieldeng.com\Shares\LIC\NYC\2024\NYC-240036 CBRE - 1 New Paltz Plaza, New Paltz, NY\Correspondence\Outgoing\Client & Project Team\2025-05-08_Post Construction Inspection Memo.docx

STONEFIELDENG.COM

92 PARK AVENUE, RUTHERFORD, NJ 07070

201.340.4468 T.
201.340.4472 F.

APPENDIX D
PHOTOGRAPH LOG

 Sterling Environmental Engineering, P.C.			DAILY PHOTOGRAPH LOG		
			Project:	New Paltz Plaza #2014-45	
			Photo By:	Turner and Townsend	
Photo No. 1	Date 4/2/2025	Time 5:01			
Direction Looking: Northeast					
Comments: Excavated Bank of America ATM pad.					

Photo No. 2	Date 4/3/2025	Time 2:50			
Direction Looking: Northeast					
Comments: Bank of America ATM pad with slab poured.					

 Sterling Environmental Engineering, P.C.			DAILY PHOTOGRAPH LOG		
			Project:	New Paltz Plaza #2014-45	
			Photo By:	Turner and Townsend	
Photo No. 3	Date 4/3/2025	Time 2:51			
Direction Looking: East					
Comments: Installed safety bollards.					

Photo No. 4	Date 4/24/2025	Time 6:17			
Direction Looking: East					
Comments: Completed Bank of America ATM pad.					

 Sterling Environmental Engineering, P.C.			DAILY PHOTOGRAPH LOG		
			Project:	New Paltz Plaza #2014-45	
			Photo By:	Turner and Townsend	
Photo No. 5	Date 4/24/2025	Time 6:18			
Direction Looking: West					
Comments: Completed Bank of America ATM pad.					

Photo No. 6	Date 4/24/2025	Time 6:18	
Direction Looking: North			
Comments: Completed Bank of America ATM pad.			

 Sterling Environmental Engineering, P.C.			DAILY PHOTOGRAPH LOG		
			Project:	New Paltz Plaza #2014-45	
			Photo By:	NYSDEC	
Photo No. 7	Date 4/1/2025	Time 9:31			
Direction Looking: Southwest					
Comments: Stockpiled concrete, stone, and black top.					

Photo No. 8	Date 4/1/2025	Time 9:31			
Direction Looking: Southwest					
Comments: Bank of America ATM pad construction site.					